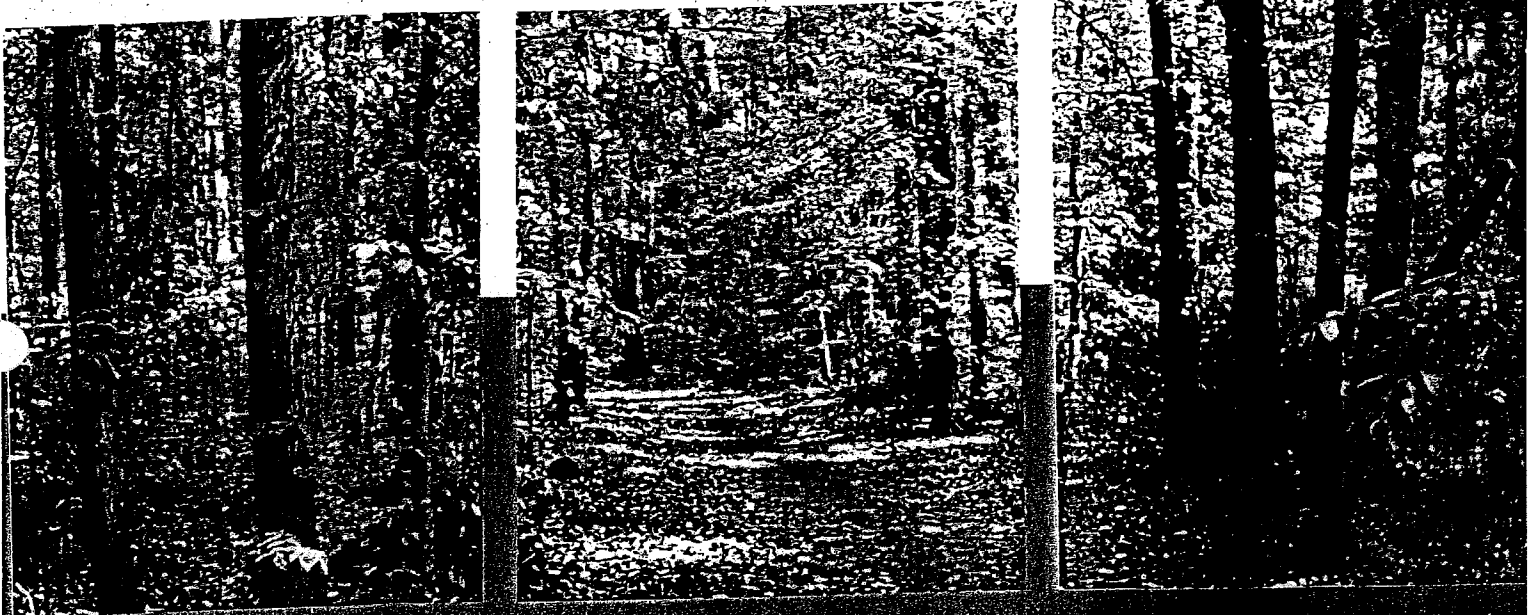


Brook Run Master Plan



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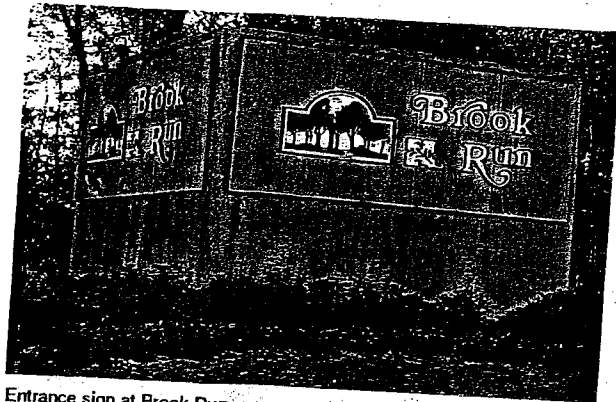
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APPENDIX

introduction



Entrance sign at Brook Run



Multi-use trails run throughout the park

PURPOSE & GOALS OF THE PLAN

In 1998, DeKalb County purchased Brook Run, a former hospital and nursing home to the mentally challenged, from the State. Along with the sale of the property to DeKalb County, the State listed six deed restrictions which were intended to guide the development and management of Brook Run. Specifically, the following two deed restrictions were critical guidelines in the development of the master plan concept:

The property may be used only for parks and recreation purposes, public education purposes, public cultural purposes, or any combination thereof by DeKalb County, but not assignee of the County.

No less than seventy percent (70%) of the property shall be used as urban green space.

In an effort to enhance service delivery and expand revenue generation for Brook Run Park, DeKalb County established a public-private partnership with the Dunwoody Preservation Trust (DPT). In the spirit of this partnership, a \$150,000 grant was awarded to the Dunwoody Preservation Trust by DeKalb County in January 2001 to select the design firm and develop the master plan for the 102-acre property.

An essential component of any community's quality of life is the opportunity for outdoor recreation experiences. Brook Run offers 102 acres of existing infrastructure and buildings that can be transformed into a symbol for DeKalb County's vitality and character.

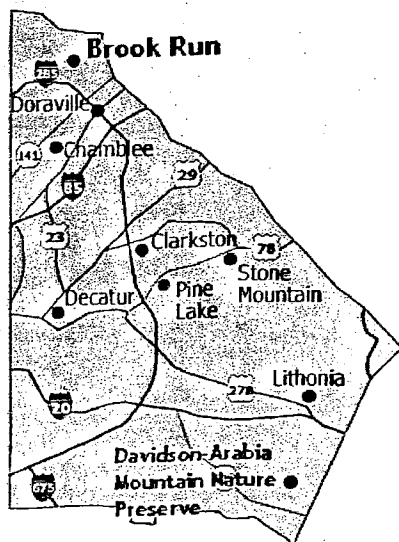
The purpose of this master plan is to guide Brook Run in developing the property into a first-class nature-oriented and educational facility. Like all

plans, however, the master plan is only effective if it is used. It is critical that the plan be a living document that reflects and is able to adapt to discussions and decisions by policy-makers and community stakeholders. The master plan, although very specific in many aspects, is flexible in order to respond over time to community and financial needs. Some of the proposed directions can be implemented almost immediately; others may take many years.

The master plan transforms the 102 acres of green space, vacant buildings, and paved streets into an urban oasis that focuses on education, nature, art, and recreation. The specific goals of the master plan are to 1) create a signature community park with passive recreational and educational opportunities; 2) develop places for community interaction; 3) protect, enhance, and restore environmental resources; and, 4) recommend financial resources.

SITE LOCATION AND DEMOGRAPHICS

Brook Run is located in northern DeKalb County just north of I-285 at the intersection of North Peachtree Road and Peeler Road. The 102-acre parcel is heavily wooded and is surrounded on three sides, north, east and west, by established single-family residential neighborhoods.



Source: www.georgia.gov

The fourth or south side is adjacent to a mixture of land uses including Peachtree Middle School, an apartment complex, and office condominiums.



Brook Run site

DeKalb County is the second most populous county in the state and is the densest in terms of population with approximately 2,459 people per square mile. Brook Run is easily accessible by residents of DeKalb County, as well as residents in nearby Fulton and Gwinnett Counties.

In 2000 (see Table 1), the population of DeKalb was 665,865 residents and consisted of 249,339 households. DeKalb County is also the densest county in the state in terms of housing. There were 261,231 housing units; of those, approximately 59 percent were owner-occupied.

Table 1: Population Overview, U.S. Census 2000

Census 2000	DeKalb County
Population	665,865
Households	249,339
Families	156,670
Housing Units (including vacant units)	261,231
Owner-Occupied HHs	145,825
Renter-Occupied HHs	103,514

Over 49 percent of households in DeKalb County (see Table 2) earned \$50,000 or more and almost 16 percent earned \$100,000 or more per year.

Table 2: Household Income, U.S. Census 2000

Household Income	Population	Percent of Population
<\$15,000	25,957	10.4%
\$15,000 to \$24,999	25,896	10.4%
\$25,000 to \$34,999	30,714	12.3%
\$35,000 to \$49,999	44,229	17.7%
\$50,000 to \$74,999	54,269	21.8%
\$75,000 to \$99,999	29,666	11.9%
\$100,000 to \$149,999	24,116	9.7%
\$150,000 to \$199,999	7,558	3.0%
>\$200,000	6,986	2.8%
Total	249,391	100.0%

Blacks are the largest population in terms of race in DeKalb County (see Table 3) at 54.2 percent followed by whites at 35.8 percent.

Table 3: Race/Ethnicity, U.S. Census 2000

Race	Population	Percent of Population
White	238,521	35.8%
Black	361,111	54.2%
Asian/Pacific	27,047	4.1%
Other	25,065	3.8%
Multi-Racial	14,121	2.1%
Total Population	665,865	100.0%

The largest portion of the population in DeKalb County is between 30 and 39 years of age (see Table 4). The second largest age group is the 5 to 17 years of age with approximately 17.6 percent of the county's population.

Table 4: Age Structure, U.S. Census 2000

Age Structure	Population	Percent of Population
Under 5	47,357	7.1%
5 to 17	116,621	17.6%
18 to 21	39,223	5.9%
22 to 29	99,187	15.0%
30 to 39	125,588	18.9%
40 to 49	99,744	15.0%
50 to 64	84,921	12.8%
65 and up	53,224	8.0%
Total	665,865	100.5%

PLANNING PROCESS: PUBLIC PARTICIPATION

The planning process for Brook Run began with an understanding of the 102 acres and the existing facilities. The inventory and analysis phase examined environmental, architectural, utilities and transportation elements on the site.

The second and third parts of the planning process included stakeholder vision and consensus building. These parts relied on input from the community with public meetings. The first round of public meetings occurred on October 1 and 10, 2002. These meetings included a presentation of the inventory and analysis phase and working session with the residents. During the working session, participants were asked to respond to two questions:

- 1) Uses & Activities: What do you want to be able to do at Brook Run?
- 2) What is a favorite place that you would like Brook Run to be like?

From the list of responses to the first question, residents were then asked to prioritize the answers, which produced a list of top suggested park uses. The suggested park uses included:

- children's playground
- nature and multi-use trails
- re-use theater
- concert bandstand/amphitheater
- nature center/classes
- kids workshop/summer camp
- picnic/pavilion
- botanical center/gardens
- gathering space/events lawn
- water element
- veterans memorial

For the second question, responses ranged from neighborhood parks to regional parks. Most of the examples given focused on preserving the environment and creating passive recreation opportunities. Some examples included Calloway Gardens, Central Park, Chattahoochee NRA, and Atlanta Botanical Gardens.



Public Meeting #1, October 2002

The second set of public meetings were held on December 9 and 10, 2002. The findings from the first meeting were presented along with the conceptual master plan and the vision for Brook Run. A playground update and possible funding mechanisms were presented to the community, as well.



Public Meeting #2, December 2002

existing conditions/ site analysis



Open space at Brook Run will provide passive and active recreation areas



Design team reviewing existing conditions on site

EXISTING CONDITIONS/SITE ANALYSIS

The site is characterized by relatively moderate slopes with existing structures intertwined with surrounding wooded areas. The site slopes from an approximate elevation of 1,040 feet above sea level at the northern and eastern edge, to an approximate elevation of 950 at the western portions of the site. Consistent with this topography, there are two existing streams that flow east to west. One of the streams is north of the main entry drive and the other stream is south of the entry drive, just north of the hospital. Both streams feed into Nancy Creek located west of Brook Run.

The main entrance is off of North Peachtree Road and meanders along a main "spine" road through the entire site, terminating at the hospital complex in the western portion of the site. Located off of this main drive are several "outdoor rooms" or open meadows within the forest canopy. Many of these open areas contain existing buildings, others contain passive recreation fields. In the center of the site there is an existing large open flat area that once was the parade grounds. This open area attracts many visitors and currently accommodates a variety of un-programmed activities and gatherings.

From inside the site, the dense vegetation effectively buffers the sounds of traffic on North Peachtree and Peeler roads. As you progress farther into the site from east to west, you are immediately immersed in the natural surroundings and peaceful atmosphere. Even though the entire site is heavily wooded, the western portion of Brook Run is an exceptionally beautiful combination of rolling topography and mature dense forest. This area is very reminiscent of the North Georgia Mountains and, together with the two stream corridors, supports a wide variety of indigenous plant and wildlife.

EXISTING ARCHITECTURAL FACILITIES

There are currently 17 buildings on the site with roads and associated parking areas, sidewalks, landscaping and utilities.

The 17 buildings occupy approximately 463,100 square feet. Each of the existing buildings on the site was assessed for both its current condition and reuse potential. The assessment consisted of the following factors:

- overall current condition of buildings
- quality of design and construction
- reuse potential taking into account cost, programs, etc.

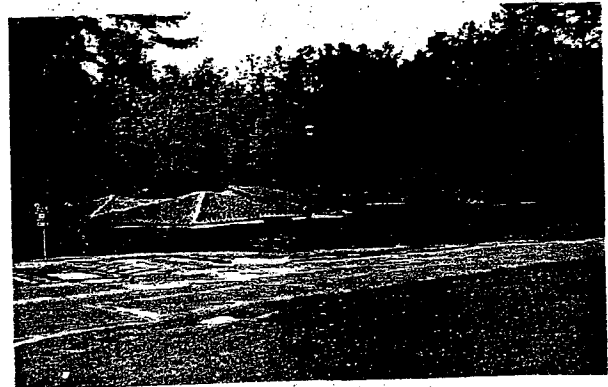
The buildings were then ranked according to each of the three factors from one to three: one being poor, two being fair, and three being good. The ranks were then totaled with a score of three being the lowest and nine being the highest. An illustration of the results is on the following page.

Housing A, which consists of 29,416 square feet and two stories, is a wood frame structure with brick veneer. The building was originally used as housing and recently underwent a general "clean-up" renovation. It has a maximum capacity for 86 residents with approximately 39 double-occupancy rooms and eight single-occupancy rooms. The overall building, in terms of structural integrity and waterproofing, is currently in good condition (score of six) due to its ongoing use and maintenance. The reuse potential of Housing A as a residence hall is excellent.

Housing B, a one-story building with 13,762 square feet, is also of wood frame construction with brick veneer. This building was originally used as housing and has been left abandoned for the past five years. It has a maximum capacity for 42 residents with 16 double-occupancy rooms and 10 single-occupancy rooms. The overall building, in terms of structural integrity and waterproofing, is currently in average condition (score of five). Moderate renovation of the entire building is needed. The reuse potential of Housing B as a residence hall is good.

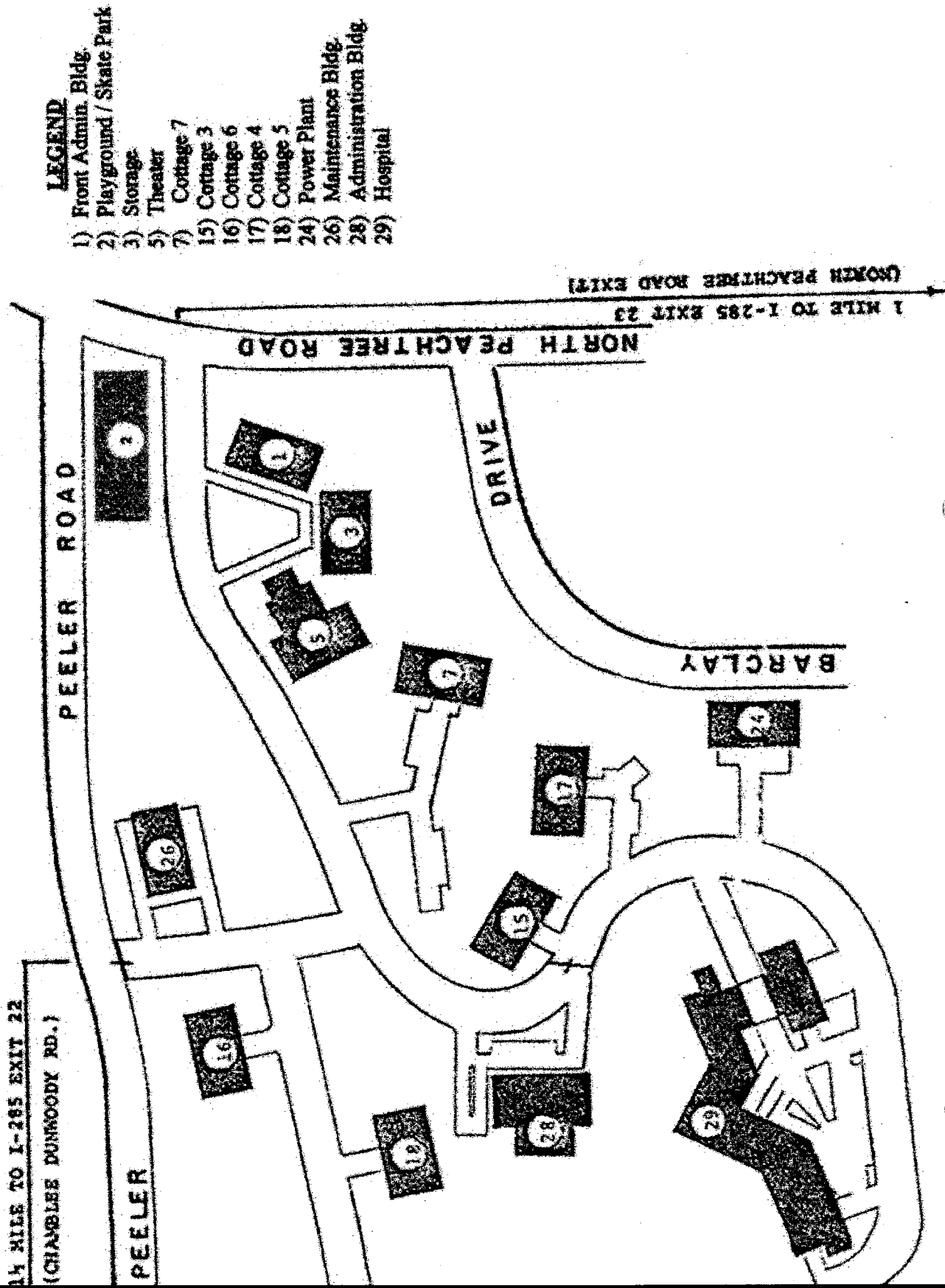


Front Elevation of Housing A



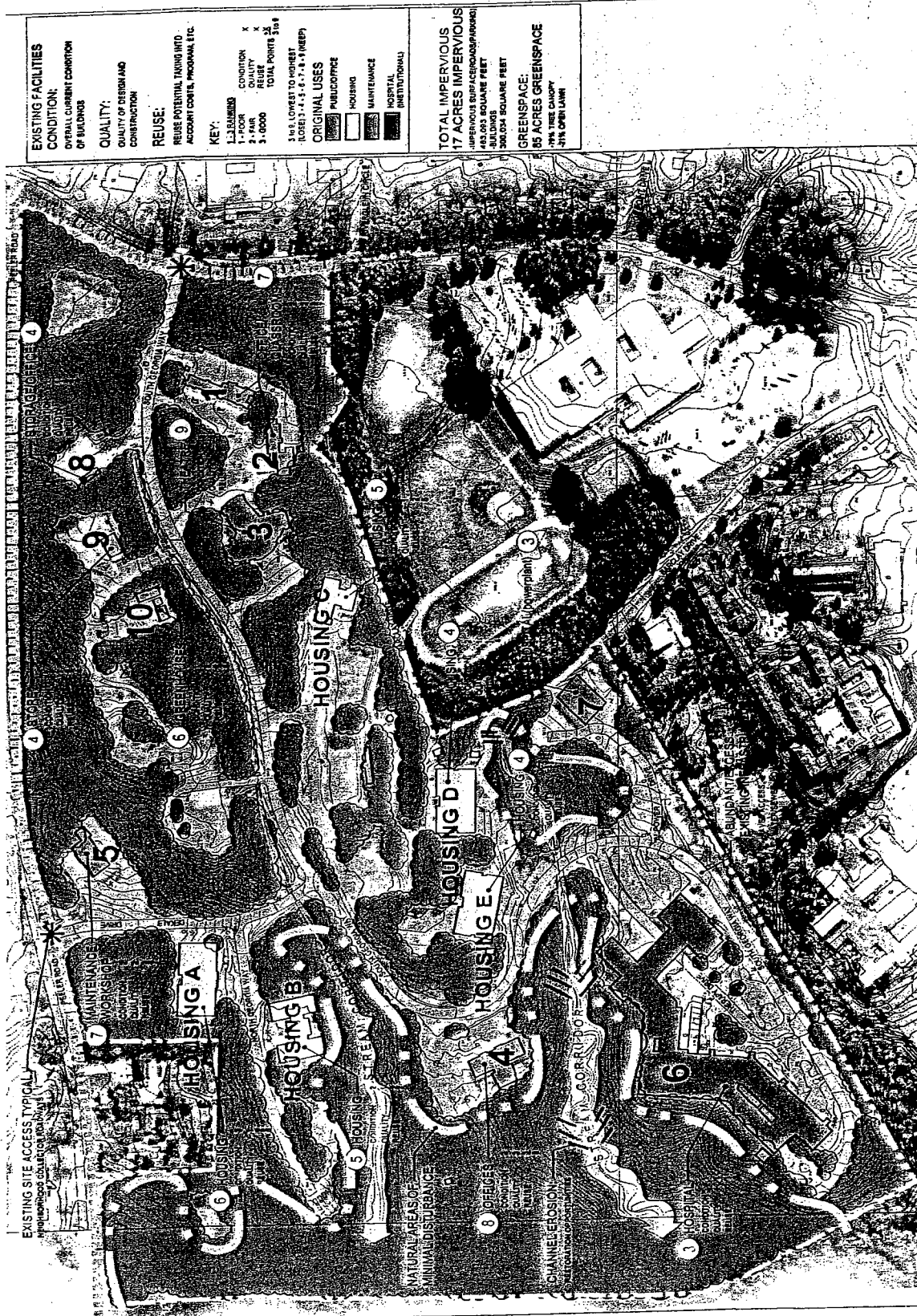
Front Elevation of Housing B

BROOK RUN PARK
4770 NORTH PEACHTREE RD.
DUNWOODY, GA. 30338



LEGEND

- 1) Front Admin. Bldg.
- 2) Playground / Skate Park
- 3) Storage
- 5) Theater
- 7) Cottage 7
- 15) Cottage 3
- 16) Cottage 6
- 17) Cottage 4
- 18) Cottage 5
- 24) Power Plant
- 26) Maintenance Bldg.
- 28) Administration Bldg.
- 29) Hospital



SITE ANALYSIS SUMMARY

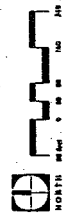
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Brook Run

01 October 2007



Housing C is a one-story building with 6,879 square feet. It is a wood frame structure with brick veneer and was originally used as housing. It currently has a maximum capacity of 22 residents with 10 double-occupancy rooms and 2 single-occupancy rooms. The overall building, in terms of structural integrity and waterproofing, is currently in average condition (score of five). Extensive interior renovation of the entire building is needed to fit the new programmatic goals. The reuse potential of Housing C as an elderhostel or visiting professor's residence is good.

Housing D is a two-story building with 25,058 square feet. It is a wood frame structure with brick veneer. This building was originally used as housing and has been left abandoned for the past five years. The overall building, in terms of structural integrity and waterproofing, is currently in average condition (score of four). The location of the building, along with its need for upgrades, and the limited program need for housing units make this building a good candidate for removal.

Housing E, a two-story building with 25,058 square feet, is a wood frame structure with brick veneer. This building was originally used as housing and has been left abandoned for the past five years. The overall building, in terms of structural integrity and waterproofing, is currently in average condition (score of four). The location of the building, along with its need for upgrades, and the limited program need for housing units make this building a good candidate for removal.

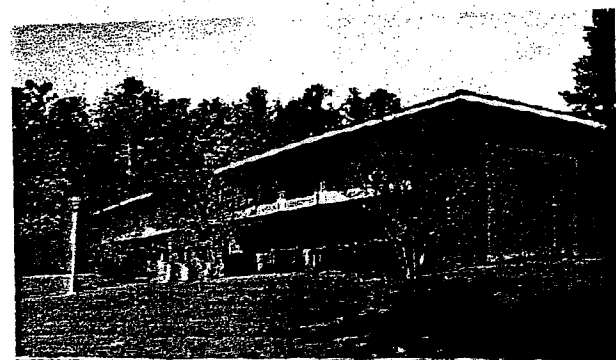
Building 1 is a one-story building with 7,801 square feet. It is a concrete block structure with brick veneer and a steel truss roof system. Building 1 was originally constructed to house a variety of offices and meeting areas. A covered walkway provides continuous pedestrian protection from Building 1 to Building 2 and the Theater (Building 3). The structural shell of Building 1 is in good condition and of quality construction (score of seven). It has suffered some moderate water damage to the floors, ceilings and walls caused by roof leaks and/or pipe leaks. The building's mechanical and electrical systems are near the end of their useful life span and would be difficult to maintain and repair as existing. The building has a very high reuse potential for offices, meeting rooms and classrooms and is in an ideal site location for such purposes.



Front Elevation of Housing C



Front Elevation of Housing D



Front Elevation of Housing E



Side Elevation of Building 1

Building 2, a one-story building with 6,922 square feet, is a concrete block structure with brick veneer. It was originally constructed to house a variety of small shops and classroom spaces. It currently has two large meeting rooms, three smaller ones, and various support spaces. A covered walkway provides continuous pedestrian protection from Building 2 to Building 1 and the Theater (Building 3). The structural shell of Building 2 is in good condition and of quality construction (score of seven). It has suffered some moderate water damage to the floors, ceilings and walls caused by roof leaks and/or pipe leaks. The buildings mechanical and electrical systems are near the end of their useful life span and would be difficult to maintain and repair. The building has a very high reuse potential for offices, meeting rooms and classrooms and is in an ideal site location for such purposes.

Building 3, also known as the Theater, is a tall one-story building with 20,685 square feet. It is a steel frame, concrete block structure with brick veneer. Building 3 was originally designed as a small theater. It has an understated exterior appearance. Along with the theater space itself, there is an attractive small assembly room with stained glass windows and accents and other additional back-of-stage spaces. A covered walkway links the theater to the adjacent office/meeting buildings (Buildings 1 and 2). The theater is a stylistically interesting and structurally sound building. It has experienced some water, mold and mildew damage due to poor ventilation and leaks. Generally speaking, the building is well designed, yet the overall aesthetic of the building is outdated and in need of improvement (score of nine). Also, the building systems are outdated and inefficient. The size, capacity, layout and location on the site provide an excellent reuse potential for Building 3 to be used once again as an arts and education-oriented multipurpose theater.

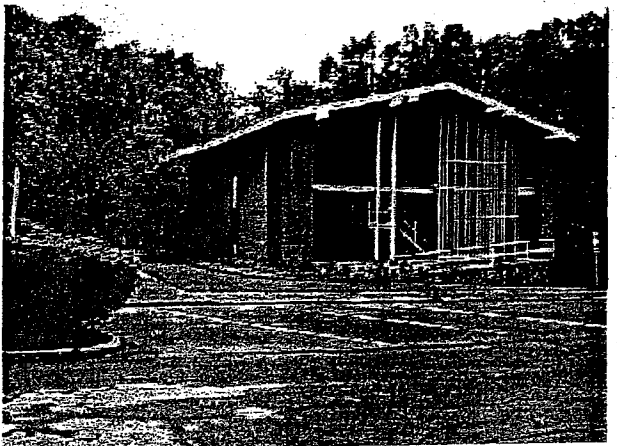
Building 4, also known as the proposed Nature Center building, is a two-story structure with 14,044 square feet. It is of steel stud and wood frame with brick veneer. Building 4 was originally used as an administrative center that exemplifies a typical 1960's era brick veneer office building with some decorative steel detailing on the exterior. It is subdivided into many offices and small meeting



Front Elevation of Building 2



Front Elevation of Building 3



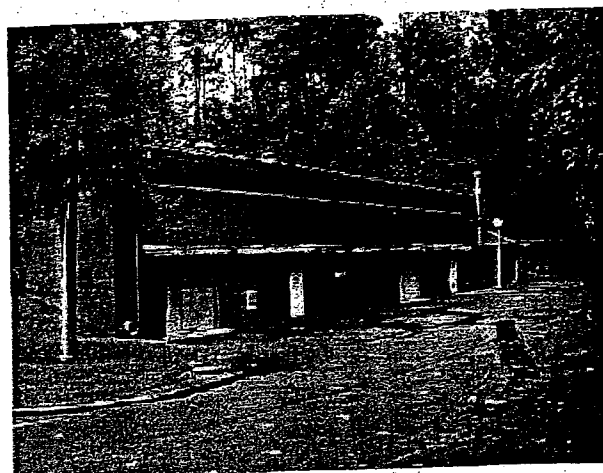
Side Elevation of Building 4

rooms. The "Nature Center" building appears to have a mold and mildew problem due to lack of use and water infiltration. The building shell and structure are in good condition; however, that is not the case with many of the interior finishes (flooring, wall finishes, ceilings, etc.). The reuse potential of Building 4 after a thorough renovation is very high (score of eight).

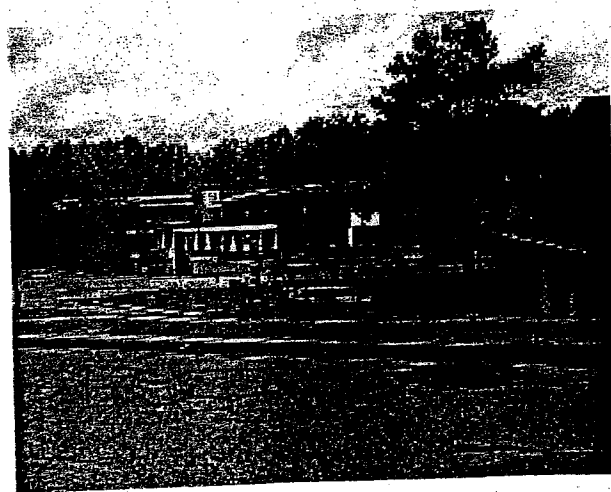
Building 5 is a two-story maintenance building with 9,423 square feet. It is wood frame construction with brick veneer. The maintenance building has a utilitarian appearance with no unique characteristics. It consists of a partial ground floor and a main floor with clerestory windows and high ceilings. The interior is bare with concrete floors and exposed CMU walls. A small office addition was added onto the rear of the building. Building 5 is in fair condition (score of seven). There is some moderate water damage due to roof leaks. The main portion of the structure is in adequate condition for its proposed use. The reuse potential for the Building 5 as a maintenance facility in the future is very good. The building's location and accessibility via a secondary entrance/drive add to the logic of its reuse.

Building 6, also known as the Hospital, is a two-story building with 237,532 square feet. It is of steel stud and concrete block construction with brick veneer. The hospital was constructed in a very typical institutional style. It is an expansive structure that includes a large cafeteria and kitchen, as well as many individual patient rooms, treatment spaces, and offices. Building 6 is a well-constructed building, but it is currently in very poor condition (score of three). It has suffered from years of vandalism and subsequent related damage from the elements. The majority of the building contains broken windows throughout with severe mold and mildew presence. The roof and in particular, the soffits have also undergone substantial water damage. To adapt this building to an alternate functional use would be very expensive and inefficient. Overall, the reuse potential for the hospital structure is very low.

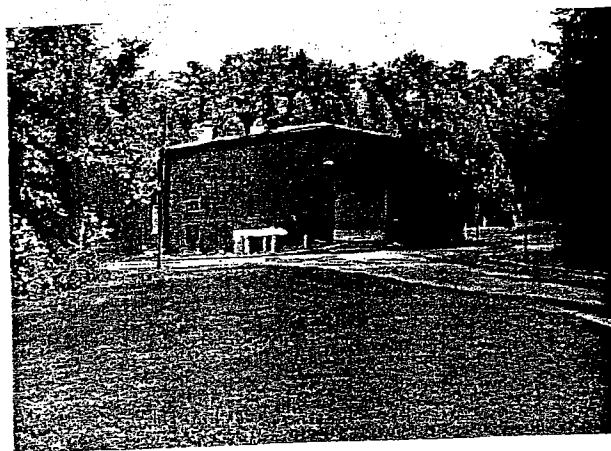
Building 7, a one-story unit with a mezzanine level and 9,032 square feet, is a concrete masonry unit with brick veneer. The building, also known as



Side Elevation of Building 5 with Office Addition



Overall view of Building 6



Front Elevation of Building 7

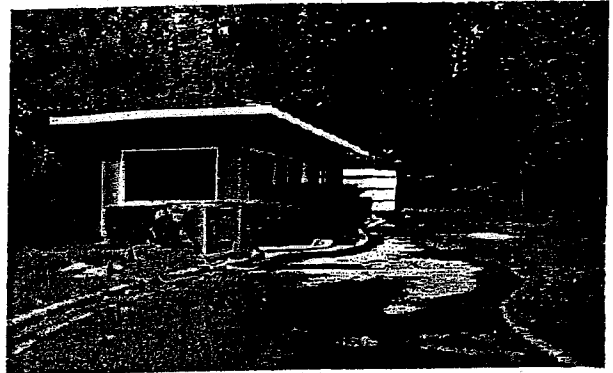
the Hospital Powerplant building, is a structure with a functional and nondescript style. It consists simply of a large open equipment room with an office located on a mezzanine level. Building 7 is in average condition (score of three). The equipment will become unnecessary once the hospital complex is demolished, so it should be removed and salvaged for reuse by others. The building has very low reuse potential for anything other than its current use.

Building 8 is a one-story unit with 420 square feet. It is of wood frame construction with wood siding. Building 8 is a small rectangular office structure. It has the appearance of a temporary building. There are no outstanding features associated with Building 8 and its low quality construction and style is not similar to any of the other Brook Run buildings. Building 8 appears to be in fair overall condition (score of four). However, there is minimal reuse potential for the structure due to its architectural style, size and nonfunctional site location.

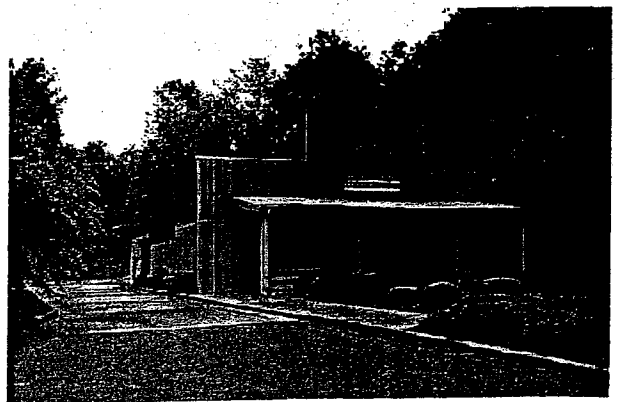
Building 9, also known as the Repeat Performance Store, is a one-story unit with a loft and 2,600 square feet. It is a wood frame structure with wood board-and-batten siding. It was originally utilized as a shop that sold products created by Brook Run residents. The front façade of the building is constructed as a false storefront parapet wall. The Repeat Performance Store is constructed of relatively inexpensive materials. It has a large open raw space with a concrete floor. The interior and exterior are in average condition with mild mold, mildew, and water damage. The structural condition is fair, however the building possesses a low reuse potential both from a functional standpoint and due to its location on the site (score of four).

Building 10 contains three units: a barn and two greenhouses. The total square feet of the structures are 3,148, each standing one-story. The barn is a small wood frame structure with covered porch area. It has a typical barn-style loft area. The greenhouses are large steel frame and plastic clad structures with slab-on-grade concrete floors. The barn is in average condition and constructed of inexpensive building materials. It has mold, mildew and some water damage. The building

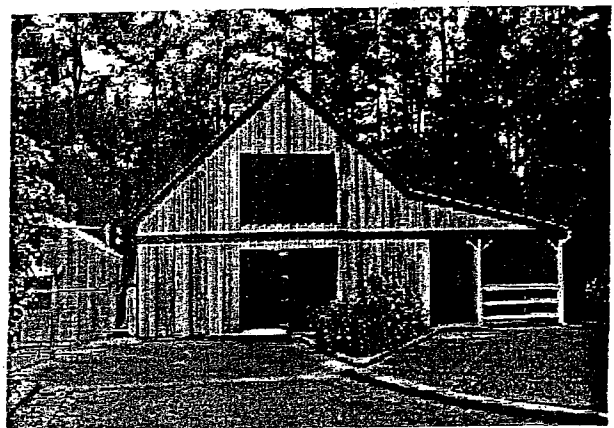
has low reuse potential due to its site location and building quality. The greenhouses are of quality construction and are in good condition (score of six). They have a very high potential for reuse at the current location or for relocation to another area of the park.



Side Elevation of Building 8



Front Elevation of Building 9



Front Elevation of Building 10 - barn

INFRASTRUCTURE AND UTILITIES

The site at Brook Run is supported by extensive infrastructure. From the wide roads that traverse the site to the electrical conduit used to light the perimeter of the site, Brook Run will only require small infrastructure modifications to enable the master plan to be developed.

The former use of the site required stand-alone utilities to support operations. As a result, the site currently contains:

- A potable water system
- A sanitary sewer system
- A minor storm sewer system. However, natural streams transport the majority of the storm sewer runoff.
- An electrical distribution system that includes underground conduit throughout the existing trial system
- An underground telephone distribution system is also present on the site.

Once the hospital complex is demolished, additional water and sanitary sewer capacity will be available. DeKalb County has indicated that there are no known concerns regarding the capacities of the existing water and sanitary systems. Although some of these utilities are in need of repair and updating, the costs associated with this type of work is significantly less than bringing utilities to a new park site.

The site does not contain any storm water detention or retention ponds normally associated with more recent developments. Although not required by local code, these facilities can be incorporated throughout the site in connection with the stream restoration effort as part of the storm water management program. These facilities can also be created to improve the existing water quality and enhance the outdoor educational experience.

WATER RESOURCES

Summary

Human influences in the upper watershed of the Brook Run landscape and its watershed have likely caused greater and more frequent peak storm flows, and longer duration of stream flows capable of altering channel beds and banks. The changes in sediment transport dynamics have led to enlargement of the channel through incision and widening, which is resulting in bank erosion throughout these two stream reaches within the property limits. This has caused some reduction of functioning riparian corridors, and of native wildlife species. Some displacement of native plant communities by invasive, non-native species was also noted. However, the riparian zones along the stream systems are doing well.

The beds of the Brook Run streams are degraded and the banks are eroding. The cause is most likely an alteration of local hydrology and sediment yield. The bank loss process is a coupling of erosion at the toe and undermining from degradation, followed by cantilever failures of the upper bank.

Location and Description

Two stream systems flow through the Brook Run property, located in the western portion of the site. The northern stream is approximately 1,000 feet in length. It flows west from a drainage channel that parallels South Georgia Way, flows under DeKalb Drive and continues west between North and South Georgia Ways. The last section of this stream within the project is located from DeKalb Drive to the western Brook Run property line. Some erosion exists in the upper reaches where the gradient is steeper. The system flattens out in the mid and lower reaches and exhibits low wetland characteristics, for about 1/2 to 2/3rds of its length within the Brook Run property. This stream reach located in the lower area has less slope coupled with a low meander pattern and little erosion. However, this stream is highly impacted by on-site and off site stormwater runoff. Both banks are under stress in the upper reaches of this system.

The second stream system located further south flows underground upstream of the project area and daylights after it passes under Barclay Drive on in its most eastern project end. It continues to flow west crossing under South Georgia Way and beyond the property and project limits. It is approximately 1,600 feet in length. This is a steeper gradient system with a combination of relatively straight and meandering flow in the upper reaches and a highly meandering system in the lower areas. This stream is heavily impacted by stormwater runoff from the adjacent school property as well as on-site. The upper area therefore is a deeply incised stream reach. Generally this stream is eroding throughout its length and is in the deepening and widening stages discussed in previous sections. The lower reaches tend to have either the right or left descending banks in an erosional/failure condition. The upper reaches tend to have both banks under stress and eroding. These streams are clearly disturbed systems seeking equilibrium within a functioning wetland and riparian landscape.

Preliminary Local Streams Assessment

Northern Stream System - Localized erosion in the upper reaches with some bed degradation and a fair bit of toe erosion and bank under cutting leading to failure is typical in the upper reaches of the most northern stream. Generally the banks range in height from 1 to 4 feet. The riparian zone is well vegetated throughout including the lower reaches where wetland species are predominant. The lower reaches do not convey water year round and function as an ephemeral stream (see photo). This stream has a dense vegetative cover and appears to exhibit good to very good riparian/wetland functions.



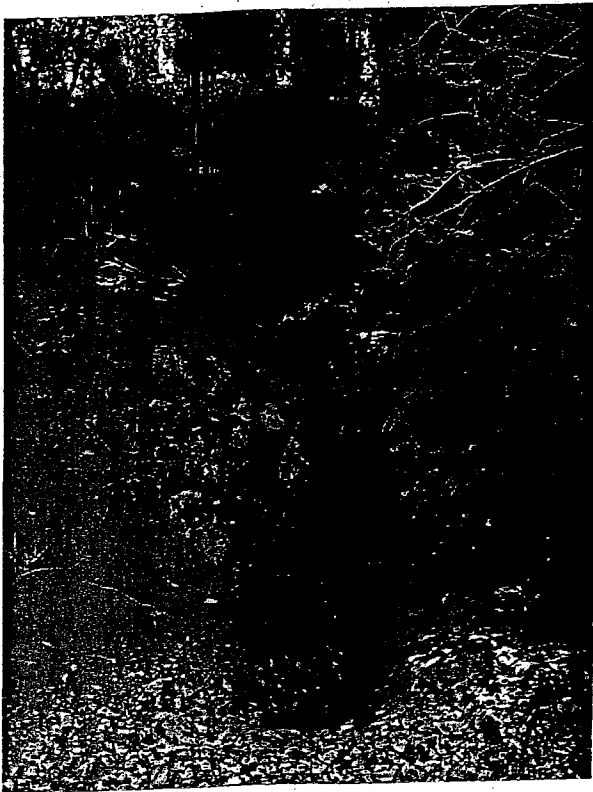
An ephemeral stream

Southern Stream System - The upper and lower reaches are characterized by a high meandering pattern frequently eroded at the outside bends, but maintains fairly consistent stable inside meanders, which are typically well vegetated, likely accounting for there stability (see the image below).



Eroded outside bend along the Southern Stream System

Straight sections typically experience damage on both the right and left descending banks, normally in the way of toe and mid bank erosional failure mechanisms. The bed is composed of well-sorted gravels that are providing a good armor. The highest banks rise 8 to 15 feet, and almost vertical appear to be at the eastern property line where the stream and stormwater is released through a pipe (see image below). While there is a great deal of bed degradation, the clay composition of the banks has allowed for fairly stable conditions. This is evident by the growth of mosses, ferns and other plants on the banks. Further downstream the erosion is similar to the upper reaches with a much higher meander pattern and lower banks 3 to 5 feet high. The upper bank riparian areas were found to be well vegetated. This system appears to flow all year, representing a perennial stream.



Stormwater flow into stream

master plan recommendations

CONCEPT FOR MASTER PLAN

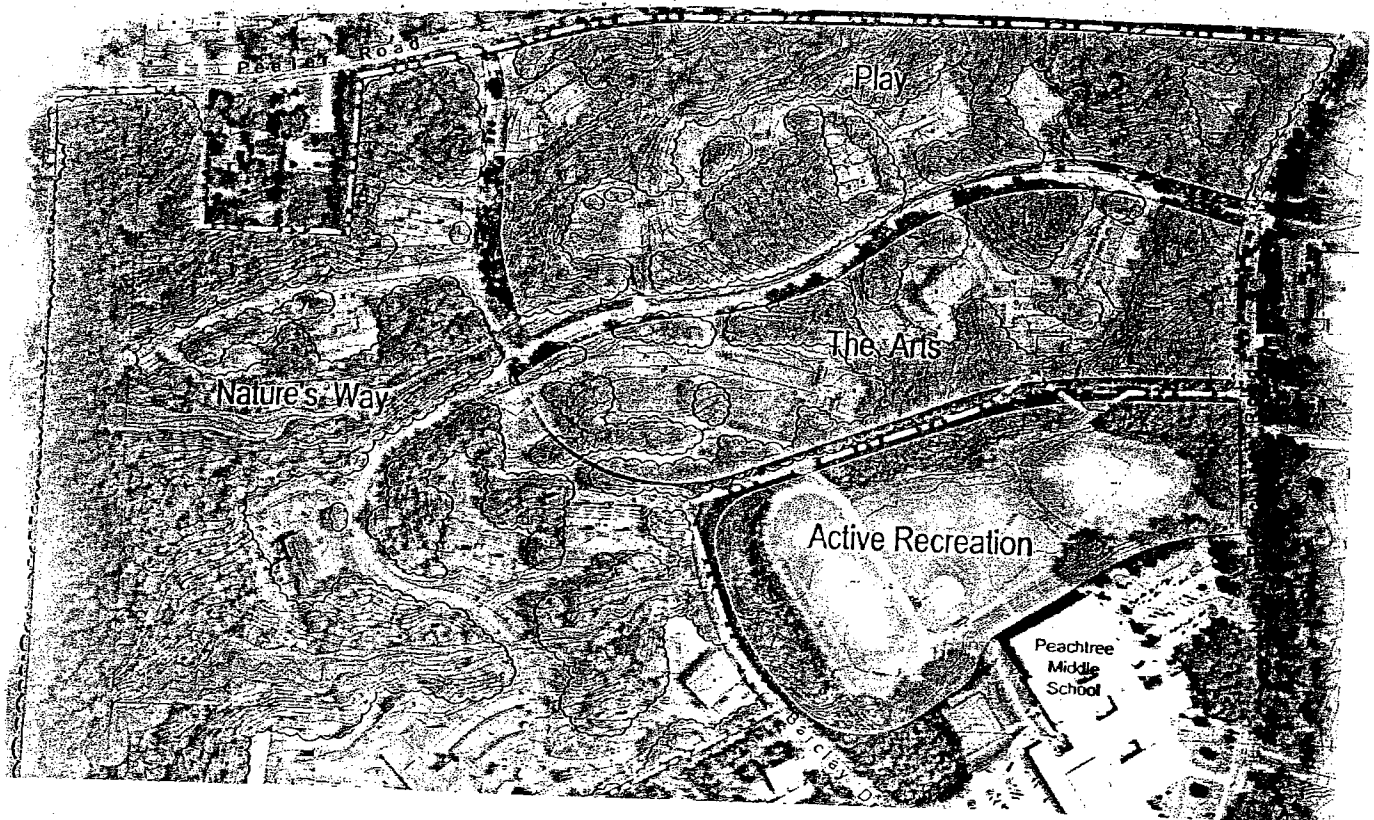
The master plan seeks to accommodate the park uses that have been identified through the public process while respecting the carrying capacity of the site. This approach enables the master plan for Brook Run to provide the maximum number and types of uses while protecting and enhancing the natural resources.

The concept for Brook Run creates the following four zones:

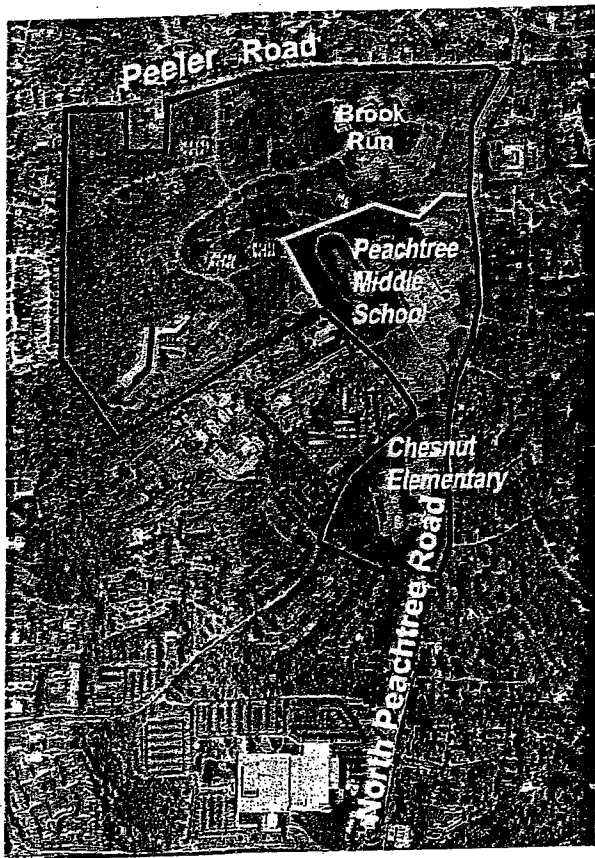
- Nature's Way
- Play
- The Arts
- Active Recreation

These zones were established based on existing facilities and the intensity of future uses. The zones closest to the main entrance at Peachtree Road have the most intense uses while the intensity decreases towards Nature's Way. Although each of the zones focus on separate activities, the over-arching theme for each of the zones is education.

The active recreation zone takes advantage of adjacent existing active recreation fields at Peachtree Middle School. Rather than duplicate these large facilities within the wooded areas of Brook Run, it was suggested by DeKalb County Parks and Recreation that a dialog be started.



with the DeKalb County School Board to look at shared use of these two facilities. After a series of meetings, it was determined that the potential exists to expand the Brook Run Master Plan to include the two adjacent public schools into an overall campus plan. This campus plan would create one contiguous parcel of land, which would include Brook Run, Peachtree Middle School, and Chesnut Elementary. Both DeKalb County Parks and Recreation and the DeKalb County School Board are eager to create a successful model at Brook Run that can be replicated in other portions of DeKalb County.



Potential Brook Run campus area

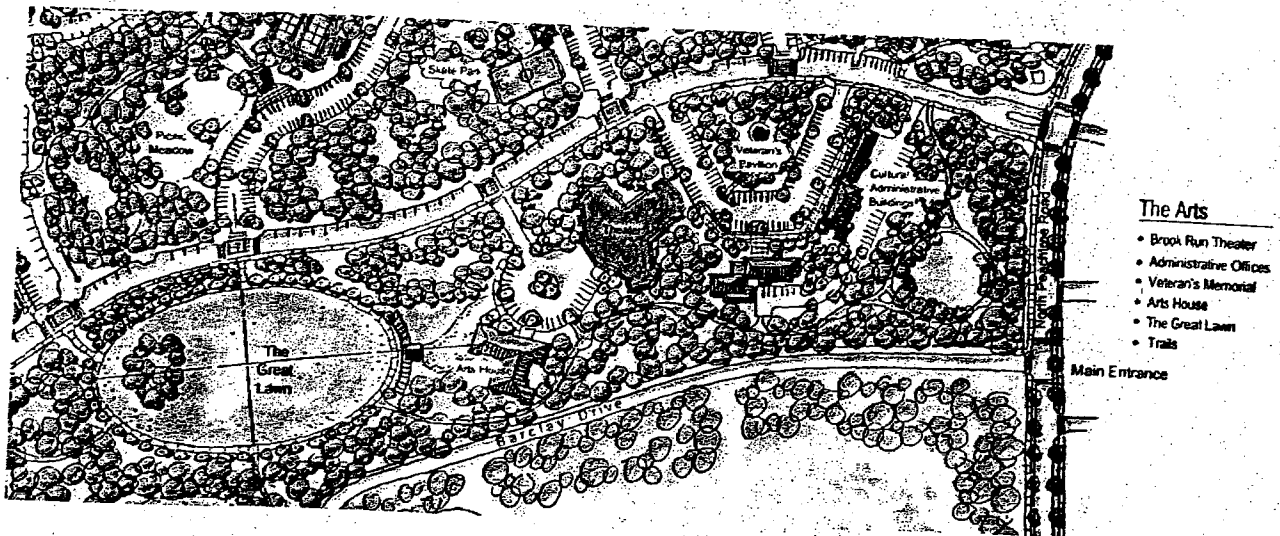
Brook Run is designed to be a significant amenity for all DeKalb County residents, accommodating activities for all age groups. In recognizing the significant natural resources at Brook Run, the DeKalb County Parks and Recreation Department challenged the design team to create a signature

park that would become the County's star attraction, a symbol of DeKalb County's vitality and character.

In order to protect and enhance the natural resources of the site, the design team established the goal of no net loss of trees. The design team thought this was important to maintain the heavily wooded character of Brook Run. Although some trees will need to be removed to accommodate new facilities, new trees will be planted on other areas of the site to offset the loss.

The following master plan illustrates the culmination of a thorough public participation process and foresees a successful example of a public/private partnership between DeKalb County and the Dunwoody Preservation Trust. We hope that this process will serve not only as a successful blueprint for Brook Run, but also for the development and redevelopment of other parks within DeKalb County.

THE ARTS



The Arts zone is located in the southeastern portion of the park. Main components of the Arts zone include the theater, arts house, great lawn, veterans memorial, trails, and administrative buildings.

Brook Run Theater

The 200+ seat theater, the centerpiece for the Arts zone, does need extensive interior and exterior renovations to bring the building up to code. The theater is an opportunity for the surrounding community to have its own performance venue for small scale productions. The theater will also be used as part of summer camps, workshop programs, and by theater and music groups.

Arts House

The Arts House, which was once used as housing, is located across the parking lot from the theater. The building offers large spaces for meeting areas, studio, or classroom space. The building also allows for two apartment units, which could be used as an elder hostel, residences for visiting professors, or for summer camp and workshop leaders.

The Great Lawn

The Great Lawn area, located in the center of Brook Run, is the heart of the park. The area, which can accommodate large gatherings of people, will be used for informal recreation and community events. Community events, such as neighborhood festivals and concerts, will be programmed

throughout the year to keep the Great Lawn as a focal point for the park and the community.

A band shell/stage area, either permanent or temporary, will be located at one end of the lawn for concerts, movies, and theatrical productions.



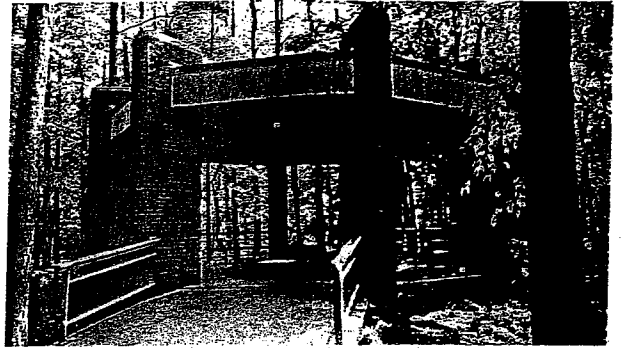
Example of the Great Lawn

The DeKalb County Cultural and Community Complex

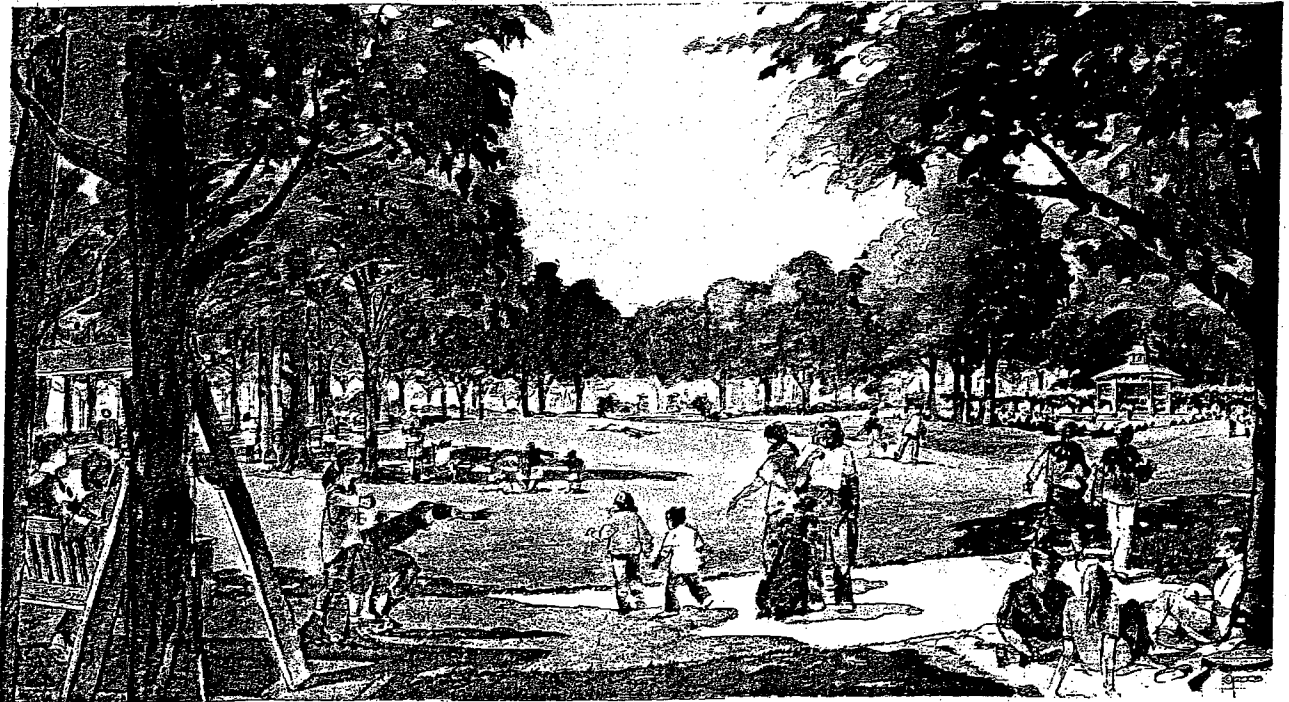
The DeKalb County Cultural Administration Building, located at the main entrance off of North Peachtree Road, will serve as offices for the Parks and Recreation Department and also as a welcome center for visitors to Brook Run and the DeKalb parks system. The office building could also be used for event programming for the park.

Adjacent to the Administration Building is the Reception Hall, which will include two large reception/meeting rooms, food services pre-function setup area, gallery area, and rear garden meeting area.

The veterans pavilion, an area to honor local veterans and educate children about military service, would be created from an existing structure in Brook Run. Upgrades to the pavilion will include enclosure, commemorative pavers, benches, memorial plaques and a memorial directory kiosk.

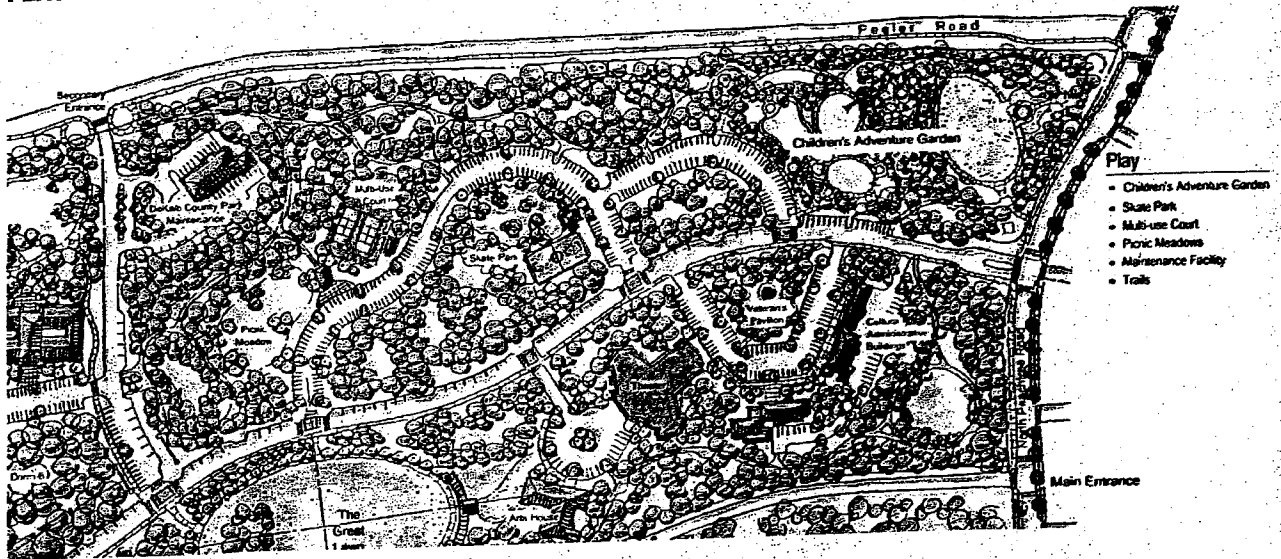


Proposed Veterans Memorial location



A variety of activities at the Great Lawn

PLAY



The Play zone is located in the northeastern portion of the park and is bound by the main entrance road and Peeler Road. It contains the most intense uses, which will include the Children's Adventure Garden, a skate park, and other amenities. Nature paths and walking trails run through the entire zone connecting the different components along with updated restroom facilities, picnic shelters, and parking.

Children's Adventure Garden

The Children's Adventure Garden consists of approximately five acres and is recommended to be the first component implemented. The Children's Adventure Garden provides a snapshot of what Brook Run will have to offer by combining structured play zones with discovery, educational opportunities and nature.

DeKalb County Parks and Recreation challenged the design team to create more than just a playground, to create a signature design that can be used as a prototype throughout the County.

The master plan recommends placing the Children's Adventure Garden on the site of the existing small ballfield and under the existing tree canopy for light shade. This location is good for initial security and community visibility as well as providing the opportunity to showcase our initial investment and promote fund raising.

The plan has a tots play area for ages one to three, a tikes play area for ages four to seven, and a pre-teen play area for ages eight to twelve. Each of the play areas provide adequate seating for parents and supervising adults and are separated by paths and vegetation.

Also found in the Children's Adventure Garden is the nature treehouse. This play area features small huts and elevated bridges. The nature treehouse is intended to provide a tower into the tree canopy for bird watching and to spark creativity and adventure in children's playtime.



Example of nature treehouse

Another component is the open playfield/
amphitheater - giving a glimpse of what the Great

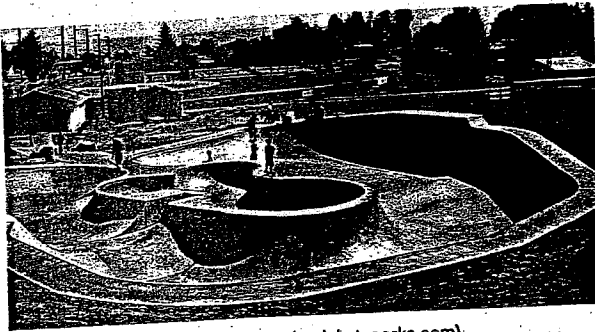
Lawn will provide. This area will act as both a playfield for young adults for informal play and as an amphitheater for community and camp productions.

Skate Park

The skate park offers recreational and educational opportunities for older children. Currently, DeKalb County does not have a skate park. The skate park facility at Brook Run will be designed to fit in with nature and embrace the natural resources. The proposed color palette and building materials will emulate patterns in nature.

The skate park will also provide educational opportunities for children to learn about different building materials, angles, and shapes. Also available at the facility will be skateboard, helmet, and pad rentals.

The design team recommends that the County looks into partnering with one of the many third-party operators to design, build, run and manage the skate park facility. This will reduce liability, reduce costs, increase safety, and increase fun.



Example of skate park (www.dreamlandskateparks.com)

Other Amenities

Other amenities in the Play zone include family picnic meadows, multi-use courts, maintenance buildings, and a comprehensive multi-use trail system. The family picnic meadows will provide passive areas for gathering and covered areas for community events. The multi-use courts will be used for tennis or basketball. The existing maintenance building will be used by DeKalb County Parks and Recreation to maintain Brook Run and surrounding parks.

A comprehensive multi-use trail will be developed throughout the play area connecting all of the proposed facilities and existing amenities. This trail system will allow families to park once and enjoy all of the different amenities of the play zone while minimizing street crossings.

The Nature's Way zone, in the western portion of Brook Run, represents approximately 50 acres (1/2 of the site)

Components of Nature's Way will include:

- The Nature Education Center
- Camp Dormitories A and B (Housing A & B)
- Camp Brook Run
- Brook Run Aviary Gardens
- Horticulture Center
- Trail System
- Stream Restoration

The Nature Education Center

This is a renovation of the 14,044 square-foot Administration Building to include offices and classroom space for the nature-based programs at Brook Run. This two-story building is centrally located in the park and located on the edge of the prime forest area, yet has ample room for bus parking and drop off as well as general public access.

This main headquarters will provide a base of operations for "Camp Brook Run," which can offer year-round programs for all ages. In this location, there could be space for science labs, an environmental resource library, a small auditorium as well as a cafeteria-type snack bar to support camp functions. Options for this building include interior renovations and additions to provide state of the art classrooms, workrooms, office space and storage.

While this may be suitable for County School Board supervision and operation, potential private partners such as Dunwoody Nature Center and Zoo Atlanta may also be able to provide assistance on program development and operations.

One program that has been successful at nature centers and zoos, The Nature Exchange, may be applicable at Brook Run. The Nature Exchange is a unique learning environment that relies on the personal "trading" of found natural items and information about them, to motivate interest and understanding. The Exchange becomes a library of materials that educate others about nature. These

personal exchanges provide hands-on science education in methods that have great lasting benefits.

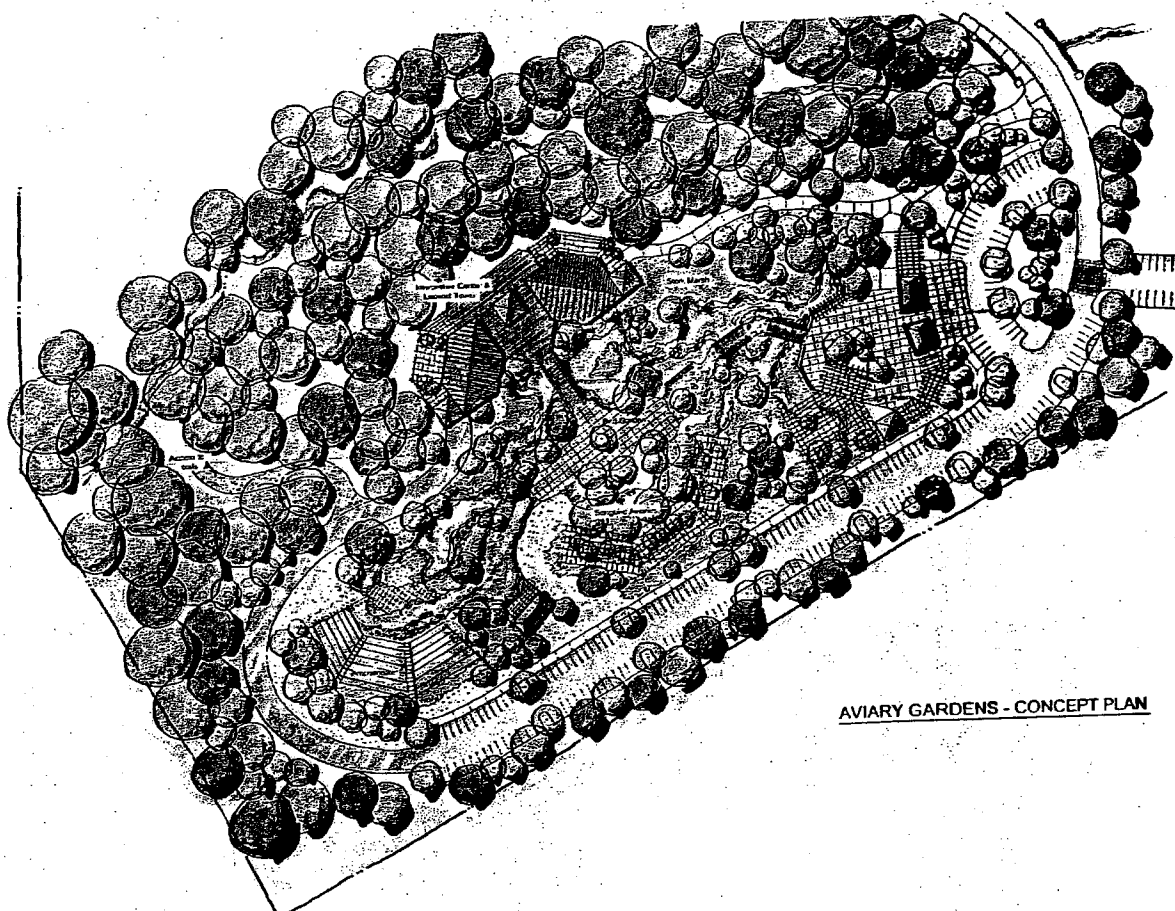
Camp Dormitories

Brook Run currently includes several group-housing units. Two of these, Housing A and Housing B, could become camp dormitories for use by camp programs (including one recently renovated). Housing A has a capacity for 86 and Housing B for 42. One may be developed for elderhostel-type programs for seniors, with adult sized sleeping accommodations, while the other should be scaled for children. Potential partners are Elderhostel, local colleges/universities, and Dunwoody Nature Center.

Aviary Gardens

The hospital complex is a major liability for the site in its current condition and its renovation and re-use potential is very low. In keeping with the theme of "Restoration of the Site", the building should be demolished to make room for a more compatible use. We are proposing that we investigate building an aviary devoted to native birds of Georgia. This regional attraction would provide a setting for bird watching, captive displays, demonstrations and conservation education. This would form a natural setting for special events and weddings as well as be developed into an important resource for the birding community. Potential partners are Zoo Atlanta, the Atlanta Audubon Society, the Georgia Department of Natural Resources and others.

This feature is seen as a phased development that would be built as interest and funds are available. The first major undertaking is obviously the demolition of the Cherry Tree Center and its adjoining infrastructure (utilities, parking and some paving). During that process, care needs to be taken to avoid eroding the slopes and increasing stormwater runoff that can degrade the stream below. Once the demolition is complete, the site can be graded out to provide a base elevation for the further development of the Aviary site. Beyond the grasses needed for soil stabilization, plants that attract birds and other wildlife should be planted. This will be an open meadow that will attract large numbers of migratory and resident birds. Special events can be held to raise monies



AVIARY GARDENS - CONCEPT PLAN

and educate visitors about the mission of the park. Additionally, volunteers can be utilized to maintain the newly planted areas and trails.

The storm run-off and drainage from this newly demolished site needs to be contained to prevent major damage to the stream corridor. The hilltop development considers that water in the design of the stormwater run-off. Site water will be used and recycled in the water features for the birds as it is slowed down before it enters the stream corridor. Marshes and ponds will provide natural filtering system as well as prime wildlife habitat.

It is anticipated that a private operator be located to take on the Aviary's development and operation. While this function relates to the Nature Education Center, that can be a County program, operating a facility of this complexity takes multiple skills and expertise that may not fall under the County's Park Department. A special public/private partnership

would be best suited to undertake this project. Bringing in a management team to focus on developing a sustainable business, with the support of DeKalb County administration, will be necessary for a successful partnership.

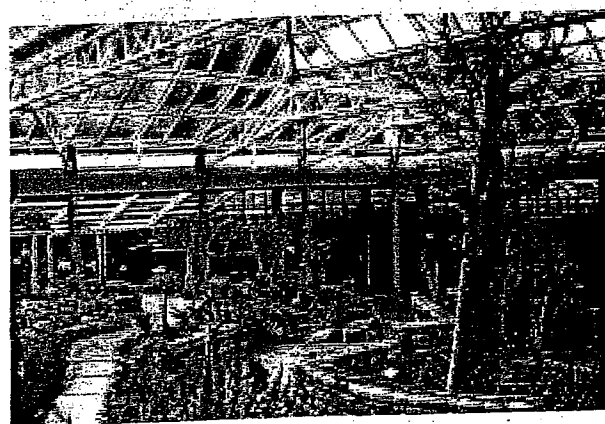
Observation Tower - Once the clean-up and replanting is complete, one of the first projects to be completed may be the Observation Tower. This could have a huge impact on the birding community. From this treetop vantage point, the site's beauty can be observed as well as a great place to observe the variety of bird life. Care needs to be taken to provide a safe experience for the visitors with appropriate railings and accessible platforms. A hydraulic elevator may be needed to include all visitors in this unique experience. The tower should spring from a gathering deck space, which also overlooks the forest as well as providing viewing into the treetops. This can



The Aviary Gardens

form an interim location for demonstrations and staging area for guided nature walks prior to the completion of the amphitheater and other features.

Interpretive Center - Adjacent to the Observation Tower is the main pavilion for the Aviary. This building is envisioned as a "green" building, demonstrating appropriate technology for energy conservation, reused and recycled materials and that it be a showplace for the latest ideas in this developing field. The roof can be planted with plants that attract wild birds while reducing runoff and maintaining a low profile. The roof form may even simulate bird's wings. Art and sculpture should be integrated in the design and function of the center. As part of the program, a "gallery" approach will be taken whether we are talking about the bird viewing areas, the multi-media theater or gathering areas for special events (e.g. weddings, business meetings, cocktail parties).



Example of an Interpretive Center

The building's interpretive program is conceptualized as an educational center for birdlife of Georgia. Some examples of interpretive themes at Brook Run are migratory species and the return of the Sand Hill Cranes, backyard habitats and the species that live here, endangered species with a focus on local species, and the conservation programs that are actively involved in their protection.

Treetops Aviaries - The Interpretive Center will have large free-flight enclosures directly adjacent to the gallery space. Viewing will simulate the treetop experience to promote natural behaviors for the birds on the edge of a forest, with the natural forest as the backdrop. Exhibited in the Aviaries will be mixed, native woodland species (see list below). These aviaries will be designed as post-and-cable structures with high-quality stainless-steel netting that will provide maximum safety for the birds as well as virtual clarity for the visitors. Examples of some of the local native species that may be exhibited are listed below.

- Bobolink (migratory)
- Wild Turkey
- Northern Bobwhite
- Pileated Woodpecker
- Red-cockaded Woodpecker (endangered species)

Wildlife Marsh - A flagship feature for the Aviary is the Wildlife Marsh. A water feature is proposed to both provide a stormwater treatment area and water fowl habitat. This dual function can teach both site development/stream restoration as well as active conservation techniques.

We hope to be able to participate in recovery projects that focus on conservation of endangered Wood Storks and Sandhill Cranes. Working closely with governmental partners such as Georgia Department of Natural Resources and US Fish and Wildlife Service as well as other private organizations such as the International Crane Foundation, this exhibit can interpret programs underway to bring these species back to our skies and marshes.

These species have been exhibited in open marshland enclosures that provide open viewing opportunities for the visitors. The design of this exhibit would incorporate visitors' immersion into the bird's habitat via floating walkways or bridges.

Butterfly Garden - The Butterfly Garden is conceived as an outdoor sculpture garden to be used for outdoor special events and public appreciation of butterflies. This would be the plaza area and forecourt to the Interpretive Center and form a central visitor node for access to the

Amphitheater, Walkthrough Aviary and other features. Plants in this area will be selected to attract butterflies and other wildlife. Butterflies, of course, will be seasonal, yet the garden should be a sunny place during colder weather and provide other visitor amenities, such as benches and water features.

Songbird Aviaries - Located in the center of the site is a walk-through aviary devoted to songbirds. This full immersion experience will simulate a woodland garden with flowering plants and trees, simple streams and pond areas as well as visitor walkways and interpretation. Various options can be explored to enclose larger areas or create separate aviaries for specific, non-colonial species. All the species on display will be native to Georgia and in some way related to conservation efforts.



Example of interior of a songbird aviary

Examples of some of the native or migratory species that may be exhibited are listed below.

- Yellow-bellied Sapsucker
- Eastern Bluebird
- Blue-winged Warbler (rare)
- Yellow-billed Cuckoo
- Kirtland's Warbler (end. sp./mig.)
- Indigo Bunting

Wildlife Amphitheater - One of the most successful and direct methods of getting across the mission and goals of a conservation organization is by public presentation. Raptor shows or bird shows are very popular, informative and entertaining. This is a way to demonstrate the birds' keen senses, athletic abilities and impressive size that will have a lasting impression on an audience. The presenter

can also educate the visitors on the conservation issues related to each species. The Amphitheater at Brook Run Aviaries can be used for multiple purposes including wildlife shows, demonstrations and even music and dance. We propose a 250-300 capacity seating. "Mews" will also be built to provide housing for the show animals. Some of the Georgia Natives that may be considered are:

- Peregrine Falcon
- Bald Eagle
- Snowy Owl
- Red-shouldered Hawk
- Great Horned Owl
- Rehab Birds

Entry Complex - Since the Aviary is envisioned as a gated attraction, additional visitor amenities are required. The Entry Complex will be designed to accommodate ticketing for groups, members and general public wishing to experience something special. The Entry should orient the visitors as to what is available to see and do, times for special presentations and provide answers to a host of questions visitors will have. There will also be space for purchasing items such as film, soft drinks and gift items related to the Aviary. Restrooms and security functions will also be available at this location. It is anticipated that visitors will want to see their first bird upon entry, and we propose an exhibit for a pair of bald eagles to add immediate interest in the entry plaza. Parking for approximately 250 cars will be provided along the perimeter of the project adjacent to the existing roadways. Bus parking will only be provided at the Nature Education Center.

Horticulture Center

This is the headquarters for the site restoration project. We anticipate re-locating the existing greenhouses to this new site and building additional facilities to accommodate proposed programs. This place can offer homeowners advice on naturalizing the urban forest through master gardening classes, plant sales, and demonstration gardens. Other activities may rental community garden plots and weekly farmer's markets. Examples of the types of courses that can be offered include:



Three budding master gardeners

- Butterfly gardening
- Master gardening classes
- Composting
- Using native grasses
- Dealing with exotic invasive species
- Native gardening for birds
- Wildlife habitat gardening
- Plant propagation
- Wetland and bog gardening
- Wise streamside gardening
- Xeriscaping and soil improvement

Trail System

There will be several miles of trails developed throughout the Brook Run site. Some will be designed as hard surface paths for easy access, while others may be more suited for jogging and hiking. These trails offer opportunities for both exercise and education. Interpretation of native plants and animals, as well as games and physical challenges can be found along the trails.

Stream Restoration

Much of the work and interpretation in the Nature's Way area will be focused on restoring the native vegetation and stream channels and returning the land to a its natural state. The two streams at Brook Run can be improved to provide habitat for native wildlife and demonstrate civic responsibility by preserving our urban forests. Possible partners include volunteer networks.

ARCHITECTURAL FACILITIES

Recommendations for the existing buildings on site are based on an analysis of the overall current condition of the building, quality of design and construction, and reuse potential taking into account financial and programming considerations. Of the ten existing buildings and five housing buildings, nine will remain and be used as part of the Brook Run facility, while six buildings and the barn will be removed.

The following are recommendations for the individual buildings.

Housing A should undergo general renovation throughout the building with replacement of the outdated systems, older appliances, plumbing and lighting fixtures with more efficient items. The mechanical and electrical systems are near the end of their useful life cycle and should be replaced before the building is set up for its new permanent use. As a part of this work, the ceilings will need to be replaced and new paint should be applied throughout. Also, several code issues will need to

be dealt with regarding accessibility.

Housing B should undergo a general renovation throughout the building including the replacement of some the outdated systems, older appliances, plumbing and lighting fixtures and finishes with more up-to-date efficient treatments. Included would be a complete redo of the mechanical and electrical systems as they are at the end of their useful life and it would be sensible, as in Housing A, to replace all before the building is set up and occupied.

Housing C should undergo a more complete interior renovation throughout the building including the replacement of the outdated systems, the older appliances, plumbing, electrical fixtures and finishes with more modern treatments. The new use will require interior demolition and the build-out of two apartments along with multi-purpose spaces for working and meeting.

Housing D should be demolished and removed, returning more land to green space.

Building	Square Feet	Recommendation	
		Renovation	Demolition
Housing A	29,416	✓	
Housing B	13,762	✓	
Housing C	6,879	✓	Handwritten: 11/10/05 PERM
Housing D	25,058		✓
Housing E	25,058		✓
Building 1	7,801	✓	
Building 2	6,922	✓	
Building 3 (Theater)	20,685	✓	
Building 4 (proposed Nature Center)	14,044	✓	Handwritten: (Needs Demolition)
Building 5	9,423	✓	
Building 6 (Hospital)	237,532		✓
Building 7	9,032		✓
Building 8	420		✓
Building 9 (Repeat Performance Store)	2,600		✓
Building 10	3,148		Handwritten: (✓) Still Standing
barn			
greenhouses (2)		✓	

Housing E should be demolished and removed, returning more land to green space.

For **Building 1**, the exterior brick veneer should be cleaned and repointed as necessary. A new membrane roof should be installed for the entire building. The building's mechanical and electrical systems should be replaced in full. This will allow the building to be brought up to current codes, will allow for new zones/layouts of spaces to meet current program uses, will increase the energy efficiency, and will help to minimize maintenance and repair costs. Interior water damage should be repaired and the building should undergo a full interior renovation. Appliances, fixtures and interior finishes should all be replaced with more current models and materials.

The exterior brick veneer on **Building 2** should be cleaned and repointed as necessary. A new membrane roof should be installed for the entire building. The buildings mechanical and electrical systems should be replaced in full. This will allow the building to be brought up to current codes, will allow for new zones/layouts of spaces to meet current program uses, will increase the energy efficiency, and will help to minimize maintenance and repair costs. Interior water damage should be repaired and the building should undergo a full interior renovation. Appliances, fixtures and interior finishes should all be replaced with more current models and materials.

For **Building 3**, the exterior brick should be cleaned and repointed. The building also is in need of a new roof. We also recommended the addition of some decorative façade treatments. The entry should be renovated and modernized by replacing the aluminum fascia, storefront windows, and doors with updated more energy efficient materials. The building's lobby should be reworked to allow for larger public toilet rooms that meet the capacity and accessibility standards required by current codes. All new interior finishes, new theater seating, and fixtures should be installed, along with a reworking of the stage lighting and sound system. As in the other buildings, the mechanical and electrical systems should be completely replaced to bring up to current codes and energy efficiency standards. The building is also in need of a sprinkler system.

Building 4 should undergo an overall renovation with complete replacement of the mechanical and electrical systems and most of the interior finishes. Extensive mold and mildew removal is necessary to restore good air quality to the building. Interior toilet rooms should be reworked and fixtures and appliances should also be updated. The building exterior brick should be cleaned and repointed as necessary. The exterior trim and steel detailing should be primed and repainted. A new standing seam metal roof should also be installed to replace the old asphalt shingles and to match the other buildings.

Building 5 should be reworked starting with completely replacing the roofing. Carpet and ceilings in the office area should also be replaced. An overall general cleaning and repainting is also needed in the main work areas. At this stage it is recommended that the building's mechanical, electrical and plumbing systems all be replaced so the ongoing maintenance and repairs will not be overly costly.

Building 6 should be demolished because of high costs for renovation and the low probability of finding a compatible new use for the building.

Building 7 should be demolished, because it becomes obsolete without the hospital building.

Building 8 should be demolished, since the building has no reuse function.

Building 9 should be demolished, since it has no reuse function.

For **Buildings 10**, the barn should be demolished. The greenhouses should be dismantled, cleaned and relocated to the proposed Horticultural Center.

ENVIRONMENTAL/NATURAL RESOURCES

Overall Recommendations

Incredible potential to speed up the recovery process (and to protect these areas in the future) exists with these systems due to the high interest in the community, proposed watershed changes (removal of impervious surfaces on the Brook Run property), the healthy well connected riparian zone directly associated with the stream and the fact that the immediate urban development area is pretty stable. Under the new physical, environmental, social, political and economic regime, a number of possibilities are available. These range from protection to areas that have not experienced damage, enhancement for areas that have sustained limited damage and complete stabilization and restoration to highly damaged areas. It will be critical that the work is done as far as possible in a holistic fashion to ensure long-term sustainability.

Future studies will require that a physical and environmental assessment be performed to clearly identify the type of erosional/failure conditions and the alternative solutions. A phased approach will work well once the reaches are identified and prioritized for work.

TRANSPORTATION/UTILITIES

There are two wide roads that provide access to the surrounding road network. With the addition of a new special entrance onto Barclay Drive, access to the site will be improved. By narrowing the lanes and providing parallel parking along the main roads, the wide roads can be efficiently utilized for on-street parking. This will allow the site to replace some of the parking lost at the hospital complex while not increasing the amount of impervious area. Parallel parking also provides a traffic calming effect on the two main drives. This, in combination with speed tables and other devices, will reduce the speed and the volume of cars traversing the site.

The adjacency of Peachtree Middle School will also assist Brook Run by providing large parking lots during non-school hours and on weekends for peak demand events. An electric shuttle could be utilized during weekend events to reduce the traffic impact. This would also allow the site to be more pedestrian friendly.

PEDESTRIAN CIRCULATION

The Brook Run Master Plan incorporates the many comments regarding pedestrian circulation and connectivity that were voiced during the public participation process. The plan proposes developing a continuous perimeter sidewalk system along Peeler Road and North Peachtree Road and decorative crosswalks at Peeler Road, the main entrance, and Barclay Drive. The results of this should be increased connectivity to the adjacent neighborhoods and traffic calming along the major roads.

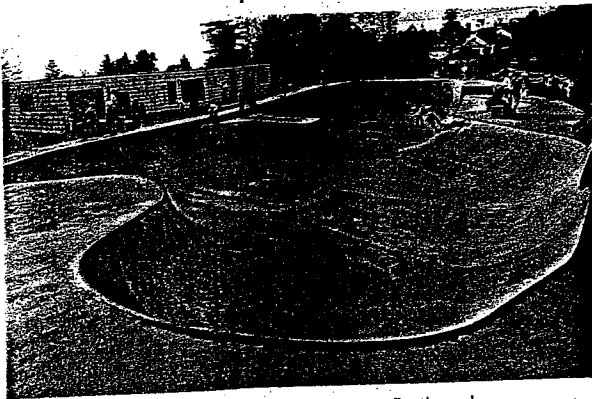
Once the pedestrian has arrived at Brook Run, a comprehensive trail and sidewalk system will provide accessibility throughout the entire site. The proposed trail system will allow access to all of the natural areas while minimizing pedestrian and vehicular conflicts.

The primary goal in developing the pedestrian and trail system is to provide ADA-compliant accessibility to most of the facilities within Brook Run.

marketing & fund raising plan



The theater could generate funds to maintain the park and provide additional programs



The skate park at Brook Run could generate profits through equipment rentals and admission fees

To be successful Brook Run needs to consider a wide variety of funding sources from grant writing and gift solicitation to outsourcing fee-for-service revenue generators and marketing events at the park. Initially the park should develop a board to set the policy and tone desired in the park and to explore the funding options suggested below.

PARTNERSHIPS

The newly renovated Brook Run facility offers many opportunities for partnerships. Rather than parcel out these pieces individually, our recommendation would be to consider a non-profit partner who oversees the entire facilities providing fund raising abilities as well as managing the day-to-day operations of the park and contracting with individual providers for programs like Camp Brook Run, the arts house and theater, the horticulture center, nature center and the skate park. The idea would be to create a profit center for the park so that funds raised through parks programs are plowed back into the facilities.

The park can also be supported by a Friends of Brook Run partnership. This kind of program has provided funding and volunteer coordination for parks across the nation. Here in the Atlanta area, the Piedmont Park Conservancy is an excellent example. They provide outreach and volunteer efforts for the preservation and advancement of Piedmont Park in central Atlanta. A similar program should be considered for Brook Run.

Directly across Barclay Drive is Peachtree Middle School with playing fields and other facilities. Also located nearby is Chesnut Elementary School. If the County enters into agreements with the DeKalb County School Board, both schools could take advantage of facilities at Brook Run and Brook Run could gain the support of the PTAs, students and families of the schools. The DeKalb County School

could expand partnerships beyond these two schools by using Brook Run as a learning facility for other schools in the system, day trips and overnight camps are possibilities.

The Art House and Theater complex offer opportunities for partnerships with local theater companies as well as rental opportunities as a small performing arts venue. The nature education center has possibilities of partnerships with either DeKalb County Schools and Dunwoody Nature Center or an advocacy group like Trust for Public Land, the Sierra Club or a watershed advocacy group because of the connection to the stream restoration.

For-profit entities may be interested in naming opportunities for facilities. These should be carefully considered and if undertaken negotiated with care. It is important that a public park not resemble a NASCAR vehicle with logos pasted all over it, especially if Brook Run wants to position itself as a natural respite from the commercial surroundings. However, with the right partners, naming opportunities can be a wonderful source of revenue.

Partnerships should be approached with an open and creative mindset. Which potential partners (for-profit and not-for-profit) make win-win situations for Brook Run and the partners?

OPERATING FUNDS + PROGRAM POTENTIAL

Operating costs can be offset by revenues generated at for-fee use areas. Each of the three zones, Nature's Way, Play, and the Arts, has revenue-generating potential as programs are established for their use. These funds would be used to help cover operating costs, maintain and enhance the existing facilities, and provide additional programs for the community.

Within Nature's Way, the Aviary Gardens, run by a third-party operator, could be a large financial generator with admission fees, concessions, and rental fees for special occasions. Also within Nature's Way are dormitories that would support summer camps and as well as providing workshop space. Depending on the success of a camp program at Brook Run, camps and workshops could be operated year-round.

The Horticulture Center could offer master gardening programs, classes, and rental plots for surrounding schools and community residents. Opportunities exist to coordinate with DeKalb's extension service or to partner with radio gardening show hosts, etc.

Within the Play zone, a strong revenue generator would be the skate park with equipment rentals, admission fees, and concessions. Offering facilities for group parties at the skate park and renting group shelters for community events are another way to increase pay-for-use funds within the Play zone.

The Arts zone offers several revenue generators with the theater, the great lawn, and the art house. The theater could provide funding through space rental, ticket fees, and concessions. The great lawn, providing possible activities from fireworks to concerts, would be available for events. The art house would generate revenue through camp programs, live/work accommodations, and other rental space.

FUNDING SOURCES

There are a large variety of sources available for funding in addition to the partnerships and fee-for-service strategies discussed above. The following narrative details sources of funds used by parks departments across the United States. This is followed by a list of granting agencies and grant research and then lists specific grant funding sources available for parks.

Funding Sources Available For Parks, Recreation and Open Space

Corporate Sponsorships

This funding source allows corporations to invest in the development or enhancement of new or existing facilities in park systems. Sponsorships are also frequently used for programs and events.

Partnerships

Partnerships are joint development funding sources or operational funding sources between two separate agencies, such as two government entities, a non-profit and a county department, or a private business and a county agency. Two partners jointly develop revenue producing park and recreation

facilities and share risk, operational costs, responsibilities, and asset management based on the strengths and weaknesses of each partner.

Dedication/Development Fees

These fees are assessed for the development of residential and/or commercial properties with the proceeds to be used for Parks and Recreation Department purposes, such as open space acquisition, community park site development, neighborhood parks development, regional parks development, etc.

Foundation/Gifts

These dollars are raised from tax-exempt, non-profit organizations established with private donations in promotion of specific causes, activities, or issues. They offer a variety of means to fund capital projects, including capital campaigns, gift catalogs, fundraisers, endowments, sales of items, etc.

Recreation Service Fees

This is a dedicated user fee, which can be established by a local ordinance or other government procedures for the purpose of constructing and maintaining recreation facilities. The fee can apply to all organized activities, which require a reservation of some type, or other purposes as defined by the local government. Examples of such activities include adult basketball, volleyball, and softball leagues, youth baseball, soccer, and softball leagues, and special interest classes. The fee allows participants an opportunity to contribute toward the upkeep of the facilities being used.

Intermodal Transportation and Efficiency Act

This funding program, commonly called TEA-21, was authorized by the federal government in 1991. Funds are distributed through the state. There are several million dollars in enhancement revenues available for transportation related projects, including bicycle and pedestrian trails, landscaping, and beautification projects. Congress will consider the renewal of the program in 2003.

Land and Water Conservation Fund

These funds are awarded for acquisition and development of parks, recreation and supporting facilities through the National Park Service and state park system.

General Obligation Bonds

Bonded indebtedness issued with the approval of the electorate for capital improvements and general public improvements.

Industrial Development Bonds

Industrial development bonds are specialized revenue bonds issued on behalf of publicly owned, self-supporting facilities.

Hotel, Motel and Restaurant Tax

Tax based on gross receipts from charges and meals services, which may be used to build and operate sports fields, regional parks, golf courses, tennis courts, and other special park and recreation facilities.

Grants

A variety of special grants either currently exist through the federal and state governmental systems or can be established through the life of current and proposed facilities.

Special Improvement District/Benefit District

Taxing districts established to provide funds for certain types of improvements that benefit a specific group of affected properties. Improvements may include landscaping, the erection of fountains, and acquisition of art, and supplemental services for improvement and promotion, including recreation and cultural enhancements.

Interlocal Agreements

Contractual relationships entered into between two or more local units of government and/or between a local unit of government and a non-profit organization for the joint usage/development of sports fields, regional parks, or other facilities.

Revenue Bonds

Revenue bonds are used for capital projects that will generate revenue for debt service where fees can be set aside to support repayment of the bond.

Private Concessionaires

Contract with a private business to provide and operate desirable recreational activities financed, constructed, and operated by the private sector with additional compensation paid to the County.

Creation of an Authority

Many successful park authorities exist throughout the country and they help spur creative business approaches to leisure services that some governmental entities cannot provide.

Bond Referendum

For expansive capital needs a referendum can be sought, to renovate and design new facilities meeting the needs and demands of residents of the County. General obligation bonds generally are initiated through County Commission approval and may require citizen vote.

Fees/Charges

Many parks must position their fees and charges in line with the market for recreation based on both public and private facilities.

Cost Avoidance

Parks cannot be all things for everyone. To some extent they must be driven by the market and at the same time stay within the mandate of the County. By shifting its role as direct provider, the County will experience savings by deciding whether or not to provide a facility or program. This is a cost avoidance. The estimated savings could be realized through partnering, outsourcing, or allowing another entity to provide a particular service or facility.

Real Estate Transfer Fees

As cities and counties expand, the need for infrastructure improvements continues to grow. Since parks add value to neighborhoods and communities, some cities and counties have turned to real estate transfer fees to help pay for needed renovations. Usually transfer fees amount to ¼ to ½ % on the total sale of the property.

Land Trust

Many counties have developed land trusts to help secure and fund the cost for acquiring land that needs to be preserved and protected for greenway purposes.

Greenway Utility

Greenway utilities are used to finance acquisition of greenways and development of the greenways by selling the development rights underground for the fiber optic types of businesses.

Naming Rights

Many cities and counties have begun selling the naming rights for new buildings or renovation of existing buildings and parks to help offset the development cost of the improvement.

Rental Car Tax

This tax can be designated for land acquisition or other purposes. Some cities and counties have used a percentage of rental car taxes to support land acquisition or improvements in parks.

Establish a Designated License Plate for Parks

This funding mechanism can be used to finance improvements or programs in the County through a designated license plate.

Licensing Rights

This revenue source allows the Recreation Department and county to license its name on all resale items that private or public vendors use when they sell clothing or other items with the Brook Run name on it. The normal licensing fee is 6 to 10% of the cost of the resale item.

Sales Tax

This revenue source is very popular for funding park and recreation agencies either partially or fully. The normal sales tax rate is one cent for operations and one-half cent for capital.

Food and Beverage Tax

The tax is usually associated with convention and tourism bureaus. However, since parks and recreation agencies manage many of the tourism attractions, they can receive a portion of this funding source for operational or capital expenses.

Capital Improvement Fees

These fees are on top of the set user rate for accessing facilities such as golf, recreation centers and pools to support capital improvements that benefit the user of the facility.

Merchandising Sales

This revenue source comes from the public or private sector on resale items from gift shops and pro shops for either all of the sales or a set gross percentage.

Concession Management

Concession management is from retail sales or rentals of soft goods, hard goods, or consumable items. The County either contracts for the service or receives a set of the gross percentage or the full revenue dollars that incorporates a profit after expenses.

Friends Associations

These groups are formed to raise money typically for a single focus purpose that could include a park facility or program that will better the community as a whole and their special interest.

Advertising Sales

This revenue source is for the sale of tasteful and appropriate advertising on park and recreation related items such as in the County's program guide, on scoreboards, dasher boards and other visible products or services that are consumable or permanent that exposes the product or service to many people.

Irrevocable Remainder Trusts

Typically these trusts are set up by individuals who have more than a million dollars in wealth. The trusts leave a portion of their inheritance in an endowed trust fund that is available for the County to use the interest to support designated park and recreation facilities or programs.

Life Estates

This source of money is available when someone wants to leave their property to the County in exchange for right to live on their property until their death. Depending on the size of the estate, the County may use a portion of the property for park purposes and then all of it after the person's death. This revenue source is popular with wealthy individuals whose estates will be highly taxed at their death. A life estate allows them to receive a yearly tax deduction while leaving property to the County after their death.

Permits (Special Use Permits)

These special permits allow individuals to use specific park property for financial gain. The County either receives a set use fee or a percentage of the income.

Reservations

This revenue source comes from the right to reserve specific public property for a set amount of time. The reservation rates are usually set in advance and apply to group picnic shelters, meeting rooms for weddings, reunions and other special activities.

Catering Permits and Services

This is a license to allow caterers to work in the park system on a permit basis with a set fee or a percentage of food sales returning to the County. Many counties have their own catering service and can receive a percentage of dollars on the sale of food.

Volunteerism

The revenue source is an indirect revenue source in that persons donate time to assist in providing a product or service. This reduces the County's cost in providing the service plus it builds advocacy into the system.

Business Excise Tax

This tax is for new business that settles into a community on products sold based on the wholesale cost. Park Districts in Illinois have used this source as one of its revenue sources.

Wheel Tax on Cars/Vehicles

Many counties have a sticker tax on vehicles based on the type of vehicle. This allows park agencies to receive a portion of this money to cover the costs of roads, hard surface paths and parking lots associated with parks.

Parking Fee

This fee applies to parking at selected destination facilities such as beach parking areas, major stadiums and other attractions to help offset capital and operational cost.

Equipment Rental

The revenue source is available on the rental of equipment such as tables, chairs, tents, stages, bicycles, roller blades, boogie boards, etc.

Entertainment Tax

This tax is on ticket sales for major entertainment venues such as concert facilities, golf tournaments, car races, etc. This tax can help pay for traffic control, clean up and restoration. This tax can also apply to video game machines.

Ticket Sales/Admissions

This revenue source is on accessing facilities for self-directed activities such as pools, ice skating rinks, ballparks and entertainment activities. These user fees help offset operational costs.

Special Fundraisers

Many park and recreation agencies have special fundraisers on an annual basis to help cover specific programs and capital projects.

Utility "Round-up" Programs

Some park and recreation agencies have worked with their local utilities on a round-up program where consumers can pay the difference between their bill up to the even dollar amount and the utility then pays the department the difference. Ideally, these funds are used to support utility improvements such as sports lighting, irrigation cost and HVAC costs.

As of this writing, grant and gift funding sources are unfortunately under a great deal of strain. The fall in the stock market has reduced philanthropic portfolios. Even steady and long term funding sources in the Atlanta area are pulling back: Woodruff Foundation, Turner Foundation, and others are forgoing funding this fiscal year and decreasing the funds they are allocating for giving for FY2004. Likewise governments are seeing decreases in tax funding and are cutting programs and grants.

Having said that, we recognize that the full build-out for Brook Run will occur over a number of years and funding sources will open back up again. The Brook Run marketing and fund raising plan should recognize a slow beginning is possible and work to secure specific limited funds in the early years and grow grass roots support for the full build out.

National Funding Sources Available for Recreation, Trails and Greenways, Restoration

Eastman Kodak American Greenways Award Program

Grants to stimulate the planning and design of greenways. \$500-\$2,500.
Contact: Denise Swol, Coordinator
Phone: 703/525-6300
Web address: www.conservationfund.org

Storm Water Grants

Funding for projects within the state's non-point source priority watersheds (SWIM and NEP waterbodies)
Web address: www.epa.gov/OWOW/NPS/guide.html

Wetlands Grants

Funding for implementation of wetlands conservation and restoration projects. \$1 million.
Contact: U.S. Fish and Wildlife Service
Phone: 703/358-1784
Web address: www.fws.gov/r9nawwo/nawcahp.html

Small Grants Program

Funding for long-term conservation of wetlands. \$50,000 maximum per project.
Contact: U.S. Fish and Wildlife Service
Phone: 703/358-1784

Water Quality Cooperative Agreements

Innovative projects relating to the prevention, education and elimination of water pollution.
Ranging from \$25,000 to \$150,000
Contact: EPA Region IV
Phone: 404/562-9278
Email: rayfield.dorothy@epa.gov

Five Star Restoration Challenge Grant Program

Funding for community-based wetland and riparian restoration projects. Average grant in FY 2000 was \$10,000.
Contact: National Fish and Wildlife Foundation
Web address: <http://www.nfwf.org/5star-rfp.htm>

EPA Programs

Environmental protection and community well-being grants for conservation, water resource, brownfields, etc. \$5,000-\$50,000 per project.
Contact: U. S. Environmental Protection Agency, Region 4
Web address: www.epa.gov/region4

Sustainable Development Challenge Grants

Funding for sustainable development. \$30,000-\$100,000 and \$100,001-\$250,000.
Contact: U. S. Environmental Protection Agency
Phone: 202/260-6812
Email: desautels.lynn@epa.gov
Web address: www.epa.gov/ecocommunity/sdcg

NEA Challenge America Grants

Specific art projects, community involvement, partnership programs, education, bringing art to underserved communities. 400 grants of \$5-10,000 each were available in FY 2001.
Contact: National Endowment for the Arts
Phone: 202/682-5400
Web address: www.arts.endow.gov

New Community Forestry Grants

Funding for community based forestry projects. 15-20 awards of \$40,000 each.
Contact: Ford Foundation
Web address: <http://www.aspeninstitute.org/rural>

Recreation Equipment, Inc. (REI) Environmental Grants

Funding for preservation of greenways and open space. Grants up to \$5,000.

Contact: Terry Williams, Outreach Coordinator
Web address: <http://www.rei.com/aboutrei/grants02.html>

Coors Pure Water 2000 Grants

Resolution of local, regional, and national water related problems, and the clean up, preservation, and conservation of water. Grants up to \$50,000.

Contact: Coors Pure Water 2000
Phone: 1-800-TO-COORS

World Wildlife Fund Innovation Grants

Helps communities implement innovative strategies for the conservation of natural resources. Grants range from \$5,000-\$7,500.

Contact: World Wildlife Fund
Phone: 202/293-4800

Global Relief Heritage Forest Program

Provides funding for planting tree seedlings on public lands.

Contact: American Forestry Association, P.O. Box 2000, Washington, DC 20013

Turner Foundation Forest and Habitats Grants

Defend biodiversity by protecting habitats in the states of AK, NM, MO, CO, NE, SC, GA, FL

Web address: <http://www.turnerfoundation.org/grants/pa.asp>

Turner Foundation Water Grants

Water Resources Management and Planning, Water Resources Environmental Impacts, Waterways and Harbors (in the states of NM, CO, NE, NC, SC, GA & FL)

Contact: Turner Foundation, Inc.

Phone: 404/681-9900

Email: <http://www.turnerfoundation.org/grants/pa.asp>

National Fish and Wildlife Foundation & Natural Resources Conservation Service & National Association of Conservation Districts Challenge Grants

Funding for conservation on private lands. \$2 million.

Web address: <http://www.nacdnet.org/eNotes/nfwf.htm>

National Fish & Wildlife Conservation Grants

Grants generally fall in the areas of habitat protection and restoration, species conservation / applied conservation, applied research and policy development, education and training for natural resource professionals. \$10,000-150,000.

Contact: Grant Administrator Trevor Needham
Phone: 202/857-0166

Web address: <http://www.nfwf.org/programs/programs.htm>

NFWF Native Plant Conservation Initiative Grant

Protect, enhance, and or restore native plants on public and private lands. Habitat restoration, public education and species inventory and assessment. Applicants must match the full amount of the grant. max \$25,000.

Contact: Gary Kania 202-857-0166

Web address: <http://www.nfwf.org/programs/grantapply.htm>

Patagonia, Inc. Environmental Grants Program

1% of all sales go to environmental protection and restoration.

Phone: 805/634-8616

Web address: www.patagonia.com

Goldman Environmental Foundation

Funding for environmental projects.

Contact: Duane Silverstein, Executive Director

Phone: 415/788-9090

Web address: www.goldmanprize.org

North American Wetland Conservation Act (NAWCA) Grant

Encourages voluntary public-private partnerships to conserve North American wetlands ecosystems for acquisition, restoration, and/or enhancement.

Contact: Andrew Milliken, Joint Venture Coordinator, US Fish and Wildlife Service

Phone: 413/253-8269

Web address: <http://www.northamerican.fws.gov/NAWCA/nawcahp.html>

Georgia Specific Grant Programs**Georgia Forestry Commission, Urban Forestry Council**

Approximately \$400,000 is awarded to communities across the state of Georgia for projects that stimulate and enhance urban and community forest resources. Funds are provided yearly by the USDA Forest Service and the program is administered by the Georgia Forestry Commission in cooperation with the Georgia Urban Forest Council. **Deadline, 4:30 pm, May 16, 2003**
 Web address: www.gfc.state.ga.us

Georgia Community Greenspace Program

DeKalb County has received over \$3 million to date from this state level program. Funding levels are still being determined under Governor Perdue
 Web address: www.georgianet.org/dnr/greenspace

Funding and Grant Directories**Environmental Grantmakers Association Directory**

Contact: Grantmakers Association
 Phone: 212/373-4260
 Web address: www.ega.org

Catalog of Federal Domestic Assistance

Contact: Federal Domestic Assistance Catalog Staff
 Web address: www.gsa.gov/fdac

Federal Commons Web Portal

(23 grant-making agencies, awarding roughly \$300 billion in federal grants to 30,000 organizations annually)

Contact: Eleni Martin, General Services Administration

Web address: www.cfda.gov/federalcommons

Federal Funding and Assistance for Rivers Trails and Open Space Conservation

Contact: National Center for Recreation and Conservation

Web address: <http://www.nps.gov/nrcr/>

National Trails System Sourcebook for Federal, State and Foundation Assistance, September 1999

Contact: National Center for Recreation and Conservation

Phone: 202/565-1200

Directory of Funding Sources for Grassroots River and Watershed Conservation Groups, 2000-2001

Contact: River Network

Phone: 503/241-3506

Web address: www.rivernetwork.org

Catalog of Federal Funding Sources for Watershed Protection, 1999

Contact: USEPA Office of Wetlands, Oceans, and Watersheds

Phone: 202/260-2757

Web address: <http://epa.gov/OWOW/watershed/wacademy/fund.html>

IMPLEMENTATION MATRIX

The effectiveness of a plan is directly related to its ease of implementation. For this master plan we have proposed a number of large capital projects as well as new management functions. For these recommendations we have delineated projects, estimated costs, suggested potential partners and funding sources, and recommended phasing.

It is the nature of a planning process to want to front-load projects, to get all the exciting projects rolling and completed in the first phase. Rarely does funding permit this. Having said that, we advise that this matrix should remain flexible; as the implementation process continues the matrix should be revisited and updated to reflect realities of funding and construction.

IMPLEMENTATION MATRIX
BUDGET ESTIMATES/PROJECTS BY PHASE

	PHASE I (2003-2005)	PHASE II (2005-2007)	PHASE III (2007-2009)	PHASE IV (2009-2011)	PHASE V (2011-2013)
PLAY	\$827,640	\$842,500	\$36,250		
	Children's Adventure Garden	Skate Park	Multi-purpose Court		
		Trail System			
		Building 8: Shed / demo			
		Building 9: Repeat Performance / demo			
		Building 10: Greenhouse / relocate			
ART	\$1,320,000	\$3,890,000	\$350,000		
	Veteran's Pavilion	Building 3: Theater	Picnic Meadows (2 Total) Site work		
	Building 1: Office Classroom	Housing C: Arts house	Housing D: Demo		
	Building 2: Office Classroom	The Great Lawn	Housing E: Demo		
		Band Shell			
NATURE/SWAY	\$2,440,000	\$1,567,500	\$4,650,000	\$7,145,247	\$3,296,000
	Stream Restoration	Picnic Meadows (2 Total) Site work	Housing A: Camp Dormitories A	Interpretive Center	Songbird Aviary
	Building 6: Hospital / demo	Observation Tower	Housing B: Camp Dormitories B	Treetop Aviaries	Butterfly Gardens
	Building 7: Powerplant / demo	Observation Deck	Building 4: Nature Education Center	Entry Complex	Wildlife Amphitheater
		Stream	Building 5: Maintenance	Wildlife Marsh	Site Furniture / Graphics
				Aviary Phase I sitework	
				Rustic Cabins	
				Horticulture Center	
HARD COSTS	\$4,587,640	\$6,300,000	\$5,036,250	\$7,145,247	\$3,296,000
SOFT COSTS	\$1,974,725	\$2,428,500	\$2,093,606	\$2,652,490	\$1,632,440
PHASE BUDGETS	\$6,562,365	\$8,728,500	\$7,129,856	\$9,797,737	\$4,928,440