

**MEMORANDUM**

**To:** Mayor & City Council

**From:** Steve Foote, AICP

**Date:** April 13, 2015

**Subject:** SLUP 15-041: Civic Center Partners, LTD., applicant and owner of 1441 Dunwoody Village Parkway, Dunwoody, GA 30338, seeks the requirement for a building to come into full compliance under Sec. 27-97, be waived to allow for interior building renovations in the Dunwoody Village Overlay (DVO) District, by the approval of a Special Land Use Permit. The tax parcel number is 18 366 07 068.



**BACKGROUND**

This application is made on behalf of Civic Center Partners, Ltd., 101 Prospect Ave., Sausalito, CA 94956, owner of the building located at 1441 Dunwoody Village Parkway, Dunwoody, GA 30338. The parcel fronts the western side of Dunwoody Village Parkway, about half-way between the intersections with Mount Vernon Road and Chamblee Dunwoody Road. The site is split-zoned C-1 (Local-Commercial) District on the west and O-I (Office Institution) District on the east, and is within the Dunwoody Village Overlay (DVO) District. Being in the DVO, the site is subject to DVO regulations.

The site comprises an existing two-story building that contains approximately 11,000 square feet of total space. The entire upper floor of the building is occupied by a single tenant. The interior of the upper floor was renovated by the current owners in 2014, and some exterior roof work was performed. The entire lower floor, which consists of two suites separated by a hallway corridor, is currently vacant. The owners desire to renovate the lower floor to make the space more leasable. The applicant has stated that the owners need to lease the lower floor as soon as possible to pay current expenses associated with the property. The

applicant cites aesthetic and code reasons as to why interior renovations are needed to accommodate any new tenants on the first floor.

The current owners purchased the property on September 6, 2007. In 2014 the owners met with city staff to discuss renovating the entire upper floor and performing some exterior roof work. At that time, staff explained to the applicant that since the building is located in the DVO, it is subject to the thresholds for compliance regulations of Sec. 27-97(c) of the Code of Ordinances. It was further explained to the applicant that once interior construction or remodeling with a total value of 25 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements was breached, building permits to perform any additional interior construction or remodeling would only be issued if the entire building is determined to comply with the applicable DVO regulations. In June 2014, the owners provided staff with a construction proposal document dated 5/29/14 [attached], and expressed the desire to perform the upstairs interior remodeling work without triggering the threshold for full compliance. Staff and the applicant and owners determined that the value of existing improvements at the time was \$482,900, and that based on that amount, the threshold for compliance was \$120,725.

When the owners renovated the upper floor, the monetary amount of interior construction and remodeling of the building interior equated \$119,750.87, or approximately 24.8% of the county tax assessor's 100% assessed value of the existing improvements, according to staff's calculations performed using the construction proposal document dated 5/29/14, and the DeKalb County Property Appraisal Report, dated 3/3/15, [both attached].

With 24.8% of the amount for monetary interior improvements already met, that leaves approximately \$965.80 in interior improvements to be performed before the threshold amount is breached. Therefore, a building permit cannot be issued, by right, for additional interior construction or remodeling in excess of \$965.80, until the building is brought into compliance with the applicable regulations, listed below.

The more significant requirements for bringing the building into compliance include, but are not limited to, the following:

- A. A minimum of 80% of the building must be within the build-to-zone range. The build-to-zone is the area that is a distance of 0 feet to 10 feet from the edge of the right-of-way.
- B. The parking lot must be setback a minimum of 30 feet from the edge of the right-of-way.
- C. A minimum of 65% of the ground story street-facing building façade must be covered by glazing; and a minimum of 20% of the upper story street-facing building façade must be covered by glazing. Glazing requirements are part of the transparency regulations that regulate transparent windows and doors.

Additional improvements necessary to bring the site/building into full compliance fall within the following general categories:

- Exterior materials
- Fenestration
- Building Massing
- Signs
- Parking and Circulation
- Landscaping
- Streetscape and pedestrian amenities



A complete analysis to fully determine all non-conformities of the site has not been performed.

Before the 2014 upstairs interior renovations were performed it was explained to the applicant and owners that the thresholds for full compliance are tabulated in the aggregate, not per individual project, and encompass the entirety of a building, not merely a single floor. The applicant has acknowledged being fully aware of this requirement prior to making the interior upstairs improvements.

The applicant has stated that coming into full compliance with the provisions of Section 27-97, namely the requirements that a minimum of 80% of the building be within the build-to-zone range, and parking be setback a minimum of 30 feet, would be cost prohibitive, and requests that relief be granted by the Mayor and City Council through issuance of a Special Land Use Permit, in accordance with Sec. 27-97(l). The applicant is requesting that the Mayor and City Council waive the requirements of Section 27-97(c)(1)(d) which spell out the threshold requirements for interior construction or remodeling. The request is made for the owners to perform first floor interior renovations only.

The applicant has stated the owners' intent to comply with only the streetscape and pedestrian amenities of Sec 27-97, which includes specifically;

- expanding the sidewalk area,
- providing new landscaping in the buffer zone, and
- providing a new bench and trashcan in the pedestrian zone.

As previously stated, the applicant and owners cite the need to come into building code compliance as reasons for some of the first floor interior renovations. A City Code Inspector inspected the property on March 4, 2015, and found the condition of the first floor interior in violation of 9 code sections, three of which are violations of the life-safety code (LSC), . [report attached] While the DVO regulations are silent on the subject of whether improvements made to comply with current life-safety codes must be included when calculating the threshold amounts, staff currently considers them as separate improvements if not directly related to the renovations and reconstruction work. Staff would interpret the code to allow for life-safety improvements necessary to occupy the tenant space without contributing to the threshold amount, but any further discretionary construction would be counted toward the threshold.

The applicant has provided a breakdown, dated March 24, 2015, of upstairs interior work performed that the applicant states was related to coming into compliance with building code regulations. The applicant calculates that \$45,954.82, or approximately 10 percent of the building's assessed value of \$482,900, of the work performed to the upstairs interior in 2014 was code-related, but not all of the work identified as "code-related" by the applicant was life-safety and necessary to occupy the space. Some of the "code-related" items were triggered as a result of the discretionary scope of work. The remainder or \$73,796.05 represented renovations. Using these numbers the applicant asserts that work performed to date is equal to 14.8% of the assessed value. The applicant estimates that approximately \$121,699.13 in work will need to be done to the first floor. That amount, combined with the \$119,750.87 the applicant spent remodeling the second floor in 2014, equals \$241,450, or approximately 50% of the assessed value of the building. The applicant estimates that approximately \$144,870 of all work performed on the building would be non-code related and approximately \$96,580 would be code-related. Staff is in the process of reviewing the applicant's analysis to determine which improvements, and therefore which expenses, were life-safety related.

## ANALYSIS

Procedural excerpts from the code as discussed herein are provided below. The full text of the DVO is attached for reference.

### Section 27-97. - DVO, Dunwoody Village Overlay.

#### (c) *Thresholds for compliance.*

- (1) *Full compliance.* Except as otherwise expressly stated by the specific provisions of this section (Section 27-97), permits for the following building and construction activities may be issued only if the entire building is determined to comply with the applicable regulations:
  - a. Construction of a new building;
  - b. Construction of building additions that result in a ten-percent or greater increase in the floor area or building coverage of the existing building;
  - c. Exterior construction or remodeling with a total value of 15 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements only; and
  - d. Interior construction or remodeling with a total value of 25 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements only.
- (2) *Partial compliance.* Permits for exterior remodeling or building activities that do not trigger full compliance may be issued only if the portion of the building affected by the work is determined to be in compliance with all applicable overlay district regulations.

...

- (l) *Modifications and adjustments.* The regulations of subsections (e) through (k), [attached], may be modified only if reviewed and approved in accordance with the special land use permit procedures of article V, division 3.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-7.20), 10-14-2013)

### Review and Approval Criteria

Chapter 27, Section 27-359 identifies the following criteria to be applied by the department of planning, the planning commission, and the city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application:

1. Whether the proposed use is consistent with the policies of the comprehensive plan; ***The Comprehensive Plan serves as the City's guiding policy for document for land use decisions and divides the city into context-specific "character areas." The subject parcel is located in the "Dunwoody Village Character Area" that is further broken down into sub-areas by the Dunwoody Village Master Plan., The Master Plan identifies this parcel in the "Village Center Mixed-Use," sub-area and the "Village Core" area.***

***The proposed plan is inconsistent with the general vision and goals of the Comprehensive Plan related to the Dunwoody Village:***

- ***Vision focused on pedestrian and bicycle amenities, architectural controls, connectivity, and place making;***
- ***Creative parking solutions desired to minimize surface parking visible from public spaces; and***
- ***Implementation of the Dunwoody Village Overlay important to ensure enforcement meets intent of overlay and character area vision.***

***The Dunwoody Village Master Plan more specifically addresses the desired character of the district as a walkable, mixed use district, wherein the required architectural design and bulk standards in the DVO were developed specifically to implement the desired vision and development character sought in the Dunwoody Village Character Area. As stated in Sec. 27-97(a), the primary purpose and intent of the DVO is to implement the policies and objectives of the comprehensive plan and Dunwoody Village master plan.***

***Relative to this site, the Land Use Framework Plan for the Village Center within the Master Plan seeks to:***

- ***Create a central community gathering space within the Village***
- ***Encourage high-quality redevelopment of underutilized areas, primarily the east, “back” side of the Dunwoody Village Shopping Center and underutilized surface parking areas***
- ***Foster greater connectivity and accessibility by creating an internal street grid within the superblock***
- ***Create a more walkable, vibrant Village Center with area appropriate goods and services***
- ***Provide an opportunity for a modest number of high-end residential units to foster greater livability, activity during evening and weekend hours, and security (more “eyes on the street”)***

***Likewise, the Dunwoody Village Master Plan describes this property as an opportunity for redevelopment to transform, on a parcel-by-parcel level, Dunwoody Village Parkway into a walkable “storefront” character, comprising potential new storefront retail/office and high quality design/materials (compatible with the Village aesthetic). Any new development should enhance the area’s walkability and improve its circulation and access.***

***Additional contrasts between the proposed construction work and the planning documents have been addressed through the additional review and approval criteria. In summary, the proposed construction fails to comply with the recommendations in the Comprehensive Plan and the Dunwoody Village Master Plan.***

2. Whether the proposed use complies with the requirements of this zoning ordinance; ***The proposed use is subject to the base zoning district regulations of Chapter 27, Article II, Division 2. - Nonresidential and Mixed-Use Zoning Districts, and to the Dunwoody Village Overlay District regulations found in Sec. 27-97. When overlay district regulations conflict with underlying base zoning district regulations, the regulations of the overlay district govern. There are a number of architectural design requirements that are inconsistent in the proposed scope of work.***



***The existing and proposed uses, office, are consistent with both the C-1 and O-I zoning districts, but they are inconsistent with the character of the Mixed-Use District of the Dunwoody Village Master Plan, which recommends multi-story buildings with vertical mixed-use and storefront office and retail uses on the ground floor.***

3. Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;  
***There is currently adequate land area for required open space and off-street parking. Lot coverage and parking are not proposed to change. While there may be adequate space on the lot itself, the applicant is not proposing to make any exterior alterations.***
4. Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
  - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;  
***The proposed use will not create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated.***
  - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;  
***The proposed use will not create adverse impacts upon any adjoining land use by reason of the hours of operation.***
  - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;  
***The proposed use may not currently create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use. However, granting relief from the design and development standards will eventually impact the character of Dunwoody Village as other properties begin to redevelop in accordance with the DVO.***
  - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;  
***The proposed use will not create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated.***
  - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and  
***The size, scale and massing of proposed buildings are appropriate in relation to the size, scale and massing of adjacent and nearby lots and buildings as they exist today. Staff has concerns over the incompatibility with the size, scale, and massing of adjacent buildings, in the event that those buildings come into compliance with the requirements of the Overlay and this building does not.***

- f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.  
***The proposed plan will not have an impact on any historic buildings, sites, districts, or archaeological resources.***
5. Whether public services, public facilities and utilities—including motorized and non-motorized transportation facilities—are adequate to serve the proposed use;  
***Public services, facilities and utilities are sufficient and are not proposed to change or be affected by the proposed interior renovations.***
6. Whether adequate means of ingress and egress are proposed, with particular reference to non-motorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;  
***Vehicular means of ingress and egress are currently sufficient, and two curb cuts may, in fact, be in excess with respect to access management. The site has inadequate non-motorized accommodations in and around the property. Aside from the addition of six feet of sidewalk width along the property line at the street, improvements have not been proposed to improve pedestrian circulation within the site or beyond its borders.***
7. Whether adequate provision has been made for refuse and service areas; and  
***Provisions for refuse and services are currently adequate on-site; however, the applicant has not proposed to add recycling receptacles as part of the streetscape, as required by the DVO regulations.***
8. Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.  
***The height of the building is not proposed to change and is in keeping with the general height guidelines of the district.***

***In summary, substantial investments have been and are being made (by both the City and private entities) to catalyze redevelopment in the Village. The street has been reconfigured to formally organize the buildings around it, establishing a built environment conducive to a vibrant, walkable downtown. As more properties redevelop along the Parkway as a result of those investments and a strengthening real estate market, the subject building will be inappropriate and out of context with other properties that are required to comply with the DVO.***

***While some of the regulations require substantial changes to the current structure and development site that may not be pragmatic based on the scope of work at this time, there are a number of regulations that have not been considered or proposed by the applicant to offer a more incremental alternative to the letter of the Zoning Ordinance. It is important to balance the policy decision of aggressively implementing the City's Master Plans with economic development and a property owner's desire to invest in their property. It is important to ensure that if the letter of the Zoning Ordinance is waived through the Special Land Use Permit process, the spirit of the Comprehensive Plan is followed. The application disregards the overall vision for Dunwoody Village and simply requests to waive all requirements without consideration for alternative compliance, save for the addition of minor streetscape improvements.***

## City Council Actions

When considering the proposal as submitted, the City Council has three action options:

1. Recommend approval of the SLUP as presented; or
2. Recommend approval of the SLUP with conditions; or
3. Recommend denial of the request outright.

The first and third options are: approve the use consistent with the submittal documents, after finding they comply and are congruent with the terms found in the above analysis, or deny the application, for not being appropriate.

When creating conditions of approval, the choices may seem endless, but in fact are limited to those conditions which are found to have a rational nexus between the uses proposed and the conditions assigned, and those conditions which do not derivate from the established policies and procedures found in the City Comprehensive Plan and Code. The conditions of approval must only apply directly to the initiation of the request as submitted.

## PLANNING COMMISSION RECOMMENDATION

The Planning Commission heard the applicant's request waive all Overlay District requirements at their regular March meeting. After much discussion with the applicant and staff, the Commission recommended approval of the request (3 – 1) with the following conditions, provided that the property was purchased prior to the adoption of the Overlay District regulations:

1. The owners make the building more accessible to the street, with a stamped walkway in the front of the building connected to the sidewalk on Dunwoody Village Parkway, and public improvements made to the sidewalk as the owner had offered originally.

As these provisions were enacted by the City Council and a request for a waiver has not previously been approved, staff considers this request as a policy decision for the City Council. Future discussions may be helpful to consider whether multiple levels of thresholds might achieve the goals of the City over time, while permitting property owners to make reasonable improvements to their sites.

Should the Council approve the application, staff recommends it be with the following conditions, which include the condition imposed by the Planning Commission.

1. The scope of work shall not exceed \$121,699.13, the amount which the applicant estimates will be required to make the first floor leasable. The additional expense to conduct the improvements as required by the remaining conditions herein shall not contribute to the \$121,699.13 limit but shall contribute to any future aggregate calculation for compliance thresholds.
2. The applicant shall submit invoices to the City prior to obtaining a permit so staff can verify the limitations in the first condition are met.
3. The portions of the code to be waived apply to the current scope of work only. Any additional construction shall be in accordance with the applicable codes at the time of construction.
4. The following provisions of the Dunwoody Village Overlay shall still apply for the property and construction associated with the scope of work:
  - a. Section 27-97(f) Signs;



- b. Section 27-97 (i) Streetscape and Pedestrian Amenities, including relocating the benches/refuse containers and dedicating any necessary right-of way, the addition of pedestrian buffer zones, and the addition of architectural treatments and signage, as determined by staff, to identify the western side of the building as another primary pedestrian entrance; and
  - c. Section 27-97 (j) Public areas, service areas, and retaining walls, including the repair of the retaining wall on site and programming of the lawn to the south of the building as a public plaza.
  - d. Other requirements of Section 27-97 that can be accomplished without creating site non-conformities and that do not require the relocation of buildings or the parking lot, as required by the Community Development Director.
5. The owners make the building more accessible to the street, with a stamped walkway in the front of the building connected to the sidewalk on Dunwoody Village Parkway, and public improvements made to the sidewalk as the owner had offered originally.

#### **Attachments**

- Planning Commission Minutes 3-10-15
- Ordinance
- DeKalb County Tax Assessor Printout
- Construction Proposal from 2014 Construction Activity
- Code Inspection Report dated March 4, 2015
- Location Map, Zoning Districts Map
- Comprehensive Plan Excerpt; Dunwoody Village Master Plan Excerpt
- Article II, Division 4. – “Overlay Zoning Districts” Excerpt
- Application Packet

**CITY OF DUNWOODY  
MARCH 10, 2015  
PLANNING COMMISSION MINUTES**

The Planning Commission of the City of Dunwoody held a Meeting on March 10, 2015 at 7:00 PM. The meeting was held in the City of Dunwoody City Hall, 41 Perimeter Center East, Dunwoody, Georgia 30346. Present for the meeting were the following:

Voting Members:            Bob Dallas, Chair  
                                     Bill Grossman, Vice-Chair  
                                     Renate Herod, Commission Member  
                                     Heyward Wescott, Commission Member  
                                     Claire Botsch, Planning Commission Member

Also Present:                Steve Foote, Community Development Director  
                                     Rebecca Keefer, City Planner  
                                     Andrew Russell, Planning Coordinator

A.    CALL TO ORDER

B.    ROLL CALL

**Bob Dallas discussed re-arranging the order of the agenda to allow a representative of Pond and Company to give a presentation first, due to time considerations.**

**Bill Grossman motioned to approve. Claire Botsch seconded.**

**The motion was voted and passed (5 - 0).**

C.    MINUTES

1. Approval of Meeting Minutes from February 10, 2015 Planning Commission Meeting

**Heyward Wescott motioned to approve. Claire Botsch seconded.**

**The motion was voted and passed (5 - 0).**

D.    ORGANIZATIONAL AND PROCEDURAL ITEMS

E.    UNFINISHED BUSINESS

1. RZ 15-021: Cypress Communities, LLC, applicant, on behalf of owner, CQ Dunwoody Village Court, LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) District to Multi-dwelling Residential District (RM-100) to allow for construction of an 81-unit townhome development. The subject property consists of two parcels: tax parcel 18-366-060-61 located at 1530 Dunwoody Village Parkway, Dunwoody, GA 30338, and tax parcel 18-366-060-65 located at 1536 Dunwoody Village Parkway, Dunwoody, GA 30338.

**Bob Dallas introduced the item.**

Rebecca Keefer presented on behalf of staff and recommend the Commission approve applicant's request for deferral to the regularly scheduled April meeting.

Carl Westmoreland, 4343 Peachtree Road, presented on behalf of the applicant. Carl cited the need for the land use plan application to run concurrently, and time for staff to review the amended site plan, as reasons for the request for deferral. Carl responded to comments made in opposition to the application, and responded to questions from the Commission.

Robert Miller, 1332 Martina Drive, spoke in opposition to the application. Robert cited incompatibility with the Comprehensive Plan and Dunwoody Village Master Plan, and concerns over quality of materials, walkability and connectivity, greenspace, the proposal to place active greenspace in the stream buffer, community-gathering spaces and quality outdoor living, and options for empty-nester residents. Robert stated that the development is not being designed specific to the target demographic that is outlined in the Dunwoody Village Master Plan.

Linda Dunlavy, representative of the Office Condominium Association at 1742 Mount Vernon Road, spoke in opposition to the application. Linda addressed issues related to easements between the properties, and responded to questions from the Commission.

Heyward Wescott said he would like to see more renderings of facades and sidewalks pulled away from buildings.

Renate Herod voiced concerns over remaining the encroachment of the City's 75 foot stream buffer.

Lonnie Moss, 2970 Peachtree Road, applicant, spoke in response to the Commissions concerns over easement agreements with the neighboring property, 1742 Mount Vernon Road.

Bob Dallas asked the applicant to improve the site vistas, pedestrian orientation, and interconnectivity of the site plan, and to make it more like the conceptual site plan in the Dunwoody Village Master Plan.

Claire Botsch spoke and voiced the need for this project to be the beginning of the cycle of rebirthing the Dunwoody Village area.

Heyward Wescott motioned to continue. Claire Botsch seconded.

The motion was voted and Passed (4 - 0)

#### F. NEW BUSINESS

1. RZ 15-042: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Metropolitan Atlanta Rapid Transit Authority, on behalf of owner, Atlanta Office Investments Phase I, L.L.C. c/o KDC Real Estate, seeks permission to rezone



property currently zoned Office-Institution (O-I) Conditional District to Local Commercial (C-1) District to allow MARTA to own and operate a new connection to the Dunwoody MARTA station. The subject property is located at 236 Perimeter Center Parkway, Dunwoody, GA, 30346. The tax parcel ID is 18 348 02 015.

**Bob Dallas introduced the item.**

**Rebecca Keefer presented on behalf of staff and recommended approval.**

**Doug Dillard presented on behalf of the applicant. Doug distributed a handout to the Commission and to staff and asked that the handout be put into the record.**

**Heyward Wescott motioned to approve with staff's conditions. Bill Grossman seconded.**

**The motion was voted and Passed (5 - 0)**

2. SLUP 15-041: Civic Center Partners, LTD., applicant and owner of 1441 Dunwoody Village Parkway, Dunwoody, GA 30338, seeks the requirement for a building to come into full compliance be waived to allow for building renovations in the Dunwoody Overlay District under the approval of a Special Land Use Permit. The tax parcel number is 18 358 06 017.

**Bob Dallas introduced the item.**

**Rebecca Keefer presented on behalf of staff and recommended denial.**

**Kristen Ware, presented on behalf of the applicant, and responded to the Commission's questions.**

**The Commission discussed and asked questions of the applicant's representative.**

**Steve Foote stated that a lot of the goals of the Dunwoody Village Overlay could probably be met with the exception of moving the entire building. Steve stated that staff is going to take a look at in detail the kinds of things that could be done to a building without contributing to the 25% when remodeling or renovations are not being performed. Steve stated that knocking down or moving walls would contribute to the 25%.**

**Renate Herod motioned to approve with the following conditions:**

1. **That the property was purchased prior to the Overlay district rules coming into effect in October 2013.**
2. **The owners make the building more accessible to the street, with a stamped walkway in the front of the building connected to the sidewalk on Dunwoody Village Parkway, and public improvements made to the sidewalk as the owner had offered originally.**

**Claire Botsch seconded.**

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**The motion was voted and passed (3 - 1)**

G. OTHER BUSINESS

1. Presentation by Pond and Company on the Winters Chapel Road corridor study.

**Item moved to D. Organizational and Procedural Items**

**Bob Dallas introduced the item.**

**Steve Foote introduced Michelle Alexander, consultant with Pond and Company.**

**Michelle Alexander presented on the Winters Chapel Corridor study and the recent community workshop with the City of Dunwoody and the City of Peachtree Corners.**

H. PUBLIC COMMENT

**Robert Miller spoke regarding the scheduling of hearing of application RZ 15-021 in April.**

**The Commission asked questions of staff.**

**Steve Foote responded to the Commission's questions, and clarified that he does not have the authority to override the Commission's hearing an application that has been deferred by the Commission.**

I. COMMISSION COMMENT

J. ADJOURN

STATE OF GEORGIA  
CITY OF DUNWOODY

**ORDINANCE 2015-XX-XX**

**AN ORDINANCE TO AMEND THE CITY OF DUNWOODY ZONING MAP FOR ZONING CONDITIONS OF LOT PARCEL NUMBER 18 366 07 068 IN CONSIDERATION OF SPECIAL LAND USE PERMIT 15-041 (1441 DUNWOODY VILLAGE PARKWAY)**

**WHEREAS:** Notice to the public regarding said modification to conditions of zoning has been duly published in The Dunwoody Crier, the Official News Organ of the City of Dunwoody, Georgia; and

**WHEREAS,** Civil Center Partners, LTD, owner of 1441 Dunwoody Village Parkway, fronting the western side of Dunwoody Village Parkway about half-way between its intersections with Mount Vernon Road and Chamblee Dunwoody Road, and which is split-zoned Local-Commercial (C-1) District to the west and Office-Institutional (O-I) to the east, and is within the Dunwoody Village Overlay District, has requested a SLUP to have the Council waive the requirements of the Dunwoody Village Overlay District Ordinance which define the threshold requirements for interior construction or remodeling; and

**WHEREAS:** the Mayor and City Council find it important to effectuate the provisions of the Dunwoody Village Master Plan and encourage the buildings inside said overlay district to conform to the City's vision of a more walkable, pedestrian, cohesive community; and

**WHEREAS:** the Mayor and City Council have conducted a public hearing as required by the Zoning Procedures Act prior to adoption of this Ordinance.

**NOW THEREFORE,** The Mayor and City Council of the City of Dunwoody hereby ORDAINES and APPROVES the Special Land Use Permit 15-041 to waive the requirements of the Dunwoody Village Overlay District Ordinance which define the threshold requirement for interior construction or remodeling, subject to the following Exhibit with the following conditions:

1. The scope of work shall not exceed \$121,699.13, the amount which the applicant estimates will be required to make the first floor leasable. The additional expense to conduct the improvements as required by the remaining conditions herein shall not contribute to the \$121,699.13 limit but shall contribute to any future aggregate calculation for compliance thresholds.
2. The applicant shall submit invoices to the City prior to obtaining a permit so staff can verify the limitations in the first condition are met.
3. The portions of the code to be waived apply to the current scope of work only. Any additional construction shall be in accordance with the applicable codes at the time of construction.



4. The following provisions of the Dunwoody Village Overlay shall still apply for the property and construction associated with the scope of work:
  - a. Section 27-97(f) Signs;
  - b. Section 27-97(i) Streetscape and Pedestrian Amenities, including relocating the benches/refuse containers and dedicating any necessary right-of way, the addition of pedestrian buffer zones, and the addition of architectural treatments and signage, as determined by staff, to identify the western side of the building as another primary pedestrian entrance; and
  - c. Section 27-97 (j) Public areas, service areas, and retaining walls, including the repair of the retaining wall on site and programming of the lawn to the south of the building as a public plaza.
  - d. Other requirements of Section 27-97 that can be accomplished without creating site non-conformities and that do not require the relocation of buildings or the parking lot, as required by the Community Development Director.
5. The owners make the building more accessible to the street, with a stamped walkway in the front of the building connected to the sidewalk on Dunwoody Village Parkway, and public improvements made to the sidewalk as the owner had offered originally.

**SO ORDAINED AND EFFECTIVE**, this \_\_\_\_ day of \_\_\_\_\_, 2015.

Approved by:

\_\_\_\_\_  
Michael G. Davis, Mayor

Attest:

Approved as to Form and Content

\_\_\_\_\_  
Sharon Lowery, City Clerk

\_\_\_\_\_  
Office of City Attorney

SEAL

 <b>DeKalb County</b> The Greenest Urban County in America		Property Appraisal					
<a href="#">Recent Sales in Neighborhood</a>	<a href="#">Recent Sales in Area</a>	<a href="#">Previous Parcel</a>	<a href="#">Next Parcel</a>	<a href="#">Field Definitions</a>	<a href="#">Return to Main Search</a>	<a href="#">Subscription Home</a>	<a href="#">DeKalb Home</a>
<b>Owner and Parcel Information</b>							
<b>Owner Name</b>	CIVIC CENTER PARTNERS LTD			<b>Today's Date</b>	March 3, 2015		
<b>Mailing Address</b>	101 PROSPECT AVE			<b>Parcel Number</b>	18 366 07 068		
	SAUSALITO, CA 94965-2332			<b>Tax District</b>	Dunwoody (District 50)		
<b>Location Address</b>	1441 DUNWOODY VILLAGE PKWY			<b>2014 Millage Rate</b>	43.12		
	<b>Approximate/Computed Acreage</b>			0.6			
<b>Property Class</b>	C3-C3			<b>Parcel Map</b>	<a href="#">Maps available with subscription</a>		
<b>Neighborhood</b>	6019-			<b>Homestead</b>			
<b>Legal Description</b>							
<b>Assessment Information</b> <a href="#">Hide Historical Assessments</a>							
Year	LUC	CLASS	Land Value	Building Value	Total Value	Assessed Value	
2014	353	C3	\$ 425,000	\$ 482,900	\$ 907,900	\$ 363,160	
2013		C3	\$ 425,000	\$ 482,900	\$ 907,900	\$ 363,160	
2012		C3	\$ 425,000	\$ 482,900	\$ 907,900	\$ 363,160	
2011		C3	\$ 425,000	\$ 482,900	\$ 907,900	\$ 363,160	
2010		C3	\$ 425,000	\$ 482,900	\$ 907,900	\$ 363,160	
More detailed information is available via subscription service. Details <a href="#">here</a>							
DeKalb County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. Assessment information for all tax parcels included in this data is for the 2012 tax year and does not reflect any changes due to documents recorded after January 1, 2012. These changes may include but is not limited to ownership or property characteristics. Website Updated: March 2, 2015							
© 2012 by the County of DeKalb, GA   Website design by <a href="#">qpublic.net</a>							

**LE CONSTRUCTION, INC.**  
**(404) 514-6454**  
**hieple@bellsouth.net**  
**CONSTRUCTION PROPOSAL**

**Job: Pankey & Horlock****Location: Dunwoody Village**

1441 Dunwoody Village Parkway  
Dunwoody, GA 30338

**Dated**  
**5/29/2014**

**Attn: Ryan Goldstein**

<u>DESCRIPTION OF WORK</u>	<u>Qty</u>	<u>UNIT</u>	<u>UNIT COST</u>	<u>ITEM TOTAL</u>	<u>LINE TOTAL</u>
<b>DEMOLITION</b>					<b>\$9,930.22</b>
Demo walls	463	lf	4.50	2083.50	
Door	24	ea	35.00	840.00	
Electrical (wall & ceiling clean up)	1	ls	2,400.00	2400.00	
Plumbing	4	ea	280.00	1120.00	
Flooring	5448	sf	0.64	3486.72	
<b>PARTITIONS &amp; CEILINGS</b>					<b>\$20,945.85</b>
New partition wall w/ sound batt undergrid	310	lf	47.00	14570.00	
2x2 Ceiling tile	6265	sf	0.89	5575.85	
Wall Repair	1	ls	800.00	800.00	
<b>DOORS, WINDOW, FRAMES &amp; HARDWARE</b>					<b>\$5,651.00</b>
Relocate door	13	ea	65.00	845.00	
3070 SC Birch w/ HM frames	2	ea	579.00	1158.00	
Lockset	23	ea	120.00	2760.00	
Door Closer	6	ea	148.00	888.00	
<b>CARPENTRY &amp; MILL WORK</b>					<b>\$8,008.00</b>
Laminate wall, base, counter & drawer (break)	8	lf	426.00	3408.00	
Countertop laminate skirt (RR)	2	ea	250.00	500.00	
Granite Counter top w/ sinks	2	ea	350.00	700.00	
Restroom Partition	1	ls	3,400.00	3400.00	
<b>PAINT / WALLCOVERING</b>					<b>\$12,426.40</b>
Prime & 2 coats	5448	sf	1.80	9806.40	
Door & frame	23	ea	65.00	1495.00	
Window frame	25	ea	45.00	1125.00	
<b>FLOORING</b>					<b>\$17,822.80</b>
VCT (break room)	290	sf	1.87	542.30	
Ceramic tile (Wall) ( \$3.5/sf tile allowance)(RR)	342	sf	7.00	2394.00	
Ceramic wall tile (\$3.5/ea tile allowance)(RR)	136	ea	7.00	952.00	
Shaw Broadloom Carpet (26 oz)	647	sy	13.50	8734.50	
(\$10/sy allowance per plan)					
4" Cove base	1	ls	3,200.00	3200.00	
Floor Repair	1	ls	600.00	600.00	
Floor Prep	1	ls	1,400.00	1400.00	
<b>ELECTRICAL</b>					<b>\$9,661.00</b>
Outlets	42	ea	75.00	3150.00	

#6.

**LE CONSTRUCTION, INC.****(404) 514-6454****hieple@bellsouth.net**

<b><u>DESCRIPTION OF WORK</u></b>	<b><u>CONSTRUCTION</u></b>	<b><u>QUANTITY</u></b>	<b><u>UNIT</u></b>	<b><u>UNIT COST</u></b>	<b><u>ITEM TOTAL</u></b>	<b><u>LINE TOTAL</u></b>
Dedicate Outlets		6	ea	250.00	1500.00	
Switch		15	ea	85.00	1275.00	
Rewire and clean up circuits		1	ea	2,200.00	2200.00	
New exit/emergency light		7	ea	168.00	1176.00	
Exhaust fan (replace fan only)		2	ea	180.00	360.00	
<b><u>PLUMBING</u></b>						<b><u>\$6,250.00</u></b>
Relocate plumbing fixtures		4	ea	750.00	3000.00	
ADA fixtures toilets		2	ea	250.00	500.00	
Sink (breakroom)		1	ea	1,150.00	1150.00	
Hi-lo water fountain		1	ea	1,600.00	1600.00	
<b><u>MECHANICAL</u></b>						<b><u>\$6,800.00</u></b>
Repair, relocate vent, seal duct work as needed, test and balance		1	ls	6,800.00	6800.00	
<b><u>RESTROOM ACCESSORIES,</u></b>						<b><u>\$850.00</u></b>
ADA grap bars, toilet paper holder, wood blocking, mirrors		1	ls	850.00	850.00	
<b><u>MISCELLANEOUS</u></b>						<b><u>\$11,517.60</u></b>
Final clean		5448	sf	0.20	1089.60	
Dumpster		2	ea	475.00	950.00	
Fire extinguisher w/ cabinets		2	ea	264.00	528.00	
Supervision		7	wk	850.00	5950.00	
Permit		1	ls	3,000.00	3000.00	
<b><u>SUB TOTAL</u></b>						<b><u>\$109,862.87</u></b>
<b>CONTRACTOR OVERHEAD</b>						<b>\$4,395.00</b>
<b>CONTRACTOR FEE</b>						<b>\$5,493.00</b>
<b><u>TOTAL</u></b>						<b><u>\$119,750.87</u></b>

**CLARIFICATIONS****ALTERNATE ADD**

<b><u>CEILING</u></b>						<b><u>\$7,120.34</u></b>
Demo Ceiling		5448	sf	0.18	980.64	
2x2 reveal edge radar ceiling tile		6265	sf	0.98	6139.70	

## 1441 Dunwoody Village Parkway Report

3/4/15



Many of the fire extinguishers inspected exhibited expired tags and/or were not charged. Have deficient extinguishers inspected by a qualified technician and replaced/repaired as required and placed per code.. **IFC 906.2, LSC 9.7.4.1, 9.7.5 NFPA 10**

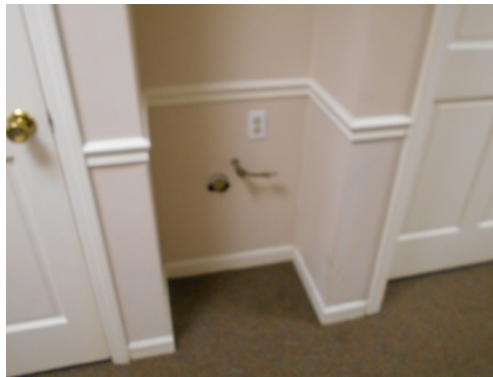


Accessibility Code states that handles, pulls, latches, locks and other operating devices on accessible doors shall have a shape that is easy to grasp with one hand and does not require tight grasping, tight pinching or twisting of the wrist to operate. 120-3-20-,24(9)

#6.



Exit sign battery back-up systems did not operate. The system will need to be repaired and re-tested. **LSC 7.9.3**



Water fountain is missing. Make sure that it conforms to 120-3-20-.26



Improper wiring installation. Have deficient areas evaluated by a qualified electrician and corrected. Romex wiring is not an approved method for commercial properties. **IPMC 604.3**





The interior trim/window is showing signs of decay. Repair/replace as necessary to prevent moisture/air intrusion. **IPMC 304.2**



Tolerance between the largest and the smallest riser shall not exceed 3/8-inch. Repair/reconfigure stair treads to conform with the below referenced code section. **LSC 7.2.2.3.6**



#6.

### Exterior Code compliance



Left side - All foundation walls shall be maintained plumb and free from open cracks. Possible failure is from hydrostatic pressure and will require evaluation by a qualified structural engineer. **IPMC 304.5**



Right side





Electrical whip is not secured to the condenser and/or disconnect with exposed electrical wires. Secure to each component and properly protect to prevent electrocution hazard. **IPMC 605.1, IPMC 604.3**



Disconnect cover is missing. Cover must be in place to avoid electrocution hazard. **IPMC 605.1** Conduit not secured to building. Secure with an approved clamp. **IPMC 605.1** Electrical whip insulation broken or damaged resulting in exposed romex. Replacement by a qualified electrician required. **IPMC 605.1**



All electrical equipment, wiring and appliances shall be properly installed and maintained in a safe and approved manner. The disconnect is rusted and may require a protective **IPMC 605.1**



#6.



HVAC Line set insulation is worn and damaged on many of the units and must be repaired. Replace according to the manufacturers specs. **IPMC603.**



Hose bib requires a back-flow device. **IPMC 504.3 and 505.2**

Continued



Parking signage for accessible parking requires the signage to be 72-inches/van and 60-inches/car to the bottom of the sign from grade. Reconfigure signage to conform to the requirements set forth in the below listed code section. **GA Accessibility Code 120-3-20-17 (4) and Federal Guidelines**



Sidewalks and/or walking surfaces are to be kept in a proper state of repair and maintained free from hazardous conditions. This includes cracking, uneven walking surface and/or displacement creating a trip hazard. **IPMC 302.3**

Continued



#6.



Soil erosion needs to be maintained and controlled through ground cover and/or gutter and roof run off.  
Install ground cover as required. **IPMC 302.2**





Roofs and roofing components are to be maintained in good repair. **IPMC 304.1.1(8), 304.7**  
Storm water maintenance systems must be maintained. Clean obstructions from the path of water travel to allow for adequate flow. **IPMC 302.2**



The exterior trim/window is showing signs of decay. Repair/replace as necessary to prevent moisture intrusion. **IPMC 304.2**



The exterior coating shows signs of wear and needs to be repainted. **IPMC 304.2**  
Repair/replace any rot and repaint as required.

Continued



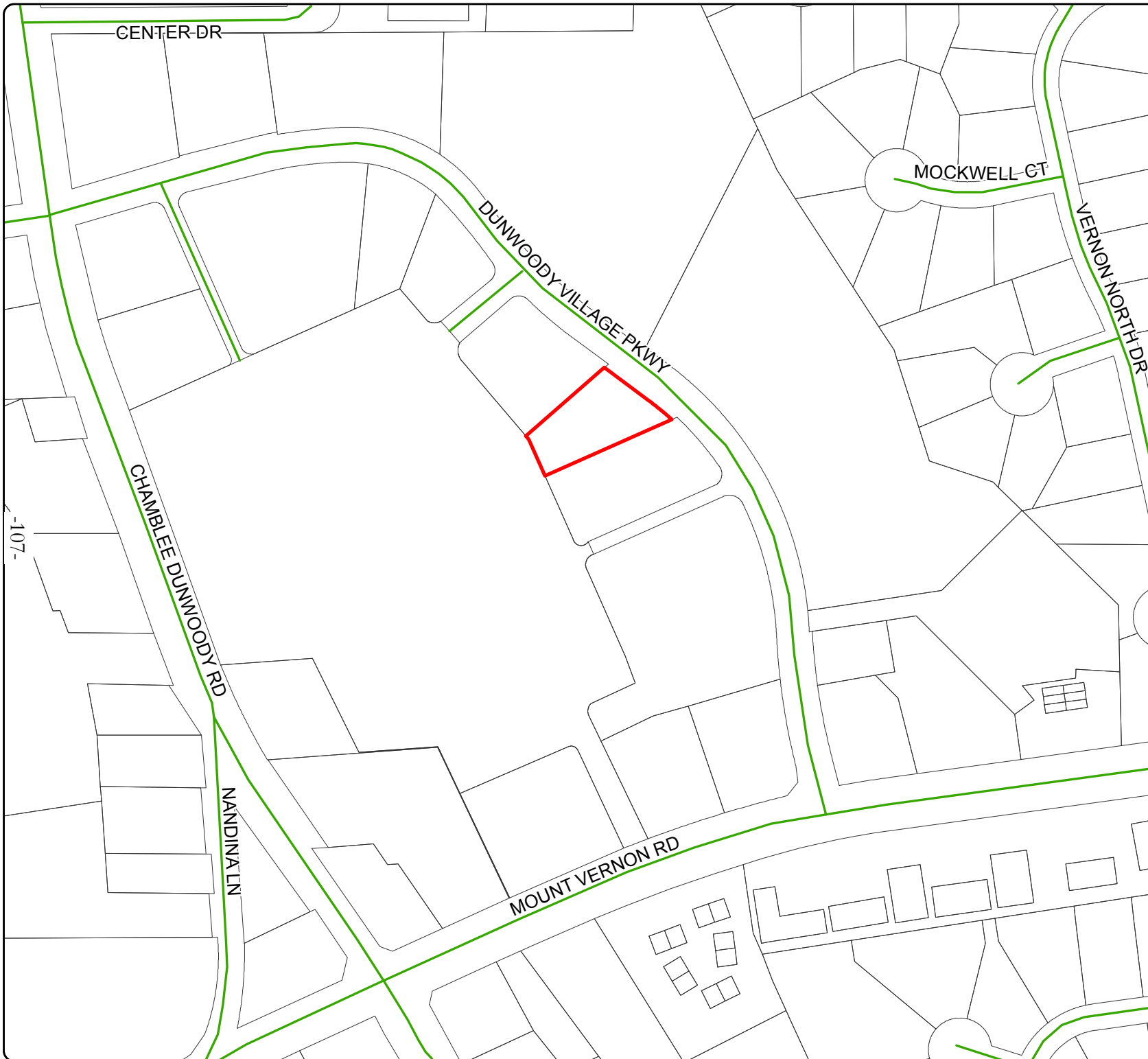
#6.



Accumulation of rubbish at the exterior of the property is required to be removed. Clean and remove as necessary. **IPMC 308.1**

**Thank you**





**Dunwoody\***  
 \*Smart people - Smart city

Community Development

41 Perimeter Center East | Dunwoody, Georgia  
 Suite 250 | 30346-1902  
 678-382-6800 ~ www.dunwoodyga.gov

**1441 Dunwoody  
 Village Parkway**

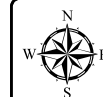
SLUP 15-041

January 2015

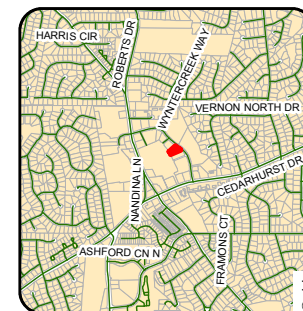
### Legend

— Street Centerlines

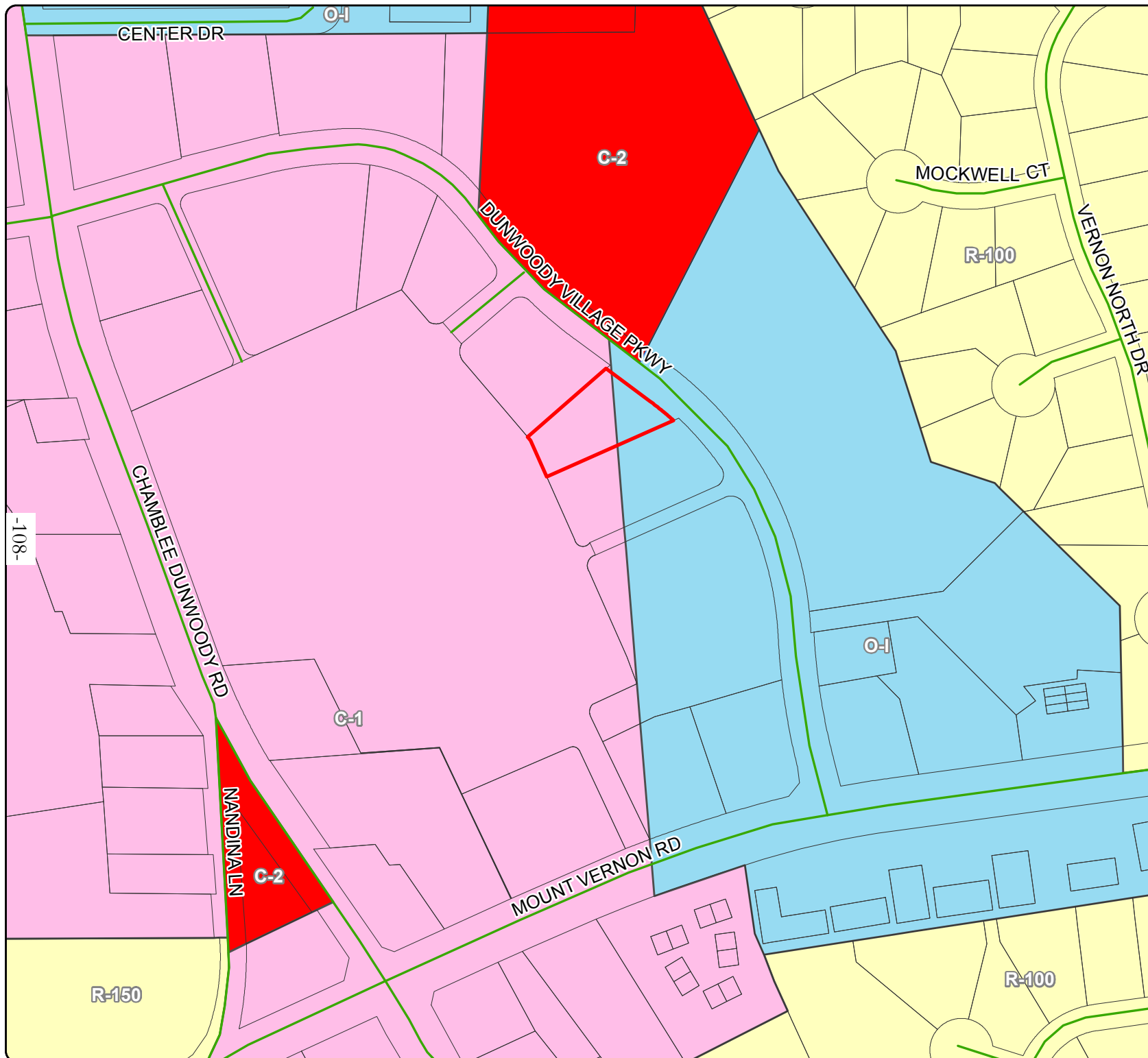
□ Parcels



Scale: 1" = 250'  
 (1:3000)



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#6.

**1441 Dunwoody Village Parkway**

SLUP 15-041

January 2015

**Legend**

— Street Centerlines

▭ Parcels

**City Zoning**

**DISTRICT**

- Commercial-Residential Mixed-Use
- General Commercial
- Industrial
- Local Commercial
- Multi Family Residential
- Multi-Family Residential
- Neighborhood Shopping
- Office-Commercial-Residential
- Office-Distribution
- Office-Institution
- Office-Institution-Transitional
- Planned Development
- Residential Community Development
- Single Family Cluster Residential
- Single Family Residential

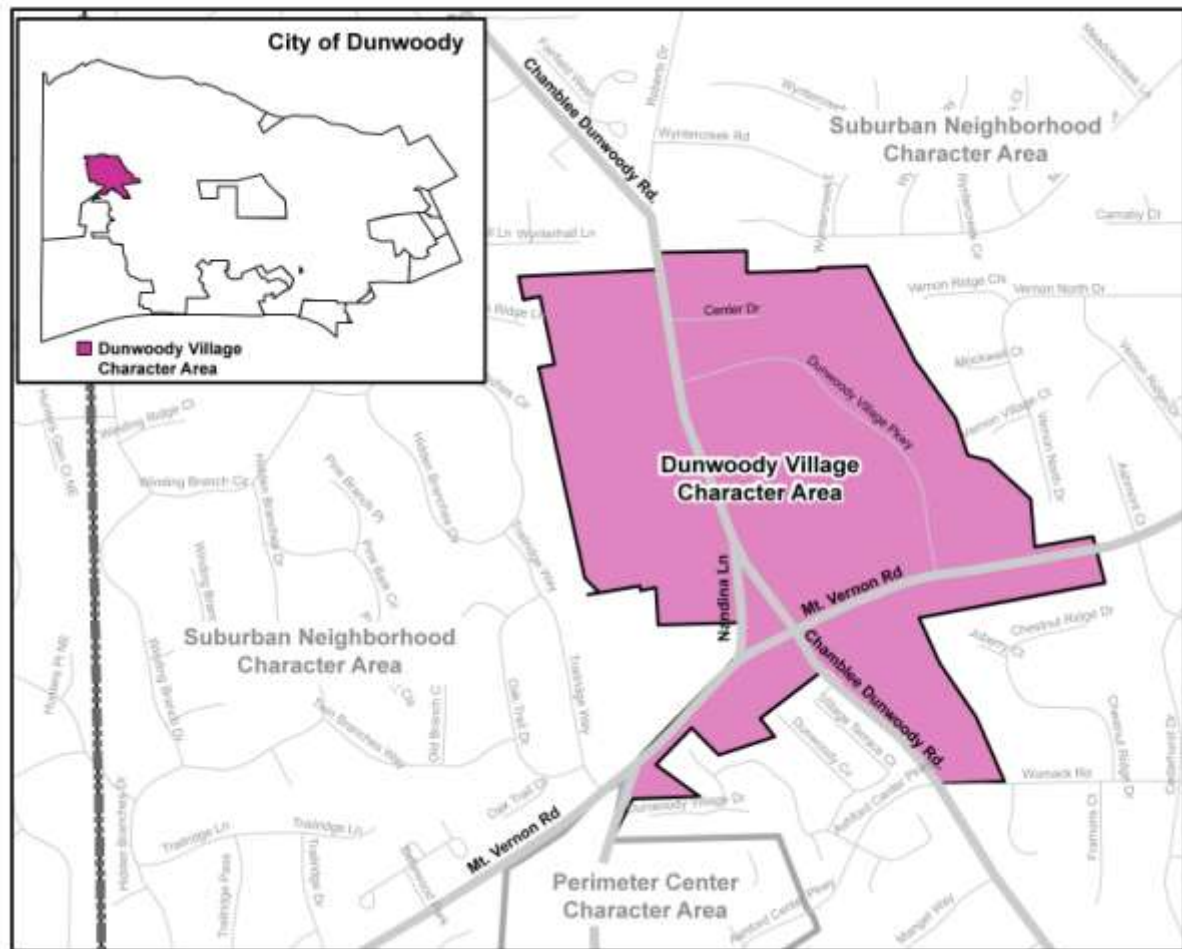
Scale: 1" = 250'  
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## Dunwoody Village



## Vision/Intent

Dunwoody Village has historically been the “heart” of Dunwoody. A master planning process will have established a detailed vision for this center of the community, focused on pedestrian and bicycle amenities, public functional green space, traffic calming, architectural controls, connectivity and place making. A sense of history will add to the charm and sense of place. This area will offer a “village green” with civic activities and amenities, and redevelopment will draw community members to shopping, dining and entertainment. Furthermore, redevelopment should have a residential component for day and evening activity to foster community. The design should embody the unique character of Dunwoody. The marker or unifying signifier (whether a “logo” or other identifier) that the City creates for itself and employs at gateways should be hallmarked in the Dunwoody Village in a distinctive, prominent way.



### Future Development

- Height:** Up to 3 stories, but allow potentially up to 5 at intersections if and only if a unique project is proposed with architecturally distinct features, innovative parking solutions (covered decks, underground parking, or alternatives) and functional spaces for public use. A 5-story building would only be considered at the core of the Village; the boundary properties of the Dunwoody Character Area will not be appropriate if greater than two stories
- Form:** Master planned design, high quality building materials, civic amenities, integrated open space and appropriate transitions from greater to less intense uses. The periphery of the character area will include an exceptional, large transitional area to adequately protect single-family residential and other residential homes in the area
- Use:** Mixed-Use (combined office, retail and residential where residential is located only on the second floor or above) up to 12 units to the acre, although age-restricted projects would be granted consideration for additional densities; live-work units, civic institutional, community retail (not greater than 50,000 square feet), local and unique business, boutique retail, public assembly and entertainment. Additional density is allowable, if and only if, the nature of the mixed-use development provides exceptional opportunities for creating a high quality community



FIGURE 7: Dunwoody Village will feature buildings close to the street, an active pedestrian zone with bicycle options that are safe and inviting.





## Goals

- Land use
  - Create an active community center with public places to gather, following a master planning process that potentially supports a redevelopment investment program
  - Through the Master Plan process, establish way-finding or landmark features that unify the Village and can be used across the City, if a way-finding or gateway plan does not already exist for the greater City as a whole
  - Master Plan should consider shadowing effects of taller buildings and appropriately regulate to not visually impose on adjacent single-family residents
  - Implement the Dunwoody Village Overlay and review regularly to ensure enforcement meets intent of overlay and Character Area vision
- Transportation and circulation
  - Creatively address the parking and congestion that new local activity may generate
  - Master Plan process will identify solutions for structural parking
  - Establish bicycle network for new connectivity throughout the City so that “all roads lead to the Village”
  - Establish infrastructure thresholds that new development must meet
- Community Facilities
  - Pursue site location evaluation and financing plan locating City Hall, Police and other civic functions, including options for joint public-private partnership
  - Create venues for cultural events like music and create programs for public uses of City Hall and library

Several regional examples of **redevelopment with open space** were referenced during Community Meeting discussions about Dunwoody Village. The City of Smyrna allows higher buildings adjacent to the plaza at the Market Village shown. The City of Dunwoody envisions similar development and rules whereby densities may increase, contingent upon the provision of amenities (open space, plazas, etc) or development features.



City of Duluth



City of Smyrna



City of Suwanee



## 2 VISION & FRAMEWORK PLAN

### OVERALL VISION

In 2010 the City of Dunwoody adopted its first Comprehensive Land Use Plan. The Comprehensive Land Use Plan laid the foundation for this more detailed master plan effort:

Dunwoody Village has historically been the “heart” of Dunwoody. A master planning process will have established a detailed vision for this center of the community, focused on pedestrian and bicycle amenities, public functional green space, traffic calming, architectural controls, connectivity and place making. A sense of history will add to the charm and sense of place.

This area will offer a “village green” with civic activities and amenities, and redevelopment will draw community members to shopping, dining and entertainment. Furthermore, redevelopment should have a residential component for day and evening activity to foster community. The design should embody the unique character of Dunwoody. The marker or unifying signifier (whether a “logo” or other identifier) that the City creates for itself and employs at gateways should be hallmarked in the Dunwoody Village in a distinctive, prominent way.

The Dunwoody Village Master Plan was developed to create a more detailed vision for the District based upon the area’s unique character and identity, the desire to create a great sense of place, underlying real estate market fundamentals, and public input. The resultant master plan include land use and circulation framework plans and short-term and long-term action plans to guide City of Dunwoody initiatives and investments in this area over the next 10-20 years.

Throughout the planning process, public involvement was a vital element of developing a community driven plan. The process included:

- +/- 20 Stakeholder Interviews in August 2010
- 4 Sounding Board Meetings- a committee of 14 community members identified by City Council to serve as a focus group for the planning effort
- 4 Public Workshops (the 4th workshop was held twice on consecutive evenings)
- An Interactive Project Website
- A Community Preference Survey
- 3 Public Open Houses
- City Councilmember Interviews/Small Group Sessions



The first phase of community involvement in September and October of 2010 included stakeholder interviews, one Sounding Board Meeting, one public workshop, and the online community preference survey to clarify community goals and objectives for Dunwoody Village. While there are many perspectives and viewpoints in the community, the following community consensus points emerged through the public participation process and guided development of the Master Plan.

- Reinforce Dunwoody Village as a focal point of the community and a City of Dunwoody destination
- Maintain the area's unique identity including the concentration of local businesses
- Make the Village more walkable
- Create community green space and maintain mature tree cover
- Preserve and enhance the Farmhouse as a community icon
- Maintain a consistent architectural character in the Village
- Maintain and enhance buffers to surrounding single-family neighborhoods
- Determine potential for a civic presence in the Village
- Recognize community preferences to limit residential densities and rental properties





## FUTURE CHARACTER

In September 2010, a Community Preference Survey was conducted at the first public meeting and online into early October to gather stakeholder input regarding the future of the Dunwoody Village. While over 270 stakeholders participated in the survey, the pool of respondents was not a scientific sample of the community as a whole. The community preference survey was not intended to be a voting mechanism, but rather one of many tools utilized during the planning process to provide greater insight into community issues and general preferences between various segments of the community.

The survey included two parts. First, a series of images were ranked by survey participants based upon their appropriateness for the future of the Dunwoody Village. Images were divided into two subareas: Village Transition areas adjacent to surrounding single-family neighborhoods and the Village Core roughly bounded by Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway. An additional set of images included circulation and open space images. The second half of the survey included a series of multiple choice questions and short-answer questions regarding land use, transportation/circulation, sense of place, and implementation.

Visual images that ranked most highly for Village Transition areas included a variety of low-scale buildings including retail, townhomes, and institutions. Almost all highly ranked images were brick buildings with somewhat contemporary versions of traditional architectural styles.

Within the Village Core, the most highly ranked images were a mix of retail and mixed-use images.

Within the circulation and open space images, hardscape plazas bordered by grass and trees, sidewalks, and bicycle paths rated most highly.





Notable results from multiple choice and short-answer questions:

- 74% of survey respondents reported that the Dunwoody Village needs some or extensive improvement and redevelopment. 22% reported that the area needs landscaping/general improvements and 3% reported that the area looks fine as it is.
- The retail goods and services most desired in Dunwoody Village by survey respondents included casual restaurants, grocery, pharmacy, gifts and specialty shops, and book/music shops.
- If residential units were added to the Village in the future, survey respondents reported that the most appropriate target markets are empty nesters/early retirees and young professionals.
- There is strong community desire for more open spaces, particularly small scale parks and plazas.
- The lack of sidewalks and uninviting pedestrian environment is viewed as a significant issue in the Village
- The highest implementation priorities from survey respondents were:
  - Create open space/parks
  - Make the area more walkable/bikable

### Village Transition Areas



### Village Core



### Circulation and Open Space



Highly ranked survey images





## LAND USE FRAMEWORK PLAN

The Land Use Framework Plan is intended to guide future redevelopment and community improvements within the Master Plan area over the next 10-20 years. The Dunwoody Village encompasses over 150 acres of property. Based upon current real estate market conditions and the significant amount of existing retail and office space within the Dunwoody Village, it is unlikely that large portions of the Village could experience redevelopment in the short-term (next 3-5 years).

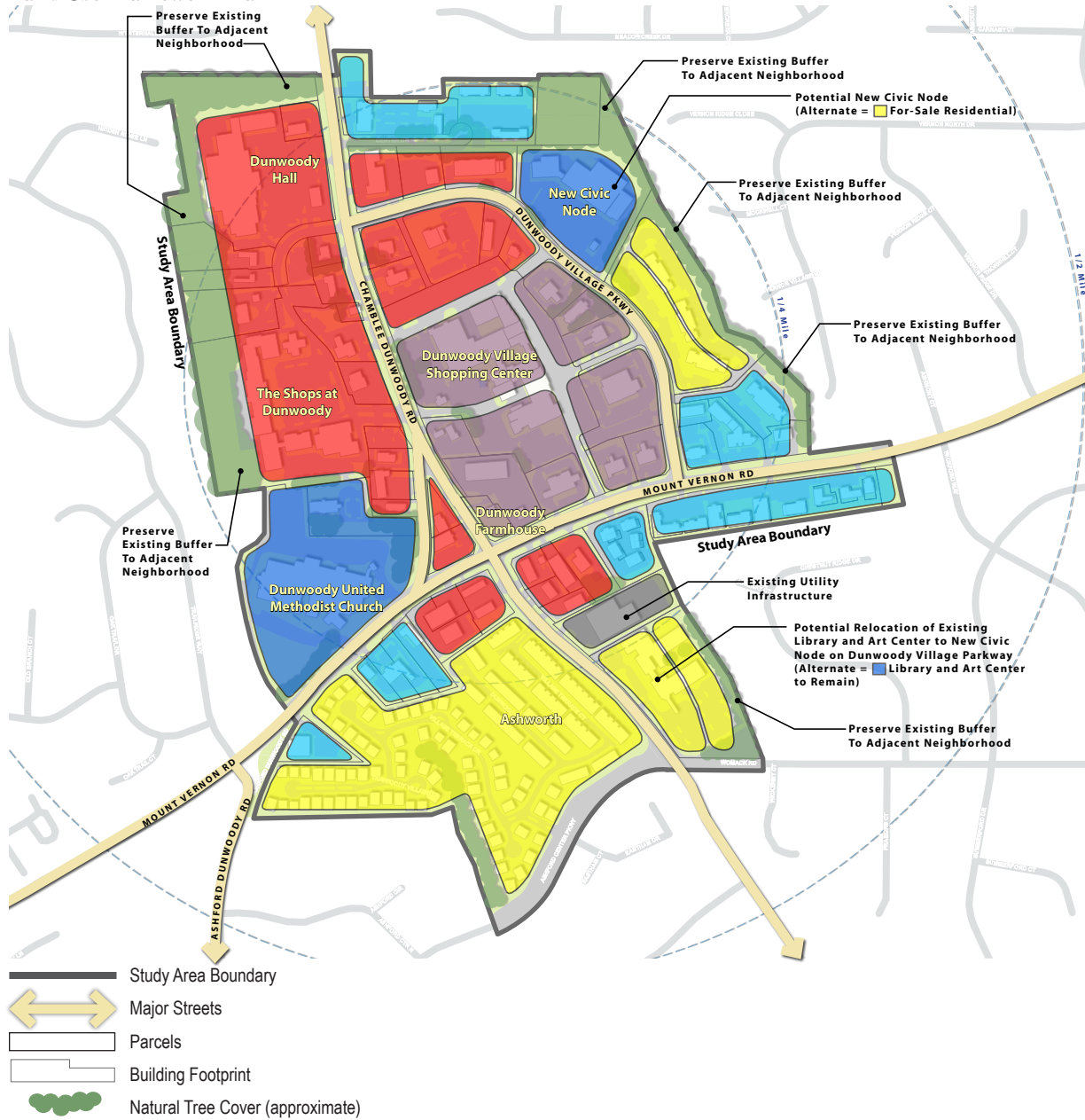
Additionally, a number of properties have multiple owners (office condominiums), are stable institutions or are higher performing retail properties and are unlikely to change in the short- to mid-term. These properties include the Ashworth neighborhood, Dunwoody United Methodist Church, The Shops at Dunwoody, Dunwoody Hall, and a series of office condos on the north side of the study area and along Mount Vernon Road. While some of these properties may need some upkeep and improvement, other areas within the Village exhibit lower levels of activity, rents, and occupancies. These areas are outlined in previous sections of this report related to Activity and Redevelopment Potential.

The land use framework plan seeks to create a 20-year vision for community improvement and redevelopment in areas that are most likely or most susceptible to change. Consistent with the community consensus points the Land Use Framework Plan seeks to:

- Create a more vibrant Village Center including a focal point community green space
- Encourage more compact development forms that promote walkability, but are appropriately sized and scaled to maintain and enhance the area's unique character and identity
- Maintain and enhance convenience retail centers that provide daily goods and services for nearby residents
- "Prune" lower performing retail and office sites over time to improve the area's market fundamentals and visual appeal of the Village
- Allow for modest residential development to enhance walkability and enliven the Village, but in doing so, encourage high-quality, owner-occupied units targeted at empty nesters and active adults

The following sections outline key strategies and recommendations for various districts within the Dunwoody Village Land Use Framework Plan.

## Land Use Framework Plan



### DUNWOODY VILLAGE DISTRICTS

- **NEIGHBORHOOD & CONVENIENCE RETAIL:**
  - Primarily existing retail/commercial
  - Limited professional office
  - Limited opportunity for new development
  - Facade / tenant upgrades over time
  - Internal landscape / pedestrian / site improvements over time (private)
  - Generally 1-2 story development
- **SMALL-SCALE OFFICE:**
  - Existing office space
  - Limited opportunity for new development
  - Facade / tenant upgrades over time
  - Internal landscape / pedestrian / site improvements over time (private)
  - Primarily 1-2 story development (third level of occupied space in some existing buildings)
- **CIVIC / INSTITUTIONAL:**
  - Existing civic / institutional uses (Dunwoody United Methodist Church)
  - Opportunity for new Civic Node
    - New "town green / plaza" (0.5-1.0 acres)
    - Potential new Municipal Complex
    - Potential relocation of existing Library & Arts Center (from Chamblee Dunwoody Road)
  - Potential new civic uses
  - 1-3 story development
  - Potential supporting retail / office (small-scale 1-2 stories)
  - NOTE: See separate detailed site concept
- **FOR-SALE RESIDENTIAL:**
  - Existing townhomes and small-lot single-family (Ashworth)
  - Opportunity for new development (Chamblee Dunwoody Road site & Dunwoody Village Parkway site)
    - 10 to 12 units per acre
    - 2 to 3 stories with private garages
    - Age-targeted (empty nesters)
    - Large units (greater than 2,000 sq. ft.)
    - For-sale product
    - Preserve existing buffers
    - High-quality design / materials
- **VILLAGE CENTER MIXED-USE:**
  - Existing Village commercial
  - Preservation of Cheek-Spruill Farmhouse
  - Preservation of Fresh Market and Walgreens
  - Significant opportunity for redevelopment (multiple sites)
    - New "town green" (1.5-2.0 acres)
    - New internal street grid
    - "Walkable" storefront character
    - Potential new storefront retail / office
    - Potential for-sale loft housing over ground-floor commercial (40-80 units)
    - Age-targeted housing (empty nesters)
    - Large units (greater than 2,000 sq. ft.)
    - Generally for-sale product
    - Primarily 2-3 story development
    - High-quality design / materials (compatible with Village aesthetic)
    - NOTE: See separate detailed site concepts



Potential short-, mid-, and long-term Dunwoody Village build-out



## VILLAGE CENTER

The proposed Dunwoody Village Center incorporates a significant public open space surrounded by a mix of uses in keeping with Dunwoody Village's traditional architectural style. The Village Center is proposed for the southern portion of the superblock bounded by Chamblee Dunwoody Road, Mount Vernon Road, and Dunwoody Village Parkway. The area today is occupied by a collection of commercial properties including the Dunwoody Village Shopping Center and several outparcels (banks, US Post Office, real estate offices, and others), and the Farmhouse at the corner of Chamblee Dunwoody Road and Mount Vernon Road. The Farmhouse is intended to remain as an important community icon, but be re-integrated into the surrounding area through landscaping and pedestrian walkways.

The primary focus of the Village Center is to:

- Create a central community gathering space within the Village
- Encourage high-quality redevelopment of underutilized areas, primarily the east, "back" side of the Dunwoody Village Shopping Center and underutilized surface parking areas
- Foster greater connectivity and accessibility by creating an internal street grid within the superblock
- Create a more walkable, vibrant Village Center with area appropriate goods and services
- Provide an opportunity for a modest number of high-end residential units to foster greater livability, activity during evening and weekend hours, and security (more "eyes on the street")



A central green space should be the key organizing element of the Village Center. Dunwoody Village has long been the social and historical center of the Dunwoody community. However, gathering spaces for community events have been limited to area parking lots and closing area roadways due to the lack of a central park or plaza. Creating significant, useable green space within the Village is one of the highest priorities voice by community residents. The Planning Team recommends that a village green of 1.5 to 2.0 acres or more should be developed within the core of the Village.

The green space should be visible from one or more main roadways (Mount Vernon Road, Dunwoody Village Parkway, and Chamblee Dunwoody Road). However, 1.5 and 2 acres in size, the green space should not feel “exposed” to a major roadway where area traffic and noise could limit the gathering space’s functionality and use. The community space should include a combination of green (grass and landscaping) and hardscape (pavers, plazas, etc.) to accommodate a variety of uses and events. Positioning the green space along or within the proposed internal street grid will enhance the area’s flexibility to accommodate larger community gatherings by temporarily closing internal streets and expanding events into those areas. The green space should also be linked to the Farmhouse through a pedestrian path, sidewalks, and enhanced landscaping.





The central green space should be surrounded by high-quality, multi-story redevelopment. While there are community concerns regarding the impact of multi-story buildings on the Village's traditional character, it is necessary to have the area surrounding the green space of sufficient height and uses to create a focal point of activity, enhance the area's walkability, and provide the proper proportion to visually frame the green space. While multi-story, these new buildings should be designed in keeping with the Village's traditional architectural style and should be largely red brick.

Based upon the local real estate market fundamentals, the most likely uses for buildings surrounding the central green space are retail and professional office on the ground floor with residential units above. A limited number of buildings surrounding the green space could be commercial with retail on the ground floor and office space above. However, some existing office facilities within the Village would need to be eliminated to provide a market for new office space to be leased.





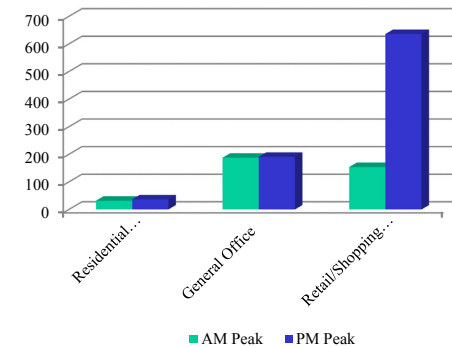
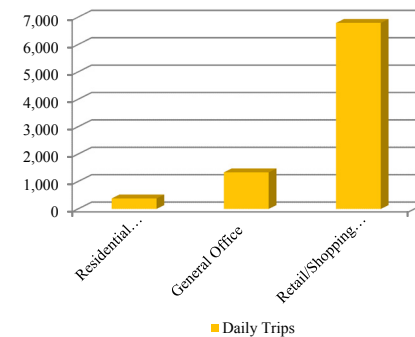


There is significant concern from some area residents regarding the integration of residential units into the Dunwoody Village. Future residential units within the Village are intended to reinforce and add to the traditional character of the Village and are not intended to be high density (over 12 units/acre) or apartment uses. The greatest opportunity to meet community needs and goals and promote “lifelong community” principles is to incorporate a variety of residential units within the Village (residential over retail (flats and stacked units), townhomes, and nearby single-family homes). Residential uses should focus on aging residents and empty nesters that are looking for lower-maintenance residences within a walkable environment and easy access to restaurants, local goods, and area services. Multi-story units should consider elevators to meet the needs to this market and reinforce “lifelong community” principles. Within the Dunwoody Village, residential products should focus on for-sale units, larger than 2,000 square feet, and constructed of high-quality building materials in keeping with the Village’s traditional architectural style.

Integrating residential units in the Dunwoody Village would help foster a multi-modal transportation network and minimize traffic generation within the district. Residential uses generate lower daily trips compared to office and retail uses and significantly lower trips during AM and PM peak periods. Residential uses in close proximity to commercial areas also allow residents and visitors to walk or utilize other modes of transportation limiting the number of necessary vehicular trips. For additional information regarding residential uses, please see “Residential” at the conclusion of this section.

Traffic Generation by Land Use

Land Use Category	Example Intensity		Daily Trips	AM Peak Hour	PM Peak Hour
Residential Condo/Townhouse	55	d.u. (assumed 1,800 s.f./d.u = 100,000 s.f.)	382	32	37
General Office	100,000	s.f.	1,334	188	191
Retail/Shopping Center	100,000	s.f. gross leasable area	6,791	154	636





To meet these and other area circulation and access needs, an internal street grid should be instituted within the superblock of Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway as opportunities allow. Ideally, two new east-west routes would be provided and one new north-south roadway. East-west roadways would link the traffic signal at Chamblee Dunwoody Road and The Shops at Dunwoody to Dunwoody Village Parkway, and the main entry of Dunwoody Plaza shopping center on Dunwoody Village Parkway to Chamblee Dunwoody Road between the existing Walgreen's Pharmacy and Starbucks. A new north-south roadway should begin at the main entry to the Dunwoody Village off of Mount Vernon Road (between existing Wells Fargo and BB&T banks) and end at the proposed northern east-west road and Dunwoody Village Parkway as it turns toward Chamblee Dunwoody Road. Each of these internal streets should include landscape buffers with trees and lights and pedestrian sidewalks. Bicycle lanes/paths should be incorporated into the roadways as well. These internal roadways should be constructed as a part of redevelopment efforts in coordination with local property owners.

Successful retailers are vital to the vision of a more vibrant Village Center. The current and projected Dunwoody Village environment supports unique, local retailers, and boutiques. Retail storefronts should be designed in a traditional manner along the back of sidewalks facility the central green space and internal roadways.





## CIVIC / INSTITUTIONAL

Many traditional town centers include a civic facility and/or icon as an attraction and sociological focal point. Determining whether Dunwoody City Hall belongs in the Dunwoody Village is a larger, city-wide conversation that requires additional study. However, part of the goal of the Dunwoody Village Master Plan was to consider whether a civic presence was desired, necessary, and could be accommodated within the Dunwoody Village if it was determined to be appropriate in the future.

In terms of desire, community feedback included both pros and cons to locating City Hall within the Village. Many residents view the Village as the traditional focal point of the city and see a natural connection between a City Hall and the emotional center of the community. Others were less enthusiastic of repositioning commercial property for a public (non-taxable) facility.

From a community design perspective, a civic presence or public facility is helpful as a community focal point and generator of visitors and activity to the area. However, in the case of Dunwoody Village, that facility could be a City Hall, relocation of the Dunwoody Library into the Village Core, relocation of some of the City's arts facilities into the Village Core, another public facility being developed within the Village, or all of the above.

One possible scenario would be to cluster a future City Hall (with the administrative functions of the police department), Dunwoody Library, and Spruill Arts Center into a single municipal complex within the Dunwoody Village. This opportunity would consolidate several city facilities into a single location with potential greater efficiency. One of the only single properties large enough to accommodate a municipal center of this scale is the Dunwoody Plaza Shopping Center. The concept on the following page illustrates the site's potential to anchor the northeast end of the Village with a range of daytime, nighttime, and evening activities based upon the mix of facilities. The concept would also provide a secondary community green space at  $\frac{1}{2}$  to 1 acres in size and maintain and/or enhance the buffer between the parcel and adjacent neighborhood. This concept may include some supporting retail, but would reduce the total amount of retail uses on the perimeter of the Village in favor of enhancing the quality and potential quantity of retail in the Village Center.

A second option for a civic presence within the Dunwoody Village would be adjacent to the Village Green proposed within the Village Center. If there is not a desire to create a larger municipal complex, one side of the community gathering space could be utilized as a site for a civic anchor, similar to concept on page 35.





ILLUSTRATIVE CONCEPTS  
NOT AN ACTUAL DEVELOPMENT  
PROPOSAL



## Dunwoody Village Master Plan

Urban Collage, Inc. | Houseal Lavigne Associates | RCLCO | Kimley-Horn and Associates, Inc. | Market + Main, Inc.





## NEIGHBORHOOD/CONVENIENCE RETAIL

Neighborhood retail centers that meet the daily needs of nearby residents and workers are one of the mainstays of the Dunwoody Village. Under this plan there should be incentives for façade, landscape, and streetscape enhancements to improve the appearance and accessibility of commercial properties primarily along the west side of Chamblee Dunwoody Road and the north end of Dunwoody Village Parkway. However, these shopping areas including Dunwoody Hall, the Shops at Dunwoody, and smaller parcels at the intersection of Chamblee Dunwoody Road and Mount Vernon Road will likely remain retail uses with some limited, storefront offices. Neighborhood/convenience retail areas should maintain consistency with the Dunwoody Village's traditional architectural character.

To enhance neighborhood retail areas the City of Dunwoody should consider:

- A façade and landscape improvement program
- Updating Chamblee Dunwoody Road, Mount Vernon Road, and Dunwoody Village Parkway streetscape requirements to be consistent with those planned in the Circulation and Open Space Framework Plan
- Reviewing the City's site design standards to encourage any redevelopment to address the street by placing buildings at the back of sidewalk and placing parking behind or to the side, screened from public right-of-way
- Enhancing the pedestrian environment by requiring pedestrian sidewalks/paths from major roadways to developments and enhancing parking lot landscaping where appropriate
- Encouraging (or requiring) inter-parcel connectivity and limit curb cuts to major roadways (Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway) as part of significant development or redevelopment efforts
- Reviewing the City's sign ordinance to ensure that it promotes the installation of low, traditionally styled, high-quality signage and does not serve as a disincentive that results in older, deteriorating signage remaining in place

## SMALL-SCALE OFFICE

One of the unique features of the Dunwoody Village is a collection of smaller-scale, Williamsburg-esqe office condos. These small scale office facilities are located along the southern edge of Mount Vernon Road between Ashford Dunwoody Road and Wickford Way, at the intersection of Mount Vernon Road and Dunwoody Village Parkway, and along Center Drive at the northernmost end of the Village. As office condos with multiple owners that reinforce the traditional character of the Village, these facilities are unlikely to change over the short- and mid-term. Similar to neighborhood/convenience retail areas, façade and landscape improvements should be undertaken as opportunities arise in keeping with the Village's traditional architectural character.

Maintaining small scale office opportunities is important to maintaining the unique, local character of the Dunwoody Village. However, pruning lower performing office buildings over time will help the Village Center be a more viable location for local businesses. As opportunities arise, low visibility, lower performing, stand-alone office (marked by lower rental rates and higher vacancies) should be removed from inventory over modest reinvestments that will only prolong consolidation and redevelopment.



## RESIDENTIAL

As outlined in the Village Center description on previous pages, integration of a modest number of for-sale residential units into the Dunwoody Village can:

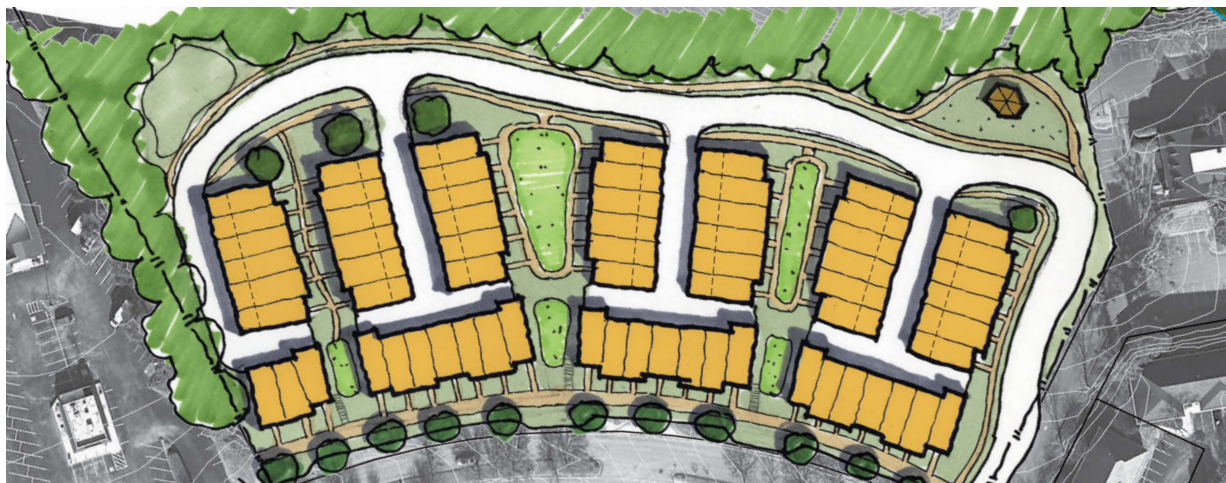
- Provide an opportunity for aging residents to remain in Dunwoody, reinforcing lifelong community principles
- Enhance walkability and open space opportunities and the pedestrian environment
- Enhance the market for desired restaurants and boutiques
- Reduce and/or minimize traffic generation

Residential uses in the Dunwoody Village should seek to provide a variety of housing types (flats, stacked, lofts, etc.) to limit opportunities to overbuild, reinforce the area's unique character and broaden the area's appeal. Opportunities include flats over retail/office within the Village Center, stacked units (2-story with garage) over retail/office in the Village Center, and single-family attached townhomes on the periphery of the Village.

There are significant concerns by some in the community regarding the character, quality, and potential impact of residential uses in the Village. The community's vision for Dunwoody Village is a small-scale "town center" in a walkable format with a variety of uses that will enhance the character, livability, viability, and economic value of the area. To meet that vision residential uses considered for the Dunwoody Village should be:

- For-sale units with limits on the number of potential leased units
- 10-12 units/acre
- 2-3 stories, 2 stories at neighborhood edges
- Age-targeted, designed and marketed toward empty-nesters and early retirees who seek a lower-maintenance, more-active lifestyle in close proximity to goods and services
- High-quality materials and design in keeping with Dunwoody Village's traditional architectural character

Geographic factors, market limitations, and community aspirations suggest that the appropriate number of residential units within the Village Center and adjacent areas would be no more than 120-160 units over the next 10 years.





The Circulation and Open Space Framework Plan outlines key community green/open space and pedestrian, bicycle, and roadway improvements developed in conjunction with the land use and market goals established during the planning process. Outlining transportation improvements in conjunction with land use goals and objectives is vital to maintaining and enhancing the character of the Dunwoody Village. The Circulation and Open Space Framework Plan places emphasis on community goals to create additional open space and gathering areas, enhance walkability, and expand potential for alternative transportation modes to be utilized in and around Dunwoody Village.

## Circulation and Open Space Framework Plan



### DUNWOODY VILLAGE CIRCULATION & OPEN SPACE INITIATIVES

- OPEN SPACES:**
  - "Town Green" - 1.5 to 2.0 acres (NOTE: location and layout TBD)
  - "Civic Green" - 0.5 to 1.0 acres
  - Farmhouse Green
  - Chamblee Dunwoody Road & Womack Pocket Park (if property is renovated/redeveloped)
  - The Shops at Dunwoody Plaza (private)
- PEDESTRIAN PATHS / TRAILS:**
  - 12-15 feet wide
  - Multi-use for pedestrians and recreational bikers (not bicycle commuters)
  - Some in public right of way, some on private property (with easements)
  - Potential trailheads connecting to adjacent neighborhoods (secured access to be further explored) (NOTE: Will require detailed discussions with affected neighborhoods and existing property owners to determine feasibility and exact locations)
- STREETSCAPE IMPROVEMENTS:**
  - Sidewalks, decorative lighting, street trees, mast arms, access management, landscaping, and on-street bike routes (dedicated lane on Dunwoody Village Parkway)
  - Chamblee Dunwoody Road
  - Mount Vernon Road
  - Dunwoody Village Parkway
  - Ashford Center Parkway
- INTERSECTION IMPROVEMENTS:**
  - Decorative Pedestrian Crossings
  - Pedestrian Signalization if warranted
  - Operational Improvements (Chamblee Dunwoody Road signalization changes associated with change to Nandina Lane)
- NEW VILLAGE CENTER STREET GRID:**
  - New roads to break up super block (associated with new development) (NOTE: location and layout TBD)
  - Roads may be public or private (TBD)
  - Pedestrian oriented streets
  - Operational Improvements
- ACCESS MANAGEMENT IMPROVEMENTS:**
  - Operational & access improvements to Chamblee Dunwoody Road north of Mount Vernon Road
  - Potential signal timing, reduced / consolidated curb-cuts, interparcel connectivity enhancements, etc. (requires additional detailed study)
- NANDINA LANE RECONFIGURATION:**
  - Conversion of Nandina to one-way (southbound)
  - Requires adjustments to operation of Chamblee Dunwoody Road & Mount Vernon Road intersection (requires additional detailed study)
  - Consider long-term removal





## -129- OPEN SPACE

As detailed in the Village Center description in the last section, the centerpiece of the proposed, walkable Village Center is a Village Green Space. The primary goal is to create an appropriately scaled community gathering space as a focal point of the Village Center. The Planning Team's recommended 1.5 to 2 acre open space would accommodate community gatherings of up to 10,000 or more if adjacent streets are designed in a manner that they can be closed for larger events.

The Village Green should be visible from and/or linked to each of the Village's major streets (Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway) through sidewalks, multi-use trails, and significant landscaping. The Green should also be linked to the Farmhouse via a pedestrian path and enhanced landscaping.

The most significant design challenge for the space is to create an open space that is large enough to accommodate community gatherings without feeling oversized and empty when not in use. To best meet this challenge, the green space must be designed in conjunction with surrounding redevelopment and utilize a variety of materials to create sub-areas. The space should include a combination of hardscape plazas and open green spaces to provide variety and flexibility to comfortably accommodate a variety of groups (from small gatherings to large events). The space is intended to be passive in nature and not a location for active recreation (playgrounds, athletics, etc.).

Other open space opportunities within the Dunwoody Village include maintaining and enhancing green spaces and mature trees that surround the Farmhouse, a more formal "civic green space" of ½ to 1 acre that should accompany the development or relocation of any civic facility into the Dunwoody Village, and encouraging enhanced community green space as a part of major, private redevelopment/improvement projects.

Any public or private redevelopment or major improvement property improvement project should be accompanied with landscape and green space improvements. The Planning Team recommends that the district's zoning classification be reviewed to encourage the creation and enhancement of smaller green spaces, provide street trees along major roadways and entries, and provide landscape islands and trees within surface parking areas. Generally these smaller open spaces should be used to create focal points within redevelopment projects and be bordered on at least one side by a public roadway where reasonable to enhance visibility and safety. If the City were to reposition the current Library/Arts Center site at Chamblee Dunwoody Road and Womack/Ashford Center Parkway, a landscaped area or pocket park should be considered on the northeast corner of the intersection as a gateway into the Dunwoody Village.

## NEW ROADWAYS

Integral to enhancing the character of and enhancing walkability in the Dunwoody Village is breaking up the superblock bounded by Mount Vernon Road, Chamblee Dunwoody Road, and Dunwoody Village Parkway. The Dunwoody Village Master Plan calls for two new east-west connections between Chamblee Dunwoody Road and Dunwoody Village Parkway and one north-south connection through the block. These internal roadways should be local, low-speed streets with shared bicycle lanes on-street, on-street parking, landscape buffers (4-6 feet recommended), street trees, lighting and wide pedestrian sidewalks (8-12 feet in width recommended).

The internal street grid is proposed to enhance access, visibility, and walkability providing multiple options for cars, bicycles, and pedestrians alike. These roadways would also alleviate some pressure on the Mount Vernon Road/Chamblee Dunwoody Road intersection and Chamblee Dunwoody Road between Mount Vernon Road and Dunwoody Village Parkway as they would provide options for low circulation. Internal streets will reduce the opportunity to have the “back side” of buildings exposed to public right-of-way and reduce expanses of surface parking lots.







## TRAFFIC ENHANCEMENTS

Congestion at the Mount Vernon Road and Chamblee Dunwoody Road intersection, in combination with Nandina Lane, inhibits travel to and through the Village on a daily basis. Particularly during afternoon peak hours, delay at the intersection can back traffic for expansive distances in all directions. Roadway expansions to improve capacity are not supported by the community and would not reinforce the character of the Dunwoody Village. Adjustments are necessary however, to better manage the intersection and enhance safety.

While some inventive concepts have been proposed for the intersection (two-lane roundabouts, bypasses, etc.), the Planning Team recommends a series of more modest improvements including modifications to Nandina Lane and enhanced traffic signal timing of this and all nearby traffic signals.

Left-turn movements onto and out of Nandina Lane create operational and safety conflicts due to their close proximity to the major intersection of Chamblee Dunwoody Road and Mount Vernon Road. This project would involve operationally changing

the intersections at both ends of Nandina Lane to become right-in-right-out only. This may result in needing turn lane reconfigurations at the primary intersection (to be determined by a future traffic study); however, the net result will yield better efficiency and safety within the proximity of this area. This project will also include replacing the existing span wire signals with decorative mast arms and utilizing countdown pedestrian signals and well-marked crosswalks. Over the long-term, Nandina Lane should be further studied as a one-way southbound street or eliminated.

One of the largest challenges for the Dunwoody Village is the high volume of traffic passing through the area along the major corridors of Mount Vernon Road and Chamblee Dunwoody Road. Much of this traffic is regional in nature resulting from traffic patterns that extend well beyond the district. It is unlikely that this traffic can be rerouted, so improving operational efficiency along the major corridors is paramount. Operational improvements can be made by evaluating signal timings and linking signals together to coordinate timings and achieve positive progression. This effort would involve a more detailed traffic study that evaluates the network of signals in and around the Dunwoody Village.

As part of any improvement project, access management along Chamblee Dunwoody Road and all major roadways in the Dunwoody Village area should be considered. Part of the traffic congestion problem in the area is the number of curb cuts and potential conflict points along major roadways. Any future redevelopment and/or streetscape project should consider reducing the number of curb cuts and directing as many turning movements as possible into a limited number of intersections and access points.



## STREETSCAPE IMPROVEMENTS

To enhance walkability within Dunwoody Village pedestrian facilities (sidewalks, ramps, crossings) and the pedestrian environment (storefronts, lighting, benches, trash receptacles, etc.) must both be improved. Four significant streetscape (sidewalk, landscape, and lighting) projects are recommended for the Dunwoody Village.

Enhancements to Dunwoody Village Parkway are under design as part of a Transportation Enhancement Grant awarded to the City. Elements of the plan include:

- Reduction in the number of travel lanes from 2 in each direction to 1 northbound and 1 southbound lane
- On-street bicycle lanes
- Landscape buffers 6-feet in width between travel lanes and sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- 6-foot wide sidewalks in the short-term with potential to widen to 12-feet as part of future improvements and/or redevelopment
- Flexibility to add on-street parking on the west side of Dunwoody Village Parkway as part of future park development and/or private redevelopment

With future enhancements, efforts should be made to reduce the number of curb cuts along the roadway to limit potential conflict points between motorized vehicles, bicycles, and pedestrians.

Streetscape improvements should be undertaken for Chamblee Dunwoody Road in two phases. The first phase would improve the roadway from Mount Vernon Road to Roberts Drive (approximately 2,700 linear feet). Elements should include:

- Landscape buffers no less than 4 feet in width and preferably 6 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks no less than 8 feet in width, preferably 10-12 feet wide
- Off-street bicycle facility on one side of the street (5-foot dedicated path or as part of a 12-foot multi-use path)
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Removal of overhead utility lines and replace with underground utility lines
- Access management considerations to reduce and limit curb cuts and potential conflict areas along the corridor





The second phase of streetscape improvements along Chamblee Dunwoody Road (approximately 1,300 linear feet) should include the area from Mount Vernon Road south to Ashford Center Parkway.

- Landscape buffers no less than 4 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks no less than 8 feet in width,
- Off-street bicycle facility on one side of the street as part of a 12-foot multi-use path
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Removal of overhead utility lines and replace with underground utility lines

Multi-modal improvements along Mount Vernon Road from Ashford Dunwoody Road to Wickford Way (approximately 3,500 linear feet) should include:

- Landscape buffers no less than 4 feet in width and preferably 6 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks no less than 8 feet in width, preferably 10-12 feet wide adjacent to the proposed Village Center
- Off-street bicycle facility on one side of the street (5-foot dedicated path or as part of a 12-foot multi-use path on the north side of Mount Vernon Road)
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Removal of overhead utility lines and replace with underground utility lines
- Access management considerations to reduce and limit curb cuts and potential conflict areas along the corridor

Finally, pedestrian and bicycle enhancements on Ashford Center Parkway and/or Womack Road should consider:

- On-street bicycle lanes or shared lanes
- Landscape buffers no less than 4 feet in width between the roadway and pedestrian sidewalks
- Street trees, pedestrian lighting, and roadway lighting within the landscape buffer
- Wider sidewalks along both sides of major roadways no less than 6 feet in width
- Intersection enhancements including new mast arm traffic signals, pedestrian signals, high visibility crosswalks, and ADA Ramp improvements where necessary
- Extension of the Ashford Center Parkway median when and where feasible

## BICYCLE ROUTES

A combination of on-street and off-street bicycle routes will be necessary to enhance the ability of bicycles to traverse the area more easily. On-street bicycle routes should be included on Dunwoody Village Parkway and as part of new internal street grid through the Village Center. On-street bicycle lanes should be 5 feet in width to meet AASHTO standards.

Off-street bicycle lanes should be considered as part of multi-use trails on one side of Mount Vernon Road and Chamblee Dunwoody Road due to high traffic volumes, the number of conflicts, and other safety concerns. Multi-use paths are typically 12-15 feet in width on one side of a street and accommodate pedestrians (runners/joggers), recreational bicyclists, and sometimes electric carts and/or other devices. Alternatively, dedicated off-street bicycle lanes between landscape buffers and pedestrian sidewalks should be 8 feet or greater in width.

These bicycle routes should be tied into a Citywide network of bicycle facilities in coordination with the City's Comprehensive Transportation Plan.



## MULTI-USE PATHS/TRAILS

To further enhance connectivity to and from the Dunwoody Village, multi-use paths and trails should be considered, if desired by adjacent neighborhoods, to connect surrounding single-family neighborhoods to the Village. These paths would be 12-15 feet wide to accommodate pedestrians, bicycles, and potentially electric-carts (golf carts) or other devices. Trails would require cooperation within the neighborhoods to determine a proper location and property easements for the City to assist with construction of the path. The City of Dunwoody should consider a policy regarding these paths if individual neighborhoods desire their implementation.

Based upon public involvement in the Dunwoody Village Master Plan, potential priority locations for off-street multi-use trails include:

- A dedicated east-west path through the Village Center in conjunction with the realization of one of the recommended east-west roadways
- Potential links to adjacent neighborhoods (if the neighborhoods desire them and assist in defining the appropriate path):
  - The Branches,
  - Wynterhall,
  - Wyntercreek, and
  - Vernon North.





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## CHAPTER 27 – ZONING ORDINANCE

## ARTICLE II. – ZONING DISTRICTS

## DIVISION 4. - OVERLAY ZONING DISTRICTS

## Sec. 27-96. - General.

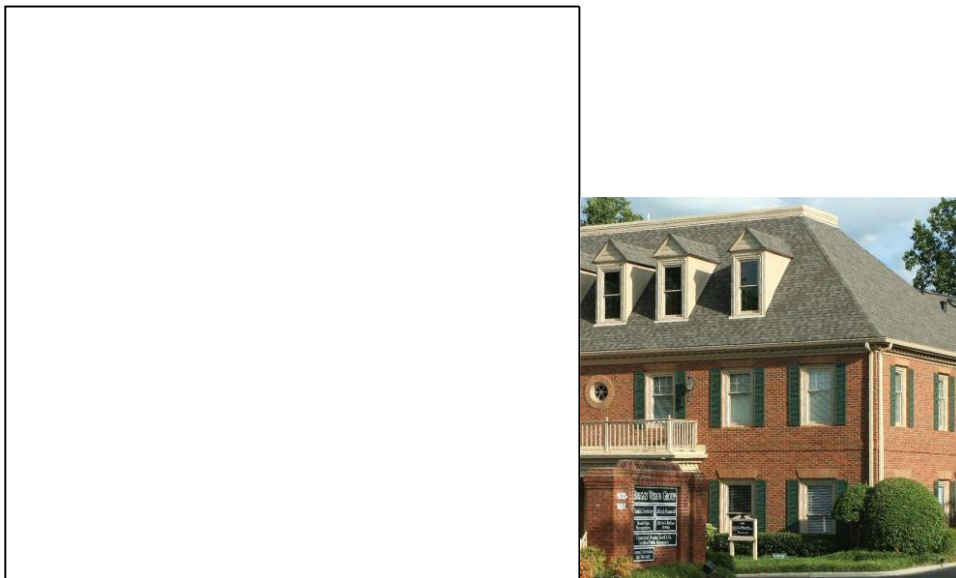
- (a) *Establishment.* Overlay zoning district regulations and overlay zoning district boundaries may be established or amended only in accordance with the amendment procedures of article V, division 2.
- (b) *Interpretation.* Overlay zoning district regulations apply in combination with underlying (base) zoning district regulations and all other applicable regulations of this zoning ordinance. When overlay district standards conflict with standards that would otherwise apply under this zoning ordinance, the regulations of the overlay zoning district govern. Otherwise, all applicable regulations of this zoning ordinance apply in overlay districts.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-7.10), 10-14-2013)

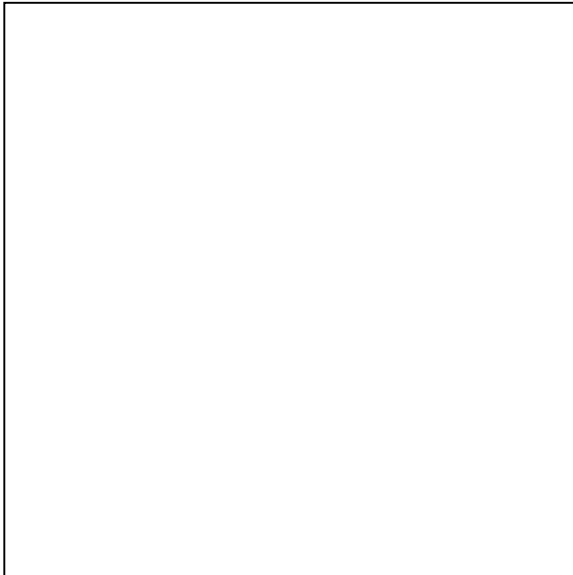
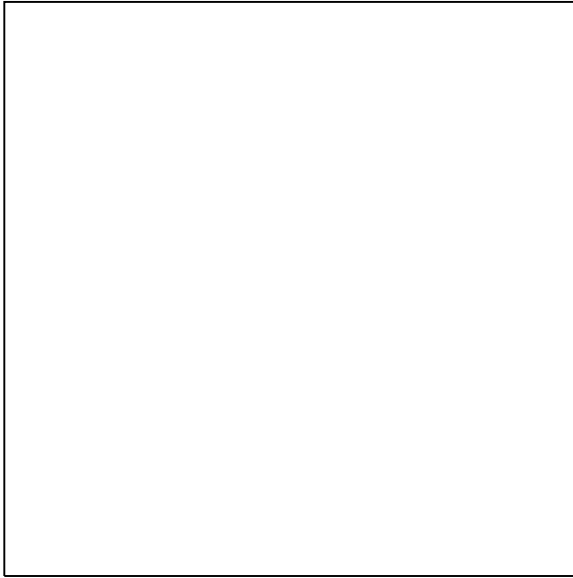
## Sec. 27-97. - DVO, Dunwoody Village Overlay.

- (a) *Purpose and intent.* The Dunwoody Village Overlay district is primarily intended to implement the policies and objectives of the comprehensive plan and the Dunwoody Village master plan. It is further intended to help:
  - (1) Maintain and enhance the identity and image of the Dunwoody Village area;
  - (2) Accommodate and promote walkable, development patterns containing a complementary mix of land uses;
  - (3) Create new opportunities for public open spaces and gathering spaces in the commercial core of Dunwoody;
  - (4) Ensure that new development and substantial additions to existing buildings are compatible with the pre-1900 Mid Atlantic American Colonial Architecture that is characteristic of the district;
  - (5) Support efforts to create a vibrant shopping and entertainment area in which merchants and businesses thrive and grow, thereby helping to maintain property values and keeping vacancy rates low; and
  - (6) Maintain and enhance the area's role as a place for civic activities and public gatherings within well-designed open spaces.
- (b) *Redevelopment.* The city council anticipates that in the future a developer may desire to redevelop all or portions of the Dunwoody Village area, and that the type of redevelopment proposed may be difficult or impossible to carry out under the existing zoning. To accommodate and encourage large-scale redevelopment in accordance with the approved Dunwoody Village Master Plan, the city council may consider rezoning or planned development (PD) development proposals.
- (c) *Thresholds for compliance.*
  - (1) *Full compliance.* Except as otherwise expressly stated by the specific provisions of this section (section 27-97), permits for the following building and construction activities may be issued only if the entire building is determined to comply with the applicable regulations:
    - a. Construction of a new building;
    - b. Construction of building additions that result in a ten-percent or greater increase in the floor area or building coverage of the existing building;
    - c. Exterior construction or remodeling with a total value of 15 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements only; and
    - d. Interior construction or remodeling with a total value of 25 percent or more of the county tax assessor's 100 percent assessed value of the existing improvements only.

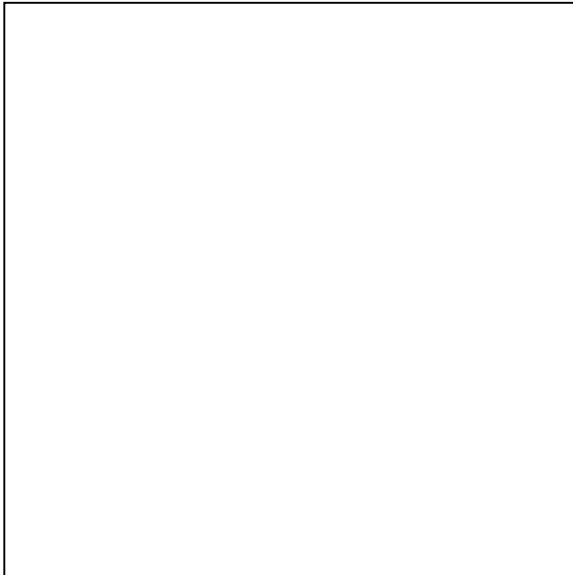
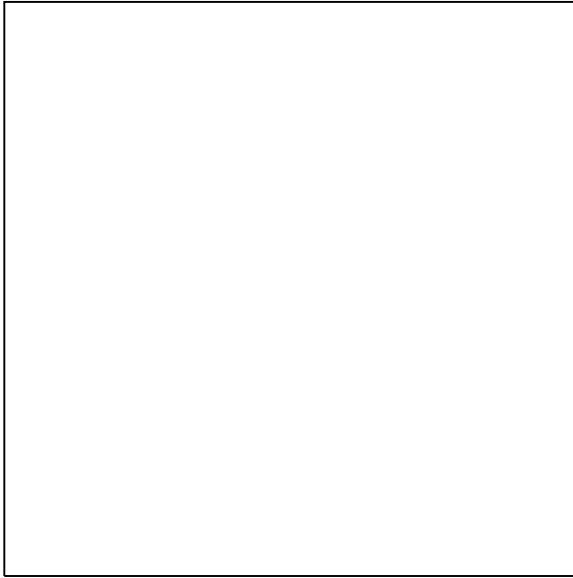
- (2) *Partial compliance.* Permits for exterior remodeling or building activities that do not trigger full compliance may be issued only if the portion of the building affected by the work is determined to be in compliance with all applicable overlay district regulations.
- (d) *Design review.* No land-disturbance permit, building permit or sign permit may be issued for buildings or construction activities that are subject to one or more of the overlay district regulations of this section until the design review process of article V, division 4, has been completed.
- (e) *Architecture and design.*
  - (1) *Exterior materials.*
    - a. Exterior cladding material must consist of stone, earth tone brick (the preferred material) or white/cream painted horizontal lap siding. Lap siding must be wood, fiber cement lap siding or other substitute approved by the design review advisory committee because of its wood-like appearance and durability. If lap siding is used, the base of the structure must have brick or stone cladding from the grade to the first floor elevation. Vertical siding, stucco, external insulating finishing system (EIFS), metal siding, metal trim, vinyl siding, vinyl trim, marble siding, marble trim, exposed concrete and block are prohibited.
    - b. Exterior siding material must be consistent and uniform on all exterior elevations. Siding material must be predominantly brick, stone or lap siding. Buildings and building additions with masonry on only street-facing facades are prohibited. Buildings and building additions with first floor masonry and second floor lap siding are prohibited.
    - c. All exposed bricks must be approximately eight inches wide by three inches deep by 2.67 inches high and must be laid in a running bond. Engineer-size bricks and Flemish bond are also allowed. All joints must be tooled with grapevine joint, and mortar must be buff or ochre in color. Stone veneers must have ochre tooled mortar joints.







- d. When lap siding is used, the maximum allowable exposure on lap siding is eight inches.
- e. Applied trim materials, cornice and window casings must consist of painted wood or painted fiber cement or other substitute material approved by the design review advisory committee because of its wood-like appearance, durability and ability to hold paint. Metal, vinyl, stucco, block stone and concrete are prohibited, except that wrought-iron handrails are permitted. Nonmasonry trim colors are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives.



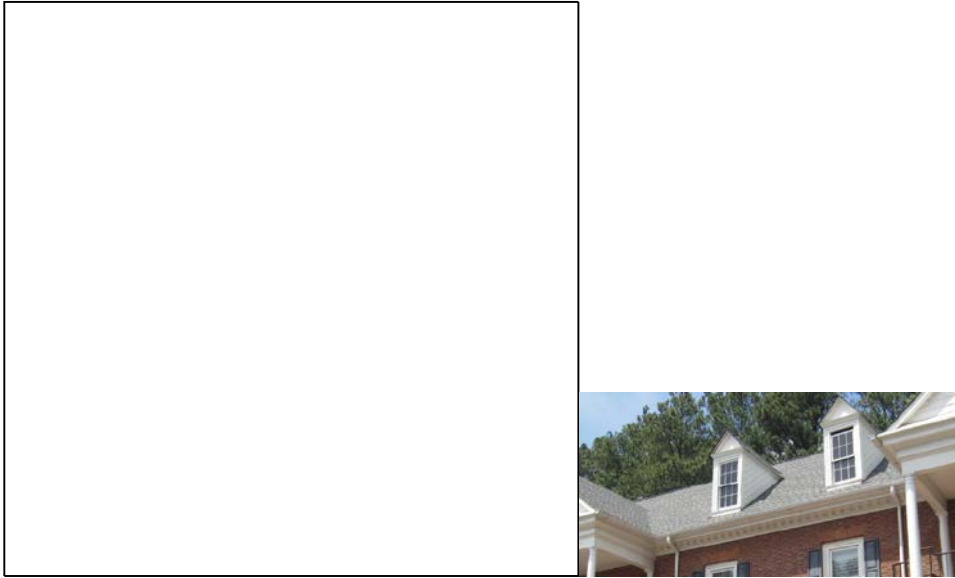
- f. Exposed portions of the foundation must be covered in masonry veneer. Exposed block, stucco and concrete are prohibited.
- (2) *Roofs.* The following requirements apply to roofs visible from public rights-of-way, outdoor activity areas (e.g., seating areas) or other areas of the site intended for public access:
  - a. Gabled roofs, hipped roofs, or combinations of such roof forms are permitted. Flat roofs and shed roofs are prohibited.



- b. Exterior roofing material is limited to asphalt (fiberglass) shingles, slate or cedar shake. Roofs must be black, a dark shade of gray or weathered wood color. All asphalt (fiberglass) shingles must be dimensional. Standing seam copper or bronze color metal roofs are permitted only as accents on porches or dormers.
- c. Roof overhangs must be at least eight inches but not greater than 12 inches. Gabled ends may have either an overhang or a flush rake.







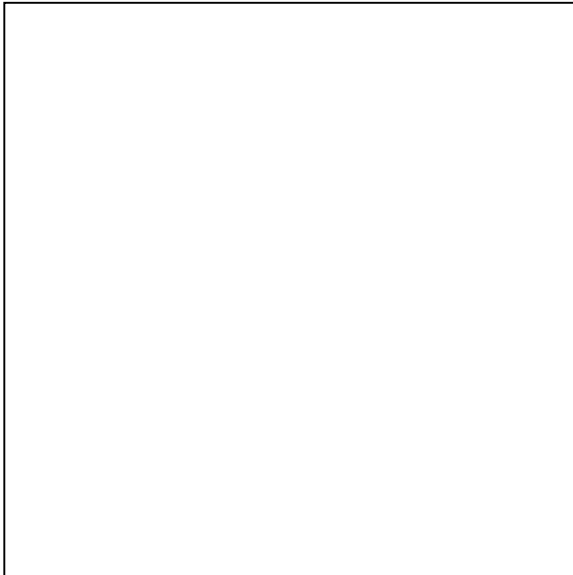
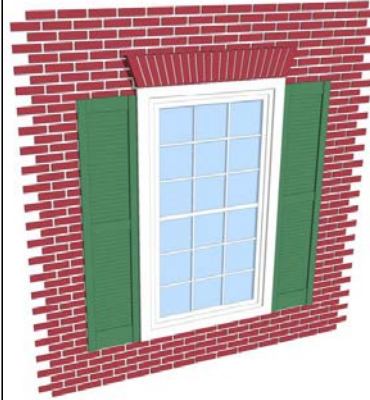
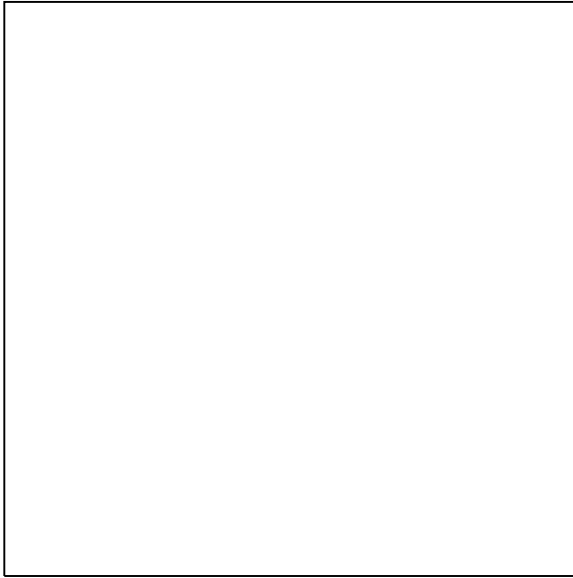
- d. Eave lines must be consistent, largely unbroken and horizontal. All eaves must be architecturally detailed with one or more of the following elements: dental molding, crown molding, built-up fascia, or frieze board. The total width of fascias/cornices and rake trim must be at least 9.25 inches.
- e. Roofs must contain at least one roof projection for every 75 lineal feet of building frontage. Roof projections may include cupolas, dormers, balustrade walks, chimneys or gables.

(3) *Building massing.*

- a. Buildings that are longer than 75 feet must be designed so as to appear as multiple structures through the use of varied roof forms, building projections or architectural details.
- b. Buildings that are longer than 100 feet must provide a pedestrian arcade or covered porch with minimum dimensions of eight feet in any direction. Exterior metal columns are prohibited. Exterior columns must include a base and a capital, and must generally align with story heights. Two-story exterior columns are prohibited. All exterior columns must be traditional in style.
- c. The apparent exterior floor-to-floor height of each story of a building may not exceed 12 feet. Individual floors must be delineated on the building facade through the use of window placement and horizontal details.



- d. Buildings must have at least one building projection on the front facade below the eave line. Building projections may consist of stoops, bay windows, covered porches, extruded entrances, pedestrian arcades or other approved features.
  - e. Primary building walls must be rectilinear and simplified in form. Curved walls or non-90-degree corners are prohibited, except that bay projections may be allowed.
- (4) *Fenestration.* The following requirements apply only to areas visible from public rights-of-way, outdoor activity areas (e.g., seating areas) or other areas of the site intended for public access:
- a. Doors must be compatible with pre-1900 Mid Atlantic American Colonial Architecture style. All-glass doors and flush doors are prohibited. Solid doors must be six-panel and may have sidelights or a transom sashes. Windowed doors must contain a solid border, a minimum of six-inch-wide panels, and must include mullions or divided lights not exceeding 12 inches in any direction. Mullions must be 0.75 inches in size. French, three-quarter glass or nine-light doors are allowed if they comply with the requirements of this paragraph.
  - b. Individual doors must be of a single color and are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives. Dark stained doors are allowed if the shade is equal to or darker than Minwax special walnut.
  - c. Primary doors may not exceed 42 inches in width and 96 inches in height. Larger doors are prohibited.
  - d. Windows must be vertically proportioned standard sizes, with a minimum width of 28 inches and minimum height of 66 inches. Transom windows are not subject to vertical proportion requirements and do not count in the overall window proportion. Vertical windows may be grouped to create storefront windows but are limited to 15-foot sections with a minimum of four-inch mulls. Group windows must be separated by at least five feet of unbroken wall space. Slit windows, strip windows, and ribbon windows are prohibited.



*Window Trim and Mullions*

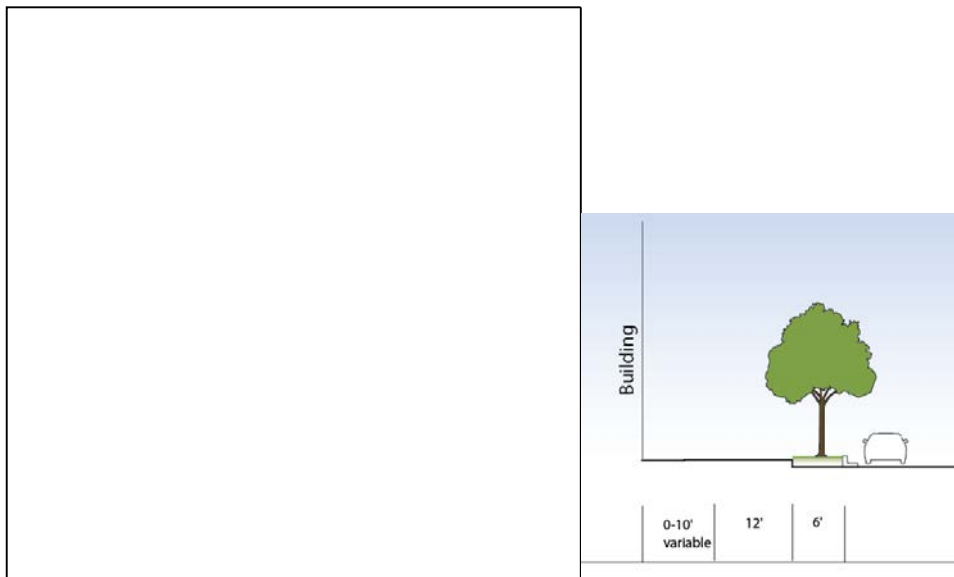


- e. Blank facades are prohibited. Windowless sections of the front facade may not exceed 20 feet in width. Windows and doors must be provided on at least ten percent of the front facade but may not constitute no more than 50 percent of the total area of the front facade. For this purpose, windows must be measured at the sash and only the swinging part of the doors may be counted. Casing is not included in the measurement. Windows must generally be spaced in an even rhythm.
- f. All windows must be rectilinear double hung, provided that arch top and fixed sash windows are allowed. Triangular or otherwise angular windows are prohibited. Round windows are permitted as accent windows in locations such as gables. Louvered gable vents are allowed, but they must be rectilinear and surrounded by one-by-four and backband.
- g. All windows must have the appearance of mullions or divided lights. Mullions must be at least 0.75 inches in width. Panes must be vertical rectilinear, generally square in proportion. Diagonal panes are not permitted except in arch windows.



- h. Shutters must be constructed of wood or a substitute material approved by the design review advisory committee because of its wood-like appearance and durability. Shutters must be sized to fit the window and include horizontal slats or raised panels. Metal and vinyl shutters are prohibited. Shutter colors are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives. Shutters must appear operable, with hinges and tie backs.
  - i. All windows must have sill and header trim details. Cut brick jack arches must be installed on all windows visible from the street or parking lot.
  - j. The bottom of windows must be at least 20 inches above grade.
- (f) *Signs.* All signs within the Dunwoody Village Overlay district are subject to the requirements of the city's sign ordinance and the following additional regulations:
- (1) Signs must be designed and constructed to be compatible with the architectural style that is characteristic of the Dunwoody Village Overlay district area.
  - (2) Ground signs must be monument-style signs with a brick base.
  - (3) For lots containing nine or fewer storefronts, ground signs may not exceed eight feet in height and eight feet in width.
  - (4) For lots containing ten or more storefronts, ground signs may not exceed 12 feet in height and eight feet in width.
  - (5) Window signs may not exceed two square feet in area.
  - (6) Banners are prohibited except for pole banners as permitted in chapter 26 of the Municipal Code.
  - (7) Signs must have a matte finish and be constructed of wood or other substitute material approved by the design review advisory committee because of its wood-like appearance and durability.
  - (8) Sign colors, except for logos, are limited to colors available in the Martin Senour Williamsburg Paint Collection or similar approved alternatives.
  - (9) All illuminated signs must be indirectly illuminated or halo lighted.
  - (10) Neon, gas, colored, flashing, animated, marquee, sound emitting, fluorescent, rotating or otherwise moving signs are prohibited. This prohibition notwithstanding, a single LED or neon sign up to two square feet in area is allowed, provided that the sign does not employ any flashing, animation, movement or sound and provided that the sign may be illuminated only during hours in which the establishment is open for business.
  - (11) Sign shape and lettering is limited as follows:
    - a. Sign facing must be flat in profile and may not exceed eight inches in thickness.
    - b. Signs with more than two faces are prohibited.
    - c. Sign lettering and logo content may not exceed 18 inches in height.
  - (12) Standard informational signs:
    - a. May not be more than three feet above grade;
    - b. May not exceed six square feet in area;
    - c. May not have more than two sign faces;
    - d. May not be made from flexible materials, such as vinyl, cloth or paper;
    - e. Must be free-standing and not attached to permanent or temporary structures;
    - f. Must comply with the color standards of the district; and

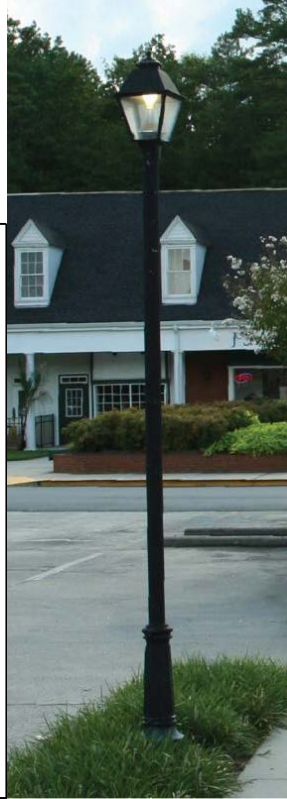
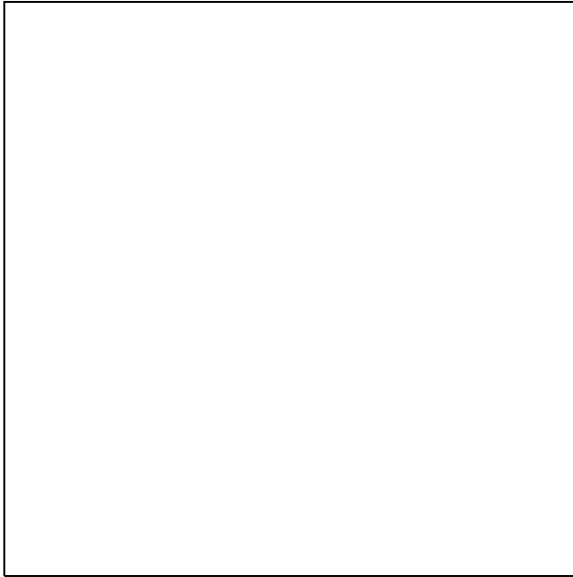
- g. Must be maintained in good repair.
- (g) *Parking and circulation.* The parking and circulation regulations of article IV, division 4, apply within the Dunwoody Village Overlay district except as modified by the following regulations:
  - (1) New nonresidential buildings and nonresidential uses and additions to existing nonresidential buildings and nonresidential uses may not provide more than three parking spaces per 1,000 square feet of floor area. This provision does not require that existing "excess" parking spaces be removed.
  - (2) Parking areas must be separated from the main road by a minimum distance of 30 feet and include at least the landscaping required by section 27-229. Wherever possible, parking must be confined to the rear of structures or be placed underground.
- (h) *Landscaping.* The landscaping and screening regulations of article IV, division 2, apply within the Dunwoody Village Overlay district. See also subsection (i).
- (i) *Streetscape and pedestrian amenities.*
  - (1) A minimum six-foot wide landscape area must be established abutting the back of the curb along abutting streets. This landscape area must adjoin a minimum 12-foot wide sidewalk. Buildings must abut the sidewalk or be located within ten feet of the sidewalk. If buildings are set back from the edge of the required 12-foot sidewalk, the setback area must include features such as outdoor dining and seating areas, plazas and landscaped open spaces that provide a safe, comfortable and active environment for pedestrians.



- (2) Street trees, spaced no more than 50 feet on center, must be provided in the required landscape area between the travel lanes and the sidewalk.
  - a. Maintenance of trees is the full responsibility of the owner of the adjacent site or the owner of the property on which the tree is located if it is located on private property.
  - b. Trees species must be selected from the city's approved street tree list, which is available in the community development department; alternative cultivars may be approved on a case-by-case basis with the approval of the city arborist.
  - c. Trees must be at least 2.5-inch caliper and at least eight feet in height at the time of planting. As street trees mature, they must be trimmed as necessary to provide a minimum vertical clearance of seven feet above the sidewalk.

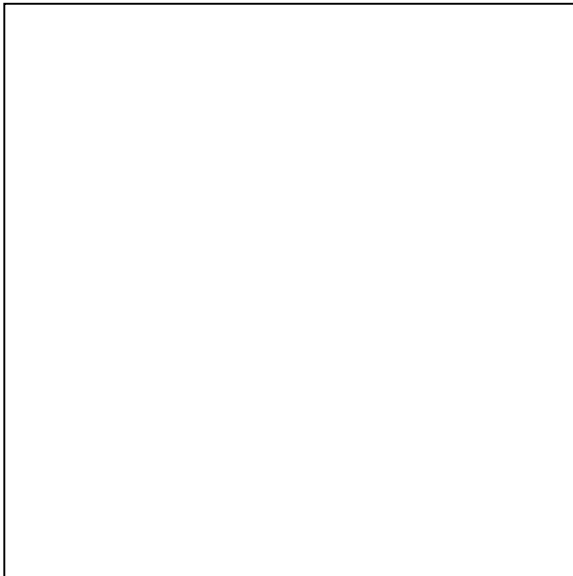
- (3) Pedestrian buffer zones with a minimum width of ten feet must be provided abutting the sides and rear of all buildings. These areas provide a buffer between buildings and parking and service areas. The pedestrian buffer zones must contain walkways, planting areas, plazas, and similar pedestrian-oriented landscaped spaces. All pedestrian walkways within buffer zones must be at least six feet in width and finished with brick pavers or other approved accents or designs.
- (4) The front entrance of all buildings must be easily and safely accessible to pedestrians from the public sidewalk through a combination of pedestrian walkways and crosswalks. All entrances to crosswalks and sidewalks must include wheelchair ramps, per code.
- (5) Covered sidewalks that are a part of the building and that are located within the buildable area of the lot are encouraged. Such covered sidewalks may be used for outdoor seating and dining, and as terraces and arcades.
- (6) In multi-tenant retail buildings, a continuous, unimpeded walkway must be provided to connect all business entrances.
- (7) Sidewalks must conform to the following:
  - a. Sidewalks must be paved using concrete or alternative pervious material as approved by city staff.
  - b. Where a sidewalk exists conforming to the standards of this ordinance except for the width, the developer must supplement the existing sidewalk width, adding width to create a 12-foot sidewalk.
  - c. Streetscaping performed as a function of city-initiated redevelopment must provide a landscape area at least six feet in depth.
- (8) Lighting must conform to the following:
  - a. Pedestrian and street lighting must be placed in the landscape zone at intervals of 90 to 100 feet on center and must be equal distance from required street trees, in accordance with the Georgia Power Area-Wide Pedestrian Lighting Plan.
  - b. Pole height may not exceed 15 feet.
  - c. Streetlights must be "Generation ARC" by Cooper, 150 watt from Georgia Power. Light poles must be "Grandville" by Hapco from Georgia Power.
  - d. Poles and fixtures must be dark green in color.





(9) Furniture must be provided as follows:

- a. Benches and trash and recycling receptacles must be installed every 250 feet along the public street and at each building entrance adjacent to a pedestrian walkway.
- b. Benches must be Victor Stanley Classic Model c-138 series. Bench colors must be natural wood stain, with dark green.



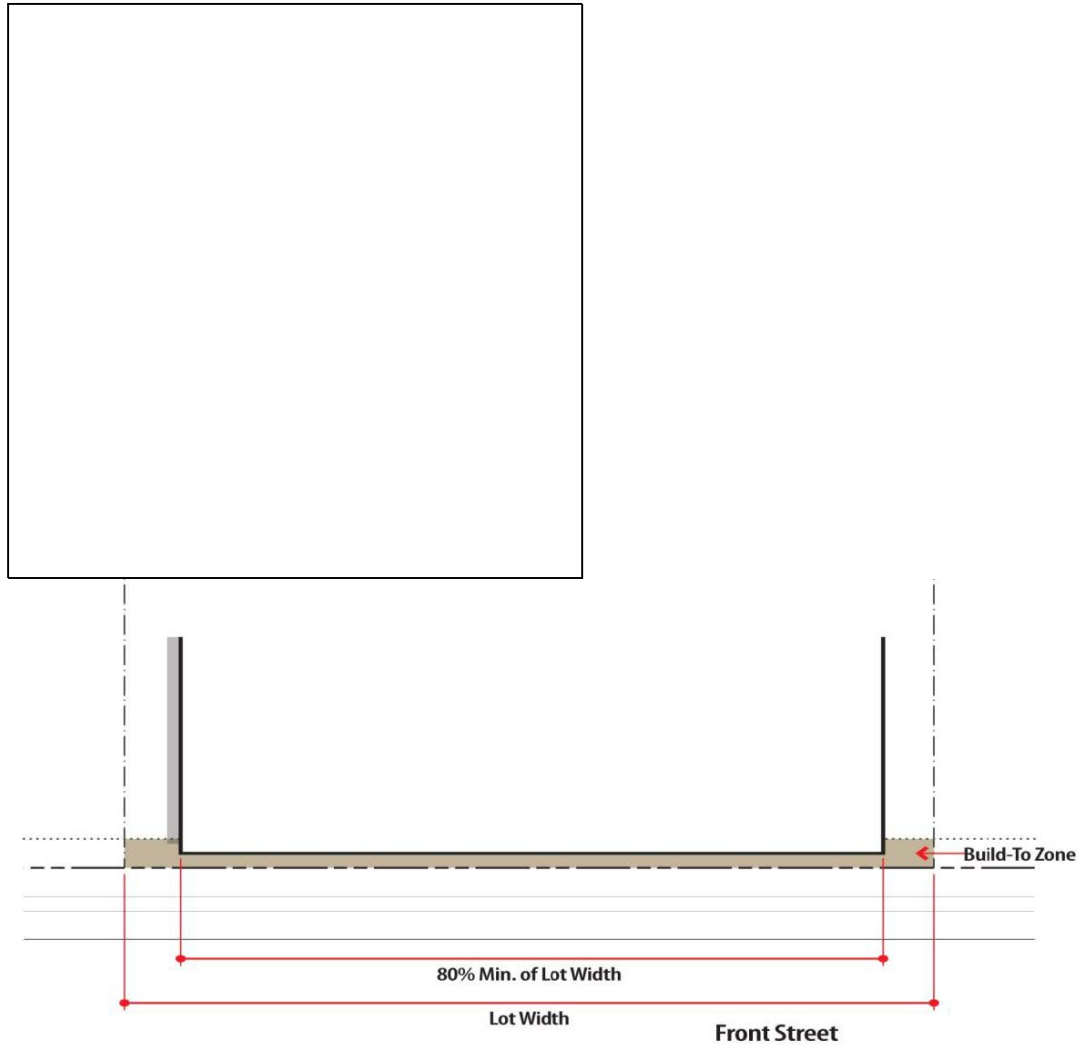
- c. Trash and recycling receptacles must be Victor Stanley Concourse series and must be firmly anchored to the ground.

- (1) Maintenance of trash and recycling receptacles, including servicing, repair, and replacement, is the full responsibility of the nearest adjacent property owner.
  - (2) Recycling receptacles must be clearly identified with symbols and/or text indicating its intended use for recyclables.
- (j) *Public areas, service areas and retaining walls.*
- (1) Public plazas and outdoor dining areas must be easily accessible to pedestrians and provide protection from vehicular traffic by means of their location and design.
  - (2) All dumpsters and other building service areas must be concealed from view of public rights-of-way, publicly accessible areas of the site and residential zoning districts. All dumpsters must be concealed with secured gates screening in accordance with section 27-231
  - (3) Retaining walls must comply with the city building code. Visible areas of retaining wall must be covered with the face brick or stone of the downhill neighbor with a roll lock at the top. Horizontal wall expanses exceeding 20 feet must include offset pilasters with the same brick or stone rising three courses above the top of the adjoining wall and finished with a double course capital of the same brick or stone.
  - (4) All utilities must be placed underground.
- (k) *Village core area.* The village core area form and design regulations of this subsection apply within designated village core area of the DV-O district to all new buildings. The regulations also apply to renovations of and additions to existing buildings within the village core area that result in an increase of 50 percent or more in the building' gross floor area. These requirements govern in the event of conflict with other DV-O district regulations.
- (1) *Build-to-zone.*
    - a. The build-to zone is the area on the lot where a certain percentage of the front building facade must be located, measured as a minimum and maximum yard (setback) range from the edge of the right-of-way. The requirements are as follows:

Build-to-Zone	
Minimum/maximum (feet)	0/10
Minimum percent of building in build-to-zone (percent)	80
Parking Setback	
Minimum (feet)	30

- b. The required percentage specifies the amount of the front building facade that must be located in the build-to zone, based on the width of the front building facade divided by the width of the lot.

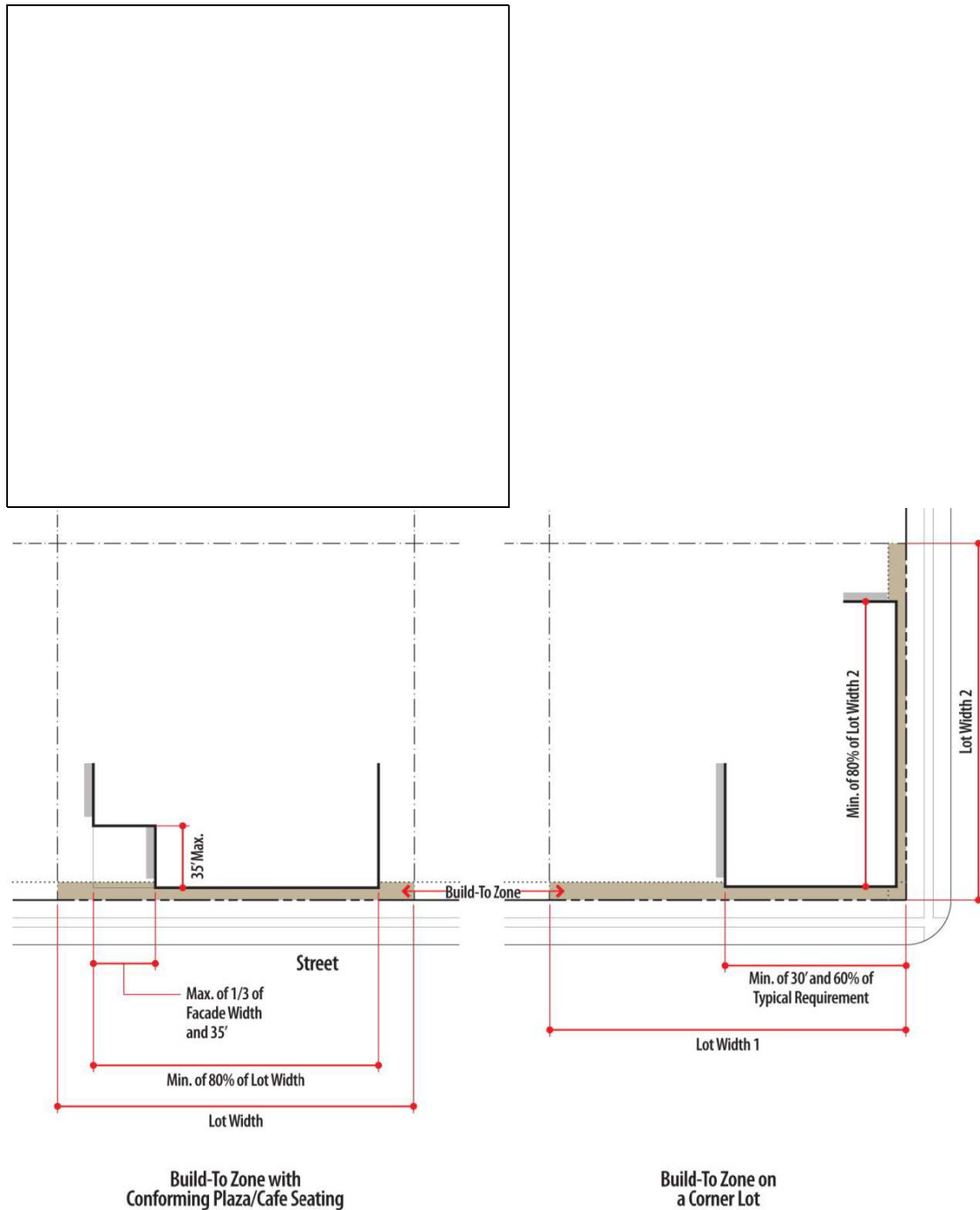
**Figure 7-1: Build-to-Zone (BTZ)**



- c. Outdoor open space, plazas and outdoor dining areas are counted as part of the building for the purpose of measuring compliance with build-to zone requirements, provided that:
1. The area does not exceed one-third the length of the building face or 35 feet, whichever is less; and
  2. The area is no more than 35 feet in depth (see Figure 7-2).

***Figure 7-2: BTZ with allowed plaza (left) and BTZ on corner lot (right)***





- d. On corner lots, minimum requirements governing the percent of building facade that must be located in the build-to-zone may be reduced by 60 percent along one of the frontages, at the property owner's option, provided that a building facade must be placed in the build-to zone for the first 30 feet along each street extending from the corner (the intersection of the build-to-zones) (see Figure 7-2).

(2) *Transparency.*

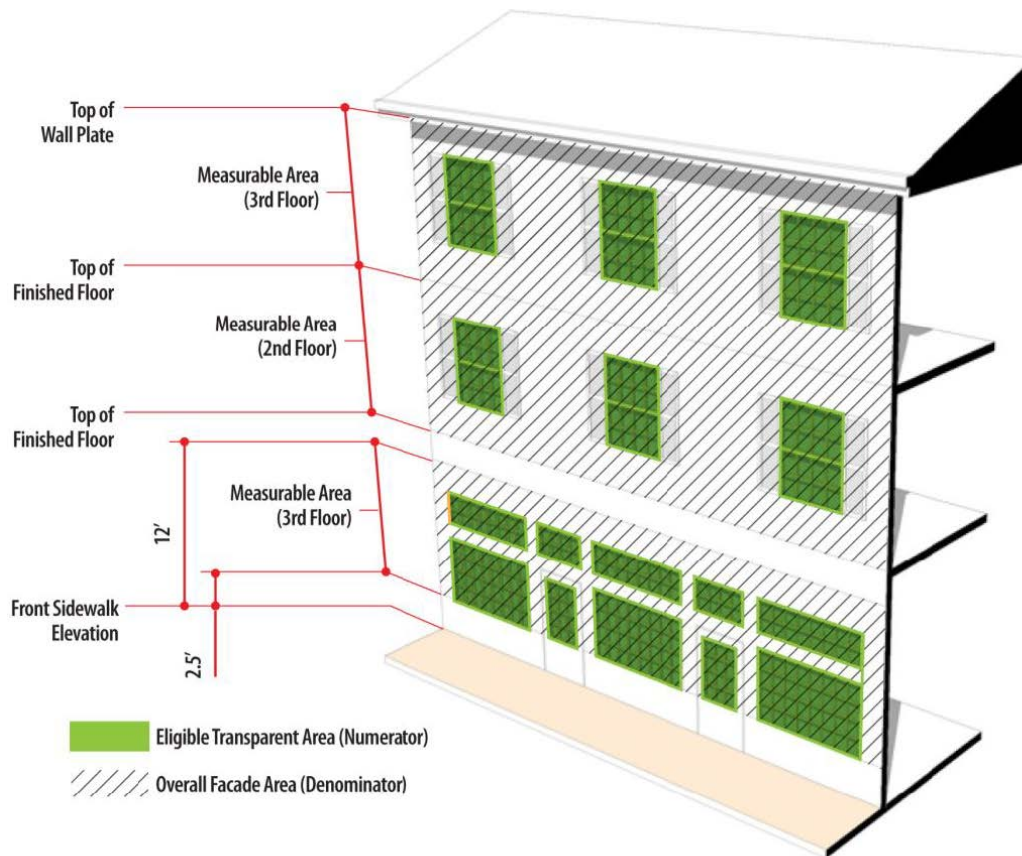
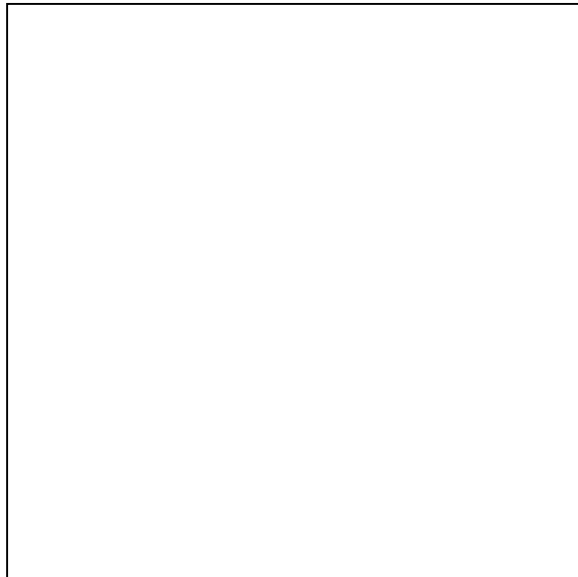
#6.

- a. Transparency regulations govern the percentage of a street-facing building facade that must be covered by glazing (e.g., transparent windows and doors). The minimum requirements are as follows:

Transparency	
Minimum ground story (%)	65
Minimum upper story (%)	20

- b. The transparency of a ground story facade is measured between 2.5 and 12 feet above the adjacent sidewalk.
- c. The transparency of an upper-story facade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper-story transparency is measured from the top of the finished floor to the top of the wall plate (see Figure 7-3).

***Figure 7-3: Transparency Measurements***



- d. Glazed element must be clear and non-reflective and not be painted or tinted, provided that low-emission (Low-E) glass coatings are permitted.

(3) *Blank wall area.*



- a. Blank walls are areas on the exterior facade of a building that do not include a substantial material change; windows or doors; columns, pilasters or other articulation greater than 12 inches in depth. Blank wall limits are established as follows:

Maximum blank wall length (feet)	20
----------------------------------	----

- b. Blank wall area regulations apply in both a vertical and horizontal direction.
- (4) *Street-facing building entrances.* At least one street-facing building entrance must be provided on all principal buildings. The building entrance must provide ingress and egress for residents and customers. Additional entrances off another street, pedestrian area or internal parking area are also permitted.
- (l) *Modifications and adjustments.* The regulations of subsections (e) through (k) may be modified only if reviewed and approved in accordance with the special land use permit procedures of article V, division 3.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-7.20), 10-14-2013)

Secs. 27-98—27-110. - Reserved.

# SPECIAL LAND USE PERMIT APPLICATION

Community  
Development  
**Dunwoody**  
Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346  
Phone: (678) 382-6800 | Fax: (770) 396-4828

## \* Applicant Information:

Company Name: CIVIC CENTER PARTNERS  
Contact Name: DAVID SARGENT  
Address: 101 PROSPECT AVE. SANALITO, CA 94965  
Phone: 415-332-3592 Fax: 888-447-0456 Email: DCSARG@AOL.COM  
Pre-application conference date (required): \_\_\_\_\_

## \* Owner Information: ☒ Check here if same as applicant

Owner's Name: \_\_\_\_\_  
Owner's Address: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

## \* Property Information:

Property Address: 1441 DUNWOODY VILLAGE PKWY Parcel ID: \_\_\_\_\_  
Zoning Classification: OFFICE BUILDING, EXISTING  
Requested Use of the Property: SAME

## \* Applicant Affidavit:

I hereby certify that to the best of my knowledge, this special land use application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name: KRISTEN WARE, AIA GA ARCHITECT #9982  
Applicant's Signature: Kristen Ware Date: 01-21-15

## \* Notary:

Sworn to and subscribed before me this January Day of 26, 2015  
Notary Public: \_\_\_\_\_  
Signature: [Signature] Cynthia Frazier  
My Commission Expires: \_\_\_\_\_ Notary Public, Newton County, Georgia  
My Commission Expires Nov. 27, 2016

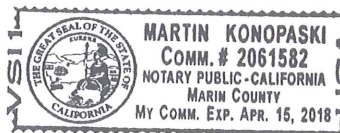
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Property Owner's Name: Civic Center Partners LTD  
Property Owner's Signature: David Sargent Date: 1/21/15

## \* Notary:

Sworn to and subscribed before me this 21st Day of Jan, 2015  
Notary Public: Martin Konopaski  
Signature: [Signature]  
My Commission Expires: April 15, 2018



# Additional Property Owner(s) Notarized Certification

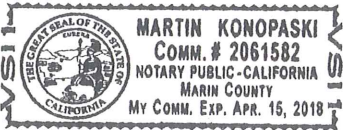
# Dunwoody

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41 Perimeter Center East | Dunwoody, GA 30346  
Phone: (678) 382-6800 | Fax: (770) 396-4828

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\* Property Owner (If Applicable): Civic Center Partners, LTD

Owner Name: <u>David Sargent</u> , <u>Partner</u>	
Signature: _____	Date: _____
Address: <u>101 Prospect Ave. Sausalito, Ca 94965</u>	
Phone: <u>415 332 3592</u>	Fax: <u>888 447 0456</u> Email: <u>DCSARG@AOL.COM</u>
Sworn to and subscribed before me this <u>19th</u> Day of <u>Jan</u> , 20 <u>15</u>	
Notary Public: <u>KA</u>	

\* Property Owner (If Applicable): Civic Center Partners, LTD

Owner Name: <u>Toby Rosenblatt</u> , <u>Partner</u>	
Signature: _____	Date: _____
Address: <u>220 Halleck St. Ste 125, SF. CA 94129</u>	
Phone: <u>415 921 2416</u>	Fax: _____ Email: <u>tr2sf@msn.com</u>
Sworn to and subscribed before me this _____ Day of _____, 20 _____	
Notary Public: _____	

\* Property Owner (If Applicable):

Owner Name: _____	
Signature: _____	Date: _____
Address: _____	
Phone: _____	Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20 _____	
Notary Public: _____	



**Additional Property  
Owner(s)  
Notarized Certification**

**Dunwoody**  
Smart people - Smart city

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Phone: (678) 382-6800 | Fax: (770) 396-4828

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\* Property Owner (If Applicable): Elvick Center Partners, LTD

Owner Name: David Sargent, Partner

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address: 101 Prospect Ave. Sausalito, Ca 94965

Phone: 415 332 3592 Fax: 888 447 0456 Email: DCSARG@AOL.COM

Sworn to and subscribed before me this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

Notary Public:

\* Property Owner (If Applicable): Elvick Center Partners, LTD

Owner Name: Toby Rosenblatt, Partner

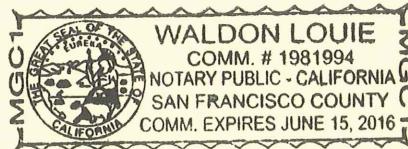
Signature: Toby Rosenblatt Date: January 19, 2015

Address: 220 Halleck St. Ste 125, SF. CA 04129

Phone: 415 921 2416 Fax: \_\_\_\_\_ Email: tr2sf@msn.com

Sworn to and subscribed before me this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

Notary Public: (SEE BELOW)



\* Property Owner (If Applicable):

Owner Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

Notary Public:

State of California

County of San Francisco

Subscribed and sworn to before me on this

19 day of JANUARY, 2015 by

TOBY ROSENBLATT

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me. Waldon Louie

**NOTARY PUBLIC**

# Campaign Disclosure Statement

# Dunwoody

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41 Perimeter Center East | Dunwoody, GA 30346

Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?

☐ YES ☒ NO

\* Applicant / Owner: Civic Center Partners LTD. Tony Rosenblatt, Partner  
 Signature: *Tony Rosenblatt* Date: January 20, 2015  
 Address: 220 Hallett St. Suite 125 SE Ga 304129

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

# Campaign Disclosure Statement

**Dunwoody**  
Smart people - Smart city

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☐ YES ☒ NO

\* Applicant / Owner: *Civic Center Partners, LTD* *David Sargent* *Partner*  
Signature: *[Signature]* Date: *1/18/15*  
Address: *101 Prospect Ave, Sausalito, CA 94965*

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount



## Campaign Disclosure Statement



41 Perimeter Center East | Dunwoody, GA 30346  
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission? ☐ YES ☒ NO

\* Applicant / Owner: KRISTEN WARE, AIA

Signature: Kristen A. Ware Date: 01-21-15  
Address: 5325 GLENRIDGE DR. STE 101H, BLDG 3 ATLANTA, GA 30328

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount



**Ware + Associates**  
 Architecture + Interior Design  
 5825 Glenridge Drive, Suite 101H  
 Atlanta, GA 30328  
 404-816-9122

March 24, 2015

**Special Land Use Permit Application Letter**  
**For**  
**1441 Dunwoody Village Parkway**  
**Dunwoody, GA**

To the City of Dunwoody;

Taking into consideration the thoughts and comments made by the Council at the hearing on March 10, I have compiled some additional information for your review.

Purchase Information

The property was purchased by the current Design-Builder on 9.6.2007 for \$2,350,000.00.

Additional Cost Information

In order to better evaluate the percentage of allowed construction, I have divided the amount of money spent on the upper floor construction into work related to Code upgrades or repairs versus work done specifically for the Tenant and not required. I offer this information to give you a better idea of how much building repairs/code upgrades alone could use up the 25% allowed construction work. **Please remember that this construction is only for one floor of the building and these numbers would double if the lower floor undergoes renovation.**

The total cost of the construction performed was \$119,750.87. The Assessed value of the building is \$482,900.

**The Code related work was as follows:**

Upgrading restrooms to meet code

Plumbing demolition	\$1,120.00
New Counter	\$700.00
New partitions	\$3,400.00
New finishes	\$2,394.00 + \$952.00
New plumbing fixtures	\$3,000.00
ADA fixtures	\$500.00
Hi-LO Drinking Fountain	\$1,600.00
Grab bars	\$200.00
New exhaust Fan	\$360.00

Electrical upgrades/repairs

Dedicated outlets	\$1,500.00
Rewire/Clean-up circuits	\$2,200.00
Exit/Emergency lights	\$1,176.00

Mechanical upgrades/repairs


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March 24, 2015

Repair, seal, test and balance	\$6,800.00
<u>Misc</u>	
Fire Extinguishers	\$528.00
Permit	\$3,000.00
Sheetrock above ceiling	\$2,921.82 (inspector required)
ADA Ramp	\$6,250.00 (inspector required)
Occupant Sensor Switches	\$2,304.00 (inspector required)
Occupant Sensor Mount	\$2,289.00 (inspector required)
Lever Hardware	\$2,760.00

**Total 1<sup>st</sup> floor Code Related work \$45,954.82 or 10% of Building Assessed Value**

**1<sup>st</sup> floor Non-Code Related Work \$73,796.05 or 15% of Building Assessed Value**

**Based on this breakdown, I estimate the Total work needing to be done to encourage new occupants to move into this building to be at least 50% of the building's assessed value. Non-code related work would be at least 30%.**

Overlay District Requirement's that can be met

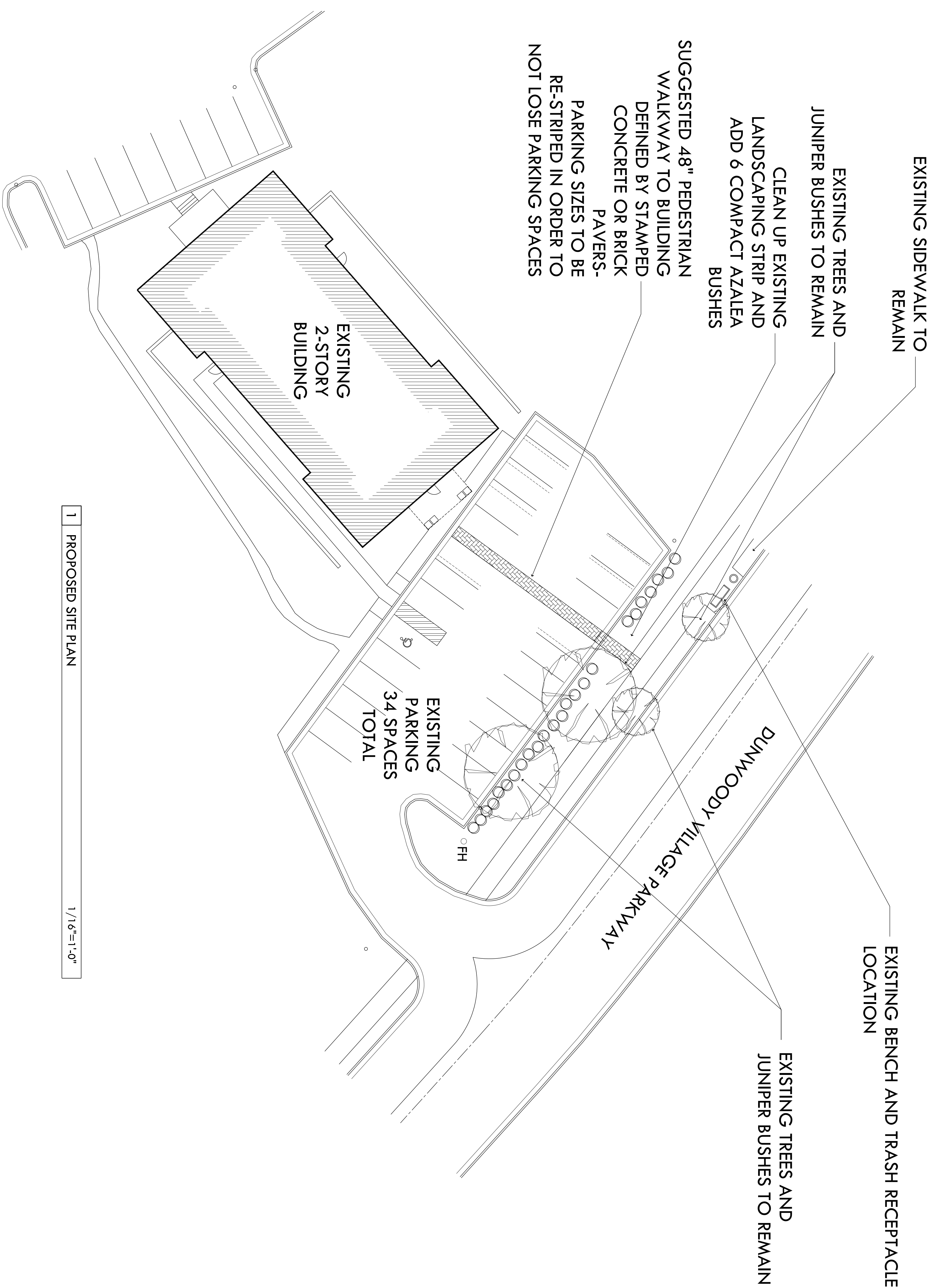
As discussed at the Council meeting, the building Owner is willing to make some additions to the existing pedestrian zone that are in keeping with the requirements of the Overlay District in exchange for a higher percentage of construction allowed to be done inside the building. Attached is a drawing that illustrates our recommendations. These additions would include a defined walkway from the pedestrian zone to the front door of the building, and the addition of 6 small, ornamental shrubs such as azaleas in the existing landscape strip. We have not included the addition of width to the existing sidewalk as there are conduit lines that would be covered up. We have not included the addition of a bench and trash can as there is already one there. See attached proposed site plan.

Please let me know if you have any additional questions, or need additional information regarding the above. Thank you again for your thoughtful consideration of our request and our recommendations.

Sincerely,

Kristen A. Ware, AIA

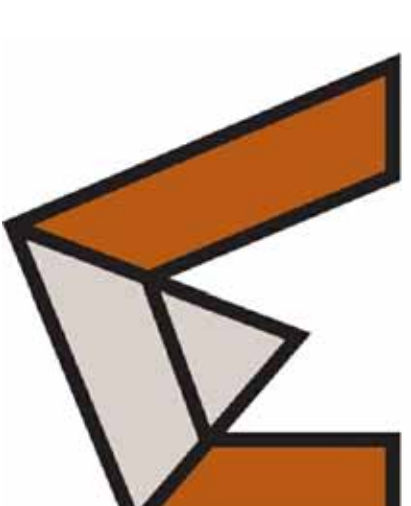




1	PROPOSED SITE PLAN
---	--------------------

1/16"=1'-0"

**WARE+ASSOCIATES**  
GLENRIDGE 400  
5825 GLENRIDGE DRIVE  
BUILDING 3, SUITE 101-H  
ATLANTA, GA 30328  
**PHONE 404.816.9122**  
**WWW.WAREASSOC.COM**

**WARE+ASSOCIATES**

**PROJECT:**

1441 DUNWOODY  
VILLAGE PKWY

**ADDRESS**

1441 DUNWOODY VILLAGE PKWY  
DUNWOODY, GA 30338

$\Delta \text{NO}_2$	DATE:	ISSUE DESCRIPTION:
03.25.15		ISSUED FOR REVIEW

-163-

SEAL:

**SHEET TITLE**

## SITE PLAN

SCALE:

AS NOTED

DRAWN B

KAW

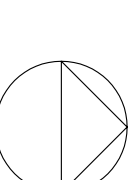
**CHECKED**

DSW

**PROJECT NO.**

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ARE THE PROPERTY OF WARE +  
ASSOCIATES AND MAY BE USED OR  
REPRODUCED ONLY WITH THE WRITTEN  
PERMISSION OF WARE + ASSOCIATES

**PROJECT NORTH:**

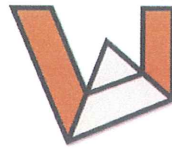


SHEET NO.:

U

ISSUED-FOR-REVIEW

WARE+ASSOCIATES



**Ware + Associates**

Architecture + Interior Design  
5825 Glenridge Drive, Suite 101H  
Atlanta, GA 30328  
404-816-9122

January 23, 2015

**Special Land Use Permit Application Letter**  
**For**  
**1441 Dunwoody Village Parkway**  
**Dunwoody, GA**

To the City of Dunwoody;

My client, Civic Center Partners, Ltd, would like to apply for a Special Land Use Permit for their building located at 1441 Dunwoody Village Parkway. This building is existing and contains approximately **11,000** SF within 2 floors. The upper floor was recently renovated and is occupied by a law firm. The lower floor is currently vacant and consists of 2 old suites with a corridor in-between. The lower floor also needs to be renovated for both aesthetic and code reasons in order to accommodate any new tenants. It is currently un-leasable due to the condition of the layout and finishes. My client would like to renovate this floor in order to rent it; however, this building is in an overlay zoning district, and the cost of the upper floor renovations has already breached 25% of the county tax assessor's 100 percent assessed value of the existing improvements. According to the Zoning Ordinance, renovating the lower floor would require the building to be in *full compliance* with the overlay zoning requirements. In order to be in *full compliance per* Sec. 27-97 © 1, the building would have to be enlarged toward the street frontage or torn down and re-built closer to the street and the current parking area relocated to the back of the building. Either of these options would be cost-prohibitive for my client, and enlarging the building would mean losing all parking associated with the property.

The County Tax Assessor's value of the property is \$907,900 with \$482,900 being the value of the building and \$425,000 being the value of the land. The renovation of the interior for the upper floor law offices that took place in 2014 totaled \$126,871.21. All of the roof shingles were also recently replaced at a value of \$30,000.

Currently the mortgage on the property is \$1,400,000. The monthly expenses include a loan payment of \$10,000 and miscellaneous building expenses of \$4,000. The only income is from the upper floor at \$7,000 per month. My client needs to rent the lower floor as soon as possible to pay the current expenses. They have already had to turn away potential tenants due to the fact that the lower floor cannot be renovated and the Special Land Use Permit and building permit process is so long.

The current property exterior is in good condition and the building is consistent with the appearance standards of Dunwoody. Continued vacancy within the building will only be a detriment to the neighborhood.

We believe that My Client is in a position of hardship as they are not being allowed to market and renovate the building to attract the tenants that they need to make ownership of this building financially feasible. And so, we are requesting a Special Land Use Permit to allow the renovation of the lower floor of the building in order to accommodate new tenants. It is our understanding that we are requesting that the City waive the requirement for this building to come into full compliance when the total interior building renovations exceed 25% of the county tax assessor's 100 percent assessed value of the existing improvements. We are not requesting that any exterior changes be made to the building, parking, site, etc.

The streetscape in front of this building was recently changed by the City as shown in the attached photos, and includes a new sidewalk/pedestrian zone and existing full grown trees and landscaping. If desirable to the Council as part of our request, my client would be willing to expand the sidewalk area as detailed in the Overlay Zoning Requirements Sec. 27-97, (i) 7B, provide new landscaping in the buffer zone per Sec. 27-97, (h), and a new bench and trash can in the pedestrian zone per Sec. 27-97, (i) 9.

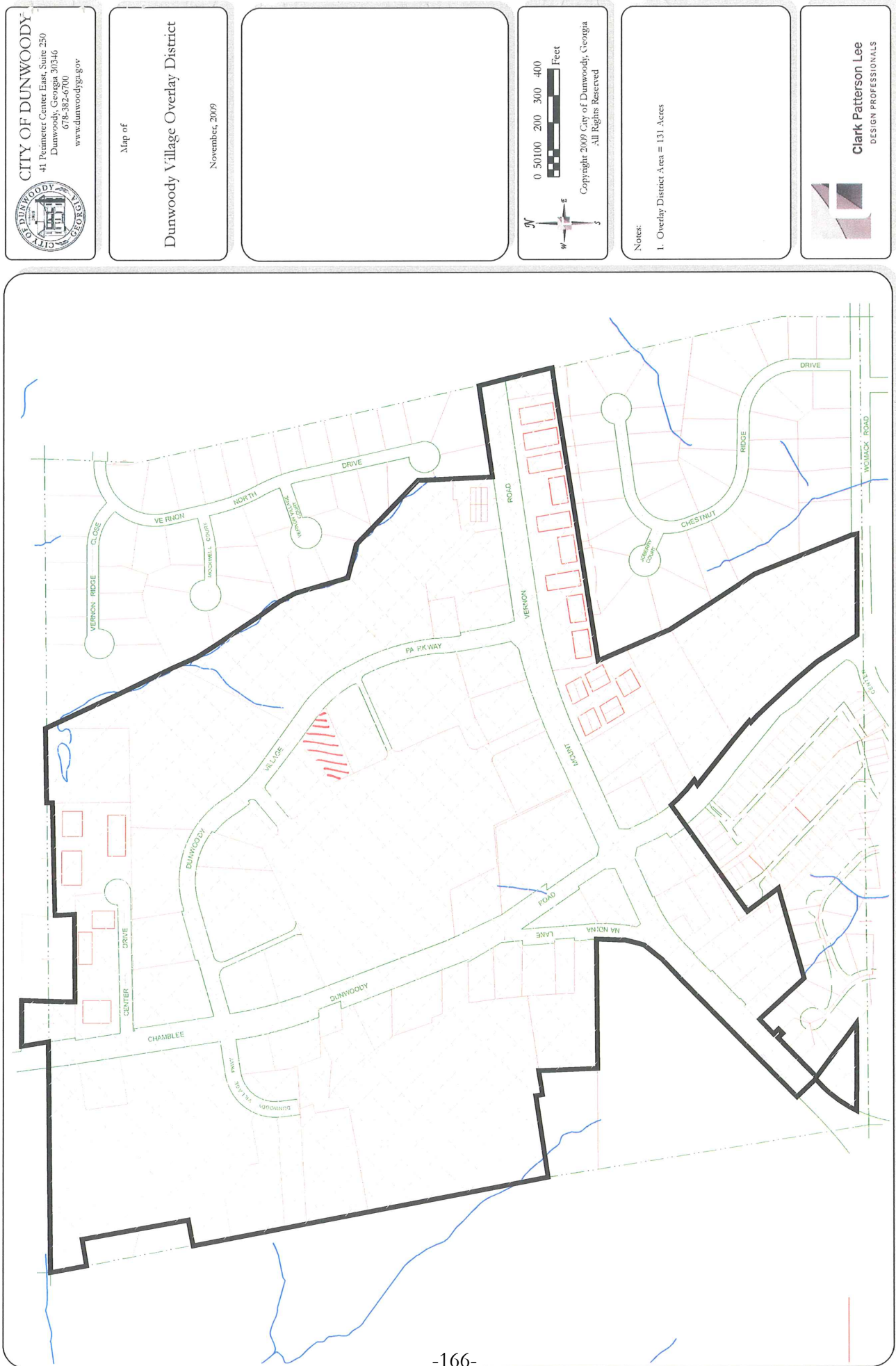
Your thoughtful consideration of my Client's hardship is greatly appreciated. Please let me know if you have any additional questions, or need additional information regarding this property. Thank you for your consideration of our request.

Sincerely,

A handwritten signature in cursive script that reads "Kristen A. Ware".

Kristen A. Ware, AIA

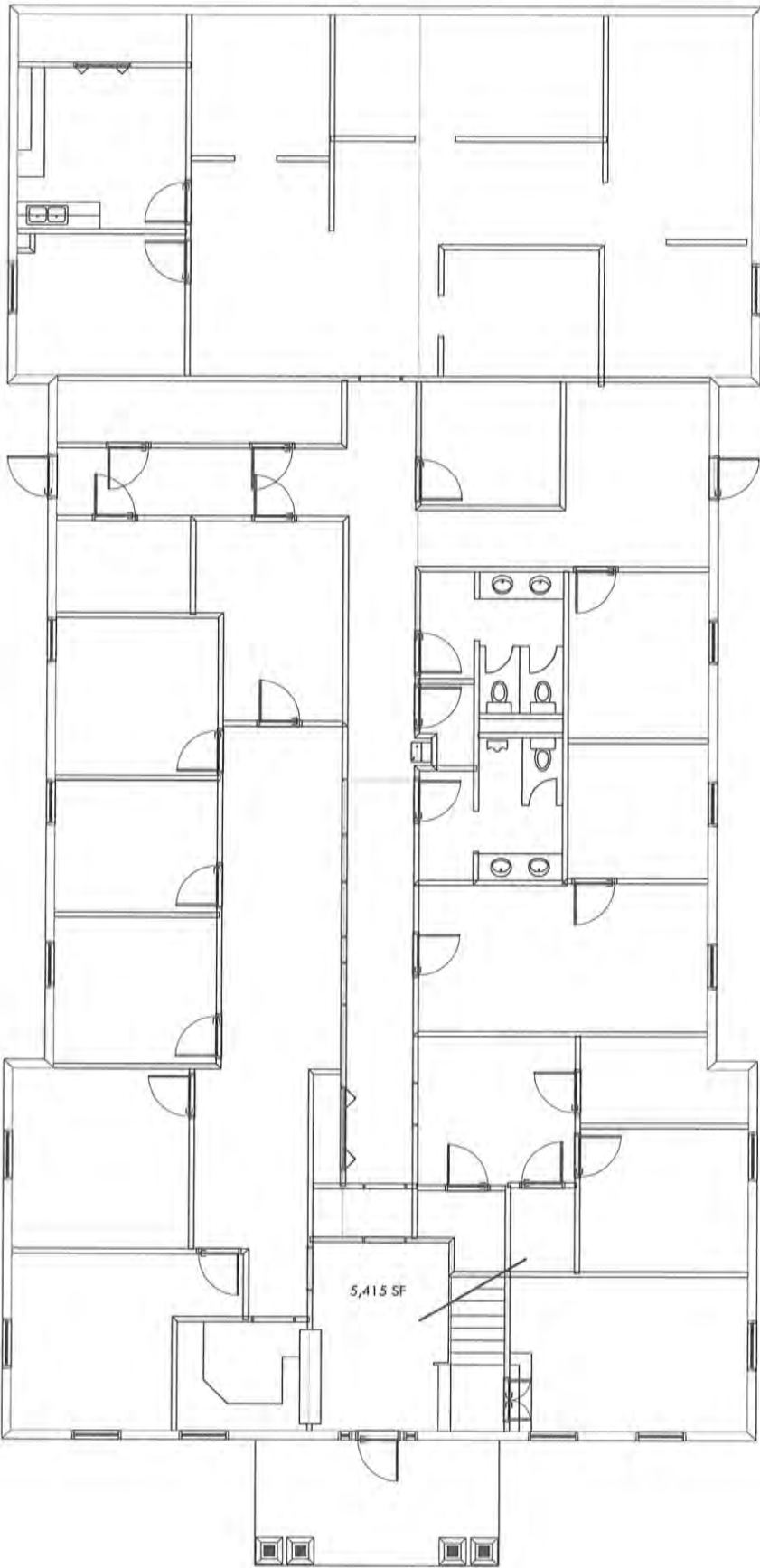








#6.







**Ware + Associates**  
Architecture + Interior Design  
5825 Glenridge Drive, Suite 101H  
Atlanta, GA 30328  
404-816-9122

February 16, 2015

**Notification of Neighbors  
Regarding SLUP for  
1441 Dunwoody Village Parkway  
Dunwoody, GA**

To the City of Dunwoody;

Per the letter received from Rebecca Keefer on February 2, 2015, we are submitting the additional materials regarding our Special Land Use Permit Application for the above referenced property.

Per the application process we were to notify any residential neighbors that fall within 500 feet of the property. We identified 7 homes: 1416, 1421, 1427 and 1435 Mockwell Court, and 1427, 1436, and 1442 Vernon Village Court. We delivered letters to these addresses indicating our application for the Special Land use Permit. The letter and supplemental material that we delivered is attached for your review. We requested any comments or questions be addressed to my attention via email by February 15, 2015. No comments or questions were received.

If you have any additional questions, please feel free to contact me.

Sincerely,

Kristen A. Ware, AIA

WARE+ASSOCIATES



**Ware + Associates**  
Architecture + Interior Design  
5825 Glenridge Drive, Suite 101H  
Atlanta, GA 30328  
404-816-9122

February 3, 2015

**Special Land Use Permit Application Explanation**  
For  
**1441 Dunwoody Village Parkway**  
**Dunwoody, GA**

Neighbors;

The City of Dunwoody has required that we notify you of our request for a Special Land Use Permit Application because your property falls within 500 feet of my client's property.

My client, Civic Center Partners, Ltd, owns the property located at 1441 Dunwoody Village Parkway. This building is an existing office building and contains approximately 11,000 SF within 2 floors. The upper floor was recently renovated and is occupied by a law firm. The lower floor is currently vacant and consists of 2 old suites with a corridor in-between. The lower floor also needs to be renovated for both aesthetic and code reasons in order to accommodate any new tenants. It is currently un-leasable due to the condition of the layout and finishes. My client would like to renovate this floor in order to rent it; however, this building is in an overlay zoning district, and the cost of the upper floor renovations has already breached 25% of the county tax assessor's 100 percent assessed value of the existing improvements. According to the Zoning Ordinance, renovating the lower floor would require the building to be in *full compliance* with the overlay zoning requirements. In order to be in *full compliance per Sec. 27-97 © 1*, the building would have to be enlarged toward the street frontage or torn down and re-built closer to the street and the current parking area relocated to the back of the building. Either of these options would be cost-prohibitive for my client, and enlarging the building would mean losing all parking associated with the property.

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If you have any questions or concerns, please feel free to visit the property and/or contact me at my e-mail below before February 15, 2015. The planning commission will review our application and any concerns you have at the March 10 Planning Commission meeting.

Thank you for your time and consideration.

Sincerely,

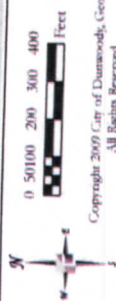
Kristen A. Ware, AIA  
[Kristen@wareassoc.com](mailto:Kristen@wareassoc.com)



Map of

## Dunwoody Village Overlay District

November, 2009

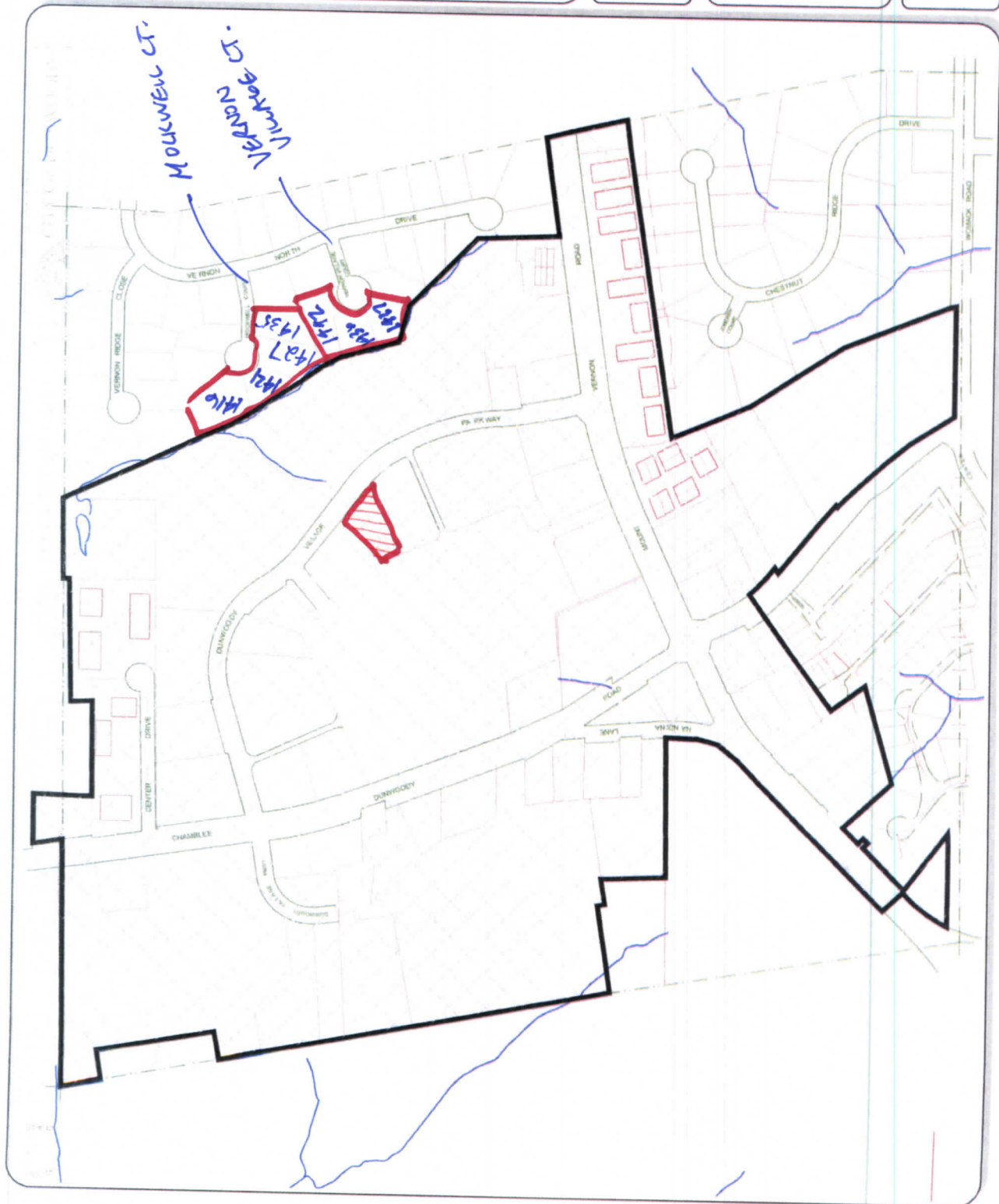


## Notes

L. Overlay District Area = 131 Acres



**Clark Patterson Lee**  
DESIGN PROFESSIONALS



















#6.