

MEMORANDUM

To: Mayor and City Council
From: Rebecca Keefer, AICP
Date: August 3, 2015
Subject: **Discussion of Draft Perimeter Center Zoning Code**

ITEM DESCRIPTION

The Perimeter Center Zoning Project has been ongoing since Fall 2014, and staff is before City Council to present a working draft of the code. The purpose of the meeting is to present the draft and continue in work session format so Council has an opportunity to provide in-depth feedback before any details are considered appropriate.

BACKGROUND

At the onset of the Perimeter Center Zoning project, the exact zoning tool had not been determined, but through the process, we have recommended a two-part approach: an overlay code that addresses streetscape and design standards and a distinct zoning district that regulates land use and bulk standards. The recommendation is to adopt and require the overlay standards for all properties in the Perimeter Center boundaries. Additionally, the Perimeter Center Zoning District would be adopted fully as a parallel code to the districts that exist on each parcel today. Each of these processes entails a city-initiated rezoning for the affected properties. The effect would be that property owners have the ability to choose between the codes but would be required to comply with the overlay standards, regardless. This method preserves the rights of each property owner for the zoning they have in place today, but it also encourages the option to use the parallel code.

The character of development stipulated in the Perimeter Center Code reinforces Perimeter Center to be the more walkable, vibrant place envisioned through the City's planning efforts, so the incentives and requirements in the code are being carefully crafted to strike a balance between incentivizing property owners to choose the preferred district and maintaining adequate control over quality and development standards.

The project has proceeded, and there is currently a draft outline circulating for public comment. All documents to this point have been posted on the website, and the content is maintained and updated regularly. The adoption process is anticipated to begin early 2016, but the timeline will be adjusted as necessary.

CIVIC ENGAGEMENT

The sounding board has convened twice to discuss the goals of the project and to provide feedback on the draft outline. Two public meetings have been conducted with limited attendance. The consultant team returned in May to host a series of focus groups, similar to the original stakeholder meetings, to solicit feedback on the drafts as they evolve. The team met with design professionals and property owners, in particular, and has continued to engage the development community through Council for Quality Growth, property owners, and residents at large. Most recently, the consultant team is scheduled to meet with Dunwoody Homeowner's Association on August 2 for a similar working session. Due to timing, the results of the DHA meeting will be summarized the evening of the City Council meeting.

27-98 Perimeter Center Overlay

SECTIONS

- (a) Overlay Generally
- (b) Street Types
- (c) Streets & Blocks
- (d) Transitional Buffers
- (e) General Building Design Requirements
- (f) Sustainability Measures

(a) Overlay Generally

(1) Intent.

The regulations of the Perimeter Center Overlay are intended to recognize and foster the transformation of Perimeter Center into a pedestrian-friendly, livable center that ensures long term economic, social, and environmental sustainability.

(2) Purpose.

The Perimeter Center Overlay has been created to further the following public purposes.

- a. **Plan Compatibility.** To guide new development and redevelopment as defined by the **City of Dunwoody Comprehensive Plan** (adopted 2010) and as amended.
- b. **Perimeter Community Improvement Districts (PCIDs).** To provide implementation guidance for the general vision defined in **Perimeter @ The Center - Future Focus, 2011 - A Ten Year LCI Update**, dated November 2011, and as amended (past, current, and future).

(3) Applicability.

The regulations within this section, 27-98 Perimeter Center Overlay, apply to all buildings, structures, land and uses within the Perimeter Center Overlay, as illustrated on the City's zoning map and in Figure 27-98-1 Perimeter Center Overlay Map.

(4) Existing Land Development Regulations.

Refer to chapter 16 Land Development Regulations for additional requirements. When there is a conflict between the following regulations and chapter 16, the **Perimeter Center Overlay** regulations govern.

(5) Review and Approval Procedures.

Unless otherwise expressly stated, all uses and development in Perimeter Center Overlay are subject to the applicable review and approval procedures of article V, as well as any applicable procedures in chapter 16 of the municipal code (land development regulations).

(6) Site Plan Review.

All applications for development permits within the Perimeter Center Overlay must be accompanied by a site plan, which is subject to review and approval in accordance with article V, division 10.

(7) Relief.

In some instances, unique site conditions, existing building circumstances or other constraints related to the subject property may make strict compliance with the Perimeter Center Overlay regulations impossible or highly impractical. In such instances, an applicant

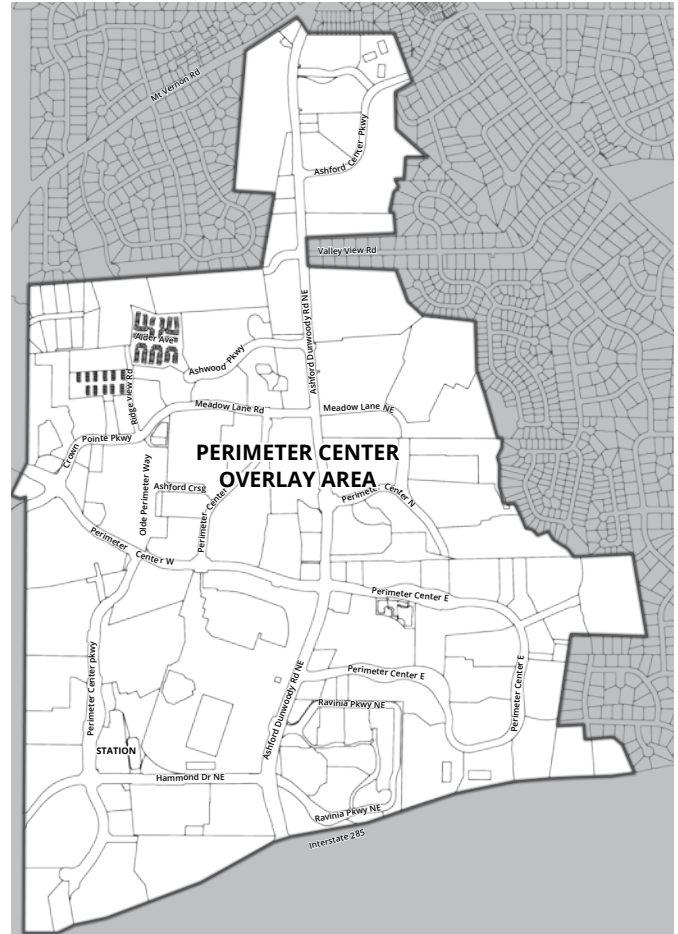


Figure 27-98-1 Perimeter Center Overlay Map

may seek relief from applicable regulations. Any relief granted and conditions imposed run with the land and are binding on the subject property owner and all future property owners.

- a. Minor Exception—Administrative Relief.** The community development director is authorized to approve the following minor exceptions to strict compliance in accordance with the administrative permit procedures of article V, division 7:
1. A reduction in required frontage depth by no more than 10 percent;
 2. A reduction in required street buffer depth by no more than ~~one~~ two feet;
 3. A reduction in required width of a required sidewalk, shared-use path, or trail by no more than two feet;
 4. A reduction in required landscape or yard depth by no more than one foot;
 5. Establishment of a public access easement in lieu of right-of-way dedication for frontages.
 6. Retaining walls in street type frontages up to 5 feet in height when extreme grades prevent the use of shorter walls and landscaping is used to mitigate the visual impacts of the taller retaining wall at the sidewalk edge; and
 7. Any other minor exception expressly authorized under the Perimeter Center Overlay regulations.

b. Major Exceptions—Special Land Use Permit.

Major exceptions to strict compliance with the Perimeter Center Overlay regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-98(a)(4)

a. Major exceptions require review and approval in accordance with the special land use permit procedures of article V, division 3.

(b) Street Types

(1) Intent.

Street Types are established for all of the existing and new streets in the Perimeter Center Overlay area. Frontage options are defined for the space between the building or parking and the curb per street type. Street Types and Frontage Options are intended to address the comfort, convenience, and safety of pedestrians and bicyclists; to develop a network of streets with identifiable character; and to provide an aesthetically pleasing edge to all development.

(2) Applicability.

All new development and redevelopment within the Perimeter Center Overlay shall meet the following:

- a. New Street.** New streets shall meet the applicable Street Type requirements.
- b. Frontage Requirements.** Street Type frontage requirements are required on all developments requiring a land disturbance permit under any one of the following circumstances:
1. **Redevelopment or Renovation.** When an alteration to an existing structure includes an addition of more than 50 percent in gross building square footage.
 2. **New Structure.** Development of a new structure on a ~~previously undeveloped~~ lot or a portion of a lot. ~~or development of a new structure on a lot that increases the total gross building square footage of the lot~~
 3. **Parking Lots.** Redevelopment or revision to 50 percent or more of an existing parking lots or development of a new parking lot consisting of 15 or more spaces
 4. **Signs.** Development or redevelopment of any nground signs, 20 square feet or more in size

(3) Street Types Map.

Figure 27-98-2 Street Types Map defines street types in Perimeter Center for existing and new streets. Refer to 27-98.C Streets & Blocks for more information about new streets and their designated locations.

a. Street Types. The following Street Types are established for the existing streets and any new streets adjacent to and within the Perimeter Center Overlay. Refer to Figure 27-98-2 Street Types Map for the typologies of existing streets and proposed new streets.

1. **Major Parkway Street.** The Major Parkway Street Type is intended to create a parkway effect along the major transportation corridors within Perimeter Center through the use of wide landscape areas heavily planted with trees typical of the area. Major Parkways require designated bicycle facilities. Refer to 27-98.B.5 for requirements.
2. **Minor Parkway Street.** The Minor Parkway Street Type is intended to create a parkway effect along large transportation corridors within Perimeter Center through the use of wide landscape areas heavily planted with trees. Minor Parkways require designated bicycle facilities. Refer to 27-98.B.6 for requirements.
3. **Primary Street.** The Primary Street Type is intended to establish a series of comfortably scaled streets with continuous building frontage and a limited number of drives interrupting the sidewalk. Primary Streets require designated bicycle facilities. Refer to 27-98.B.7 for requirements.
4. **Secondary Street.** The Secondary Street Type is meant to establish a designated street for parking lot and structure access, while still providing a safe and comfortable pedestrian realm. Secondary Streets require shared bicycle facilities. Refer to 27-98.B.8 for requirements.

b. Street Type Graphics. The graphics provided in this section illustrate the preferred configuration of each Street Type. By applying the standards defined, other configurations are permitted.

c. Redesignating Street Types. Existing street designations are set to match the existing character to the extent possible. New streets have been designated with the intent to provide an appropriate mix of Primary and Secondary Streets, establishing comfortable pedestrian streets while providing for parking access.

Re-designation of existing streets may occur per the following:

1. **Process.** Parkways shall not be re-designated, except by a Text Amendment to this code. All other streets may be redesignated using the minor exception process.
 2. **Entire Blocks.** When redesignating street types, the entire street between intersecting streets shall be redesignated.
 3. **Primary Streets.** The intent is to maintain a similar amount of Primary Streets as established by the map. Primary Streets may be re-designated as Parkways or Secondary Streets only when a new or existing street, currently designated as Secondary, within or abutting the same parcel is redesignated as a Primary Street.
 4. **Secondary Streets.** Existing Secondary Streets may be re-designated as Parkways or Primary Streets as long as vehicular access to parking for all surrounding sites has been addressed.
- d. Shared-Use Paths.** Trail locations ~~beyond those required by the Parkway~~ are required per the Street Types Map, Figure 27-98-2 and the Department of Public Works Director. Refer to the City's current comprehensive plan or other City-approved cycle/pedestrian plan and coordinate with Public Works Director for locations for other trails.
1. **Additional Easement.** Additional easement or right-of-way space may be required when trails do not follow a street or are along Primary or Secondary Streets.
 2. **Trail Width.** Trails in locations other than within Street Type frontages shall be a minimum of 12 feet in width with a minimum of 10 feet of landscape on both sides.
 3. **Trail Materials.** Trails shall be constructed primarily of concrete. Brick pavers are acceptable as accent material.
 4. **Trees.** One canopy tree is required per every 2,000 square feet of trail area.
 5. **Ground Plane Vegetation.** Trail easements are to be landscaped with a combination of planting beds that may include shrubs, ornamental grasses, ground cover, vines, or perennials; and seeded, plugged, or sodded grass. Nonliving materials, such as pine straw or mulch are permitted for up to 50 percent of the buffer. Additional mulch area may be

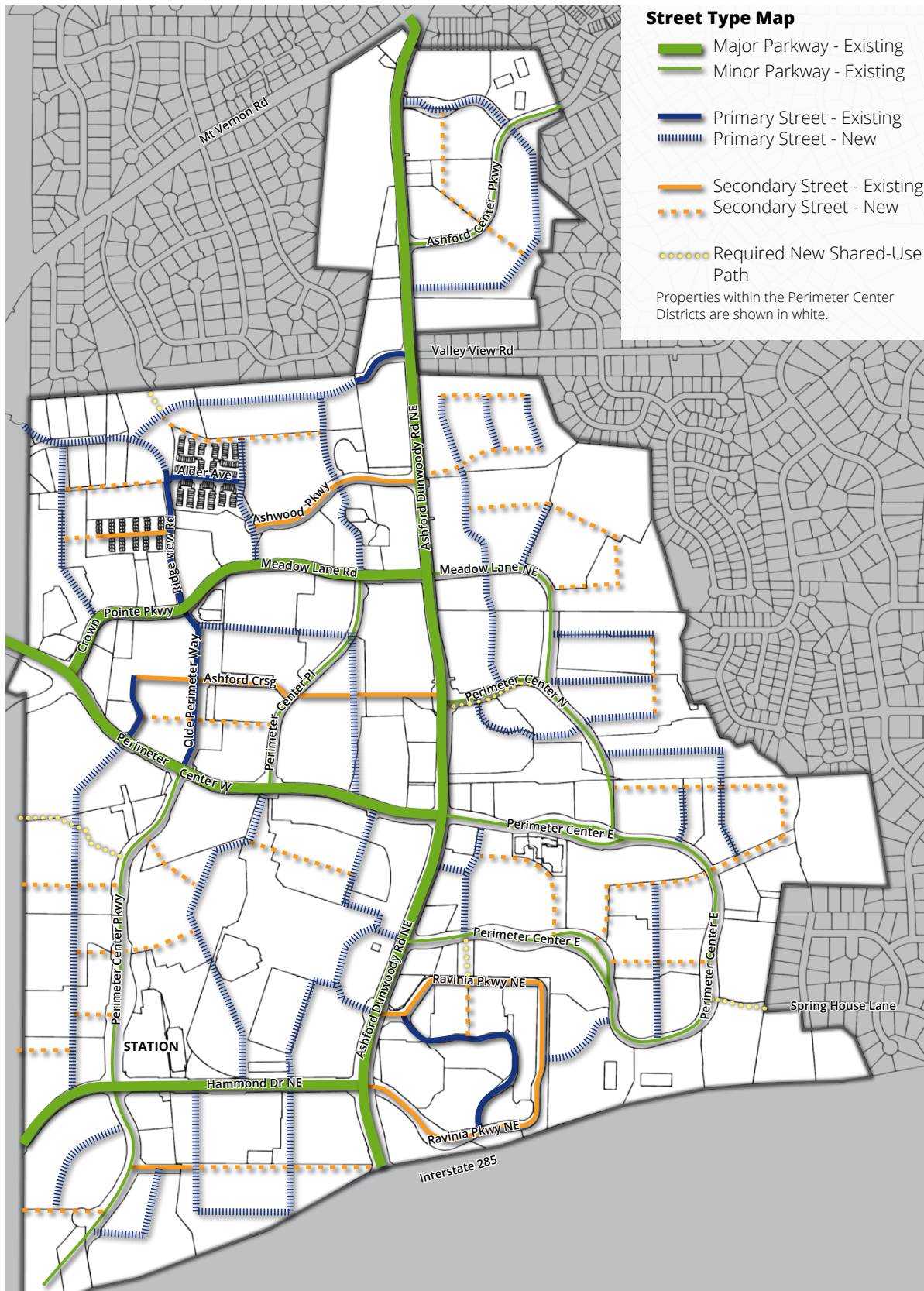


Figure 27-98-2 Street Types Map

approved by the Community Development Director when significant tree cover exists.

6. **Existing Vegetation.** The Community Development Director may credit buffer and screen landscape when existing vegetation meets the same requirements.

(4) Streetscape Furnishings & Hardscape Design

In addition to the Street Type frontage requirements that include minimum tree plantings and walk/ trailways, a street furnishings and hardscape design is required along all new and existing street frontages per the following.

- a. **Definition.** The streetscape furnishings and hardscape design shall include the frontage area as defined by the Street Types plus any hardscaped building setback area less than 25 feet deep from the frontage edge.
 - b. **Design Submittal.** A consistent design shall be submitted for approval with Site Plan Review for all streets within and adjacent to the development.
 - c. **Standard Specifications.** The design shall meet any standards defined by the City for sidewalk, curb, access, lighting, landscape, and other applicable construction details. Refer to Chapter 16, Land Development Regulations.
 - d. **Perimeter Community Improvements Districts (PCID) Public Space Standards.** Refer to the current PCID public space standards document for recommended streetscape component specifications.
 - e. **Submittal Requirements.** At a minimum, the design submittal shall include the following:
 1. **Trees.** Trees meeting the minimum requirements of 27-98.B Frontage Types shall be included in the design, with details related to tree pits, tree grates, and tree planting to meet the landscape installation requirements of 36-364 Landscape.
 2. **Pavement Design.** Paving materials and pattern is required for each sidewalk and any other hardscape proposed. Pavement design shall address all walks or trails, including the minimum sidewalk or trail widths required by the frontage.
 3. **Street Furnishings.** Benches and/or seatwalls, planters, planter fences, tree grates, and trash receptacles shall be specified and quantities and locations listed for each street. For each block face, a minimum of two benches and one trash receptacle is required.
4. **Bus Stop Facilities.** Coordinate with Public Works Director for the location of bus stops and the required facilities. Facilities may include benches, pavement, shelters, signs, and other improvements.
 5. **Landscape Design.** Ground plane vegetation shall be designated for any landscape bed areas, planter areas, and open tree wells, including shrubs, perennials, annuals, and grasses.
 6. **Lighting.** Pedestrian and vehicular lighting shall be specified with locations and quantities noted. All lighting shall meet any requirements of Public Works Director and Public Works Director. Cut sheets and samples shall be submitted upon request of the Community Development Director.
 7. **Stormwater Facilities.** Any stormwater facilities proposed for the right-of-way shall be included in the streetscape design. Facilities such as stormwater planters or parkway swales may be included. Maintenance responsibilities and processes shall be included.
 8. **Identity Elements.** Any other elements designed to establish the identity of each street, such as banners mounted on light poles, pavement markers, artwork, or wayfinding signage, shall be included in the design submittal.
 9. **Streetscape Design Continuation.** The approved streetscape design for each street may be utilized by the City for the extension of any street outside the development to provide continuity.

(5) Major Parkway Street Type

The Major Parkway Street Type applies to existing streets per the [Street Types Map, Figure 27-98-2](#). Refer to [Figure 27-98-4 Existing Major Parkway Street Section](#).

- a. New Major Parkway Streets.** New Major Parkway streets are not permitted, unless otherwise required by Public Works Director . This street type is applicable only to existing streets per the [Street Types Map, Figure 27-98-2](#).
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Major Parkway as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Major Parkway Street Frontage Options along the entire length of the lot line abutting the Major Parkway.

Refer to [Figure 27-98-5. Table of Major Parkway Frontage Options](#).

- c. Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication is required so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate context-sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-3: TABLE OF MAJOR PARKWAY STREET TYPE REQUIREMENTS

Location	O-I, OCR, O-D, C-1, CR-1, PC-1, PC-2, and PC-3 Districts
Right-of-Way Width	Varies; shall be wide enough to include curb to curb as well as frontage options .
Travel Lanes	4 to 8 lanes, 2 way
Lane Width	10' to 12' per Public Works Director
Allowable Turn Lanes	Per Public Works Director
Parking Lanes	Permitted only with Public Works Director approval; then parallel only, 8' wide
Pavement Width	Existing, varies. Recommended median when crossing exceeds 32 feet in width.
Frontage Options	Refer to Figure 27-98-5: Table of Frontage Options for pedestrian, bicycle, and street buffer requirements.



Figure 27-98-4 Existing Major Parkway Street Section

FIGURE 27-98-5: TABLE OF MAJOR PARKWAY FRONTAGE OPTIONS REQUIREMENTS

	PARKING EDGE refer to Figure 27-98-6	ACTIVE EDGE refer to Figure 27-98-7	BUILDING EDGE refer to Figure 27-98-8
1 Minimum Depth of Frontage	The minimum depth of the frontage shall be 34 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum 34 feet.		
2 Street Buffer	<p>Minimum Depth: Street buffer depth shall may be varied, at a minimum of 8 feet with an average depth of 12 feet.</p> <p>Tree Plantings: Informal groupings of trees shall be spaced intermittently along the parkway with the goal of shading a minimum of 60 percent of the parkway sidewalk at maturity in 20 years. Trees shall be spaced between 12 feet and 40 feet on center. The buffer shall consist of at least 7 canopy trees per every 100 feet of buffer.</p> <p>Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 to 4 ratio of rise to run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.</p>		
3 Sidewalk	A minimum 8 foot wide sidewalk is required and may meander between trees. Refer to 27-98.B.3.c(iii) for materials.		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per Public Works Director : an on-street buffered bicycle lane, dedicated cycle track, or shared-use path in conjunction with sidewalk. Shared-use path + sidewalk shall equal minimum 12' width		
5 Yard Treatment	Minimum Depth: minimum 6 foot deep landscape or patio area is required.		
	Parking Screen is required. Refer to Figure 27-98-35 Landscape Screen Requirements.	Patio shall be clearly differentiated from sidewalk. Fencing may be required for alcohol service per city ordinance. For PC Districts, the portion of the building facade adjacent to the patio shall meet the primary street facade requirements.	no additional requirements
6 Building & Parking Location	Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Parkway Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.		

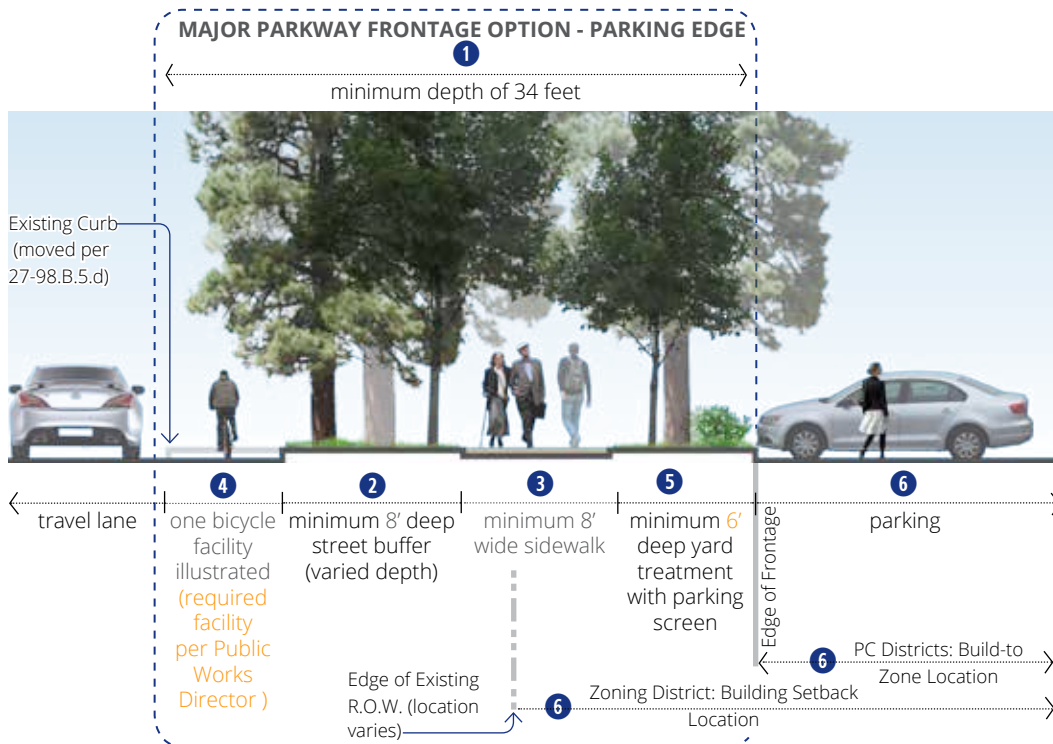


Figure 27-98-6 Major Parkway Frontage Option - Parking Edge

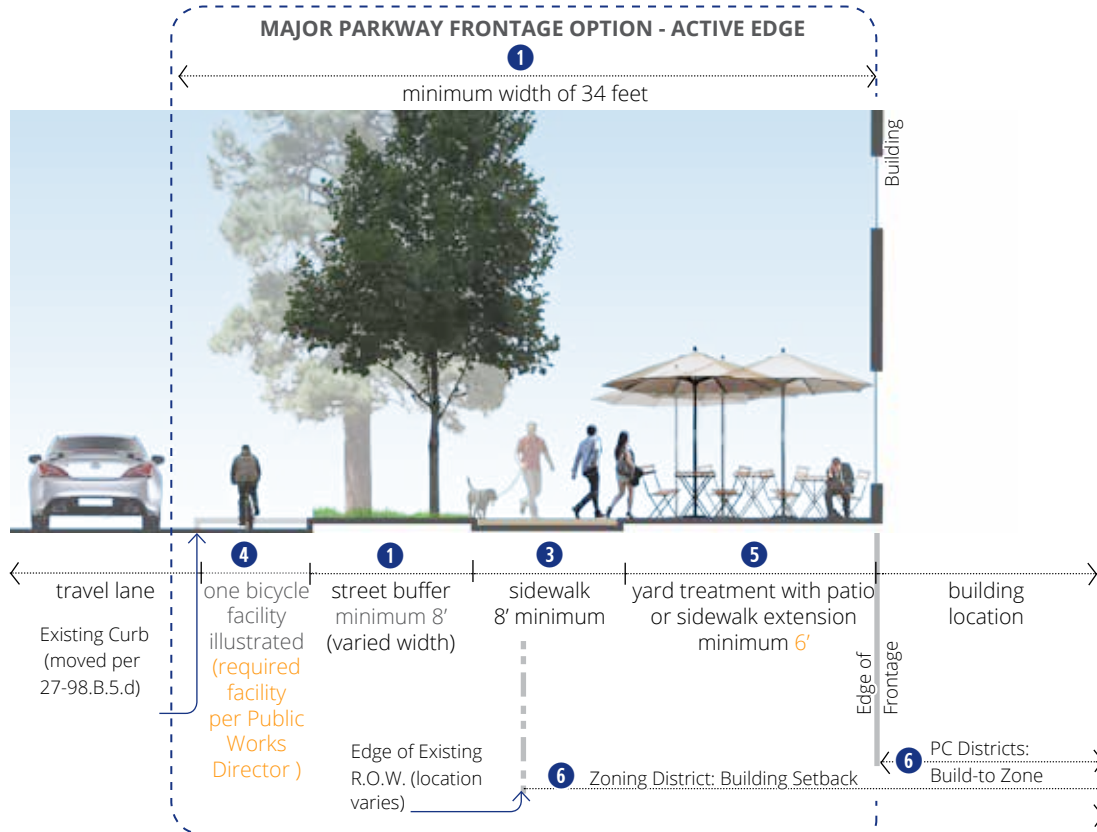


Figure 27-98-7 Major Parkway Frontage Option - Active Edge

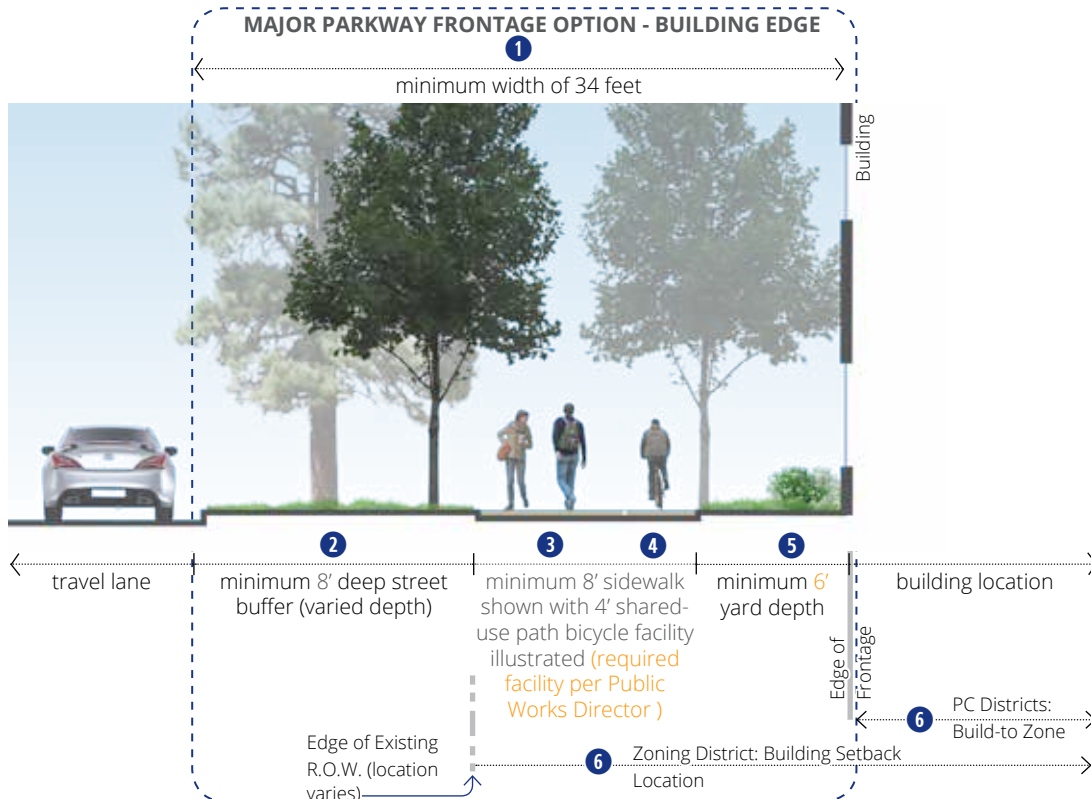


Figure 27-98-8 Major Parkway Frontage Option - Building Edge

(6) Minor Parkway Street Type

The Minor Parkway Street Type applies to existing streets per the [Street Types Map, Figure 27-98-2](#) and is available for new streets per Public Works Director . Refer to [Figure 27-98-10 Minor Parkway Street Section - Existing and New](#).

- a. New Minor Parkway Streets.** New Minor Parkway streets are not permitted, unless a minor exception is approved by Public Works Director .
- b. Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Minor Parkway as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Minor Parkway Street Frontage Options along the entire length of the lot line abutting the Minor Parkway.

Refer to [Figure 27-98-11 Table of Minor Parkway Frontage Options](#).

- c. Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication is required so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-9: TABLE OF MINOR PARKWAY STREET TYPE REQUIREMENTS

Location	O-I, OCR, O-D, C-1, CR-1, PC-1, PC-2, and PC-3 Districts
Right-of-Way Width	Existing varies; 100' to 120' per Public Works Director
Travel Lanes	2 to 4 lanes, 2 way
Lane Width	10' to 12' per Public Works Director
Allowable Turn Lanes	Per Public Works Director
Parking Lanes	Permitted only with Public Works Director approval; Parallel only, 8' wide
Pavement Width	Existing, varies. Recommended median when crossing exceeds 32 feet in width.
Frontage Options	Refer to Figure 27-98-11: Table of Frontage Options for pedestrian, bicycle, and street buffer requirements.

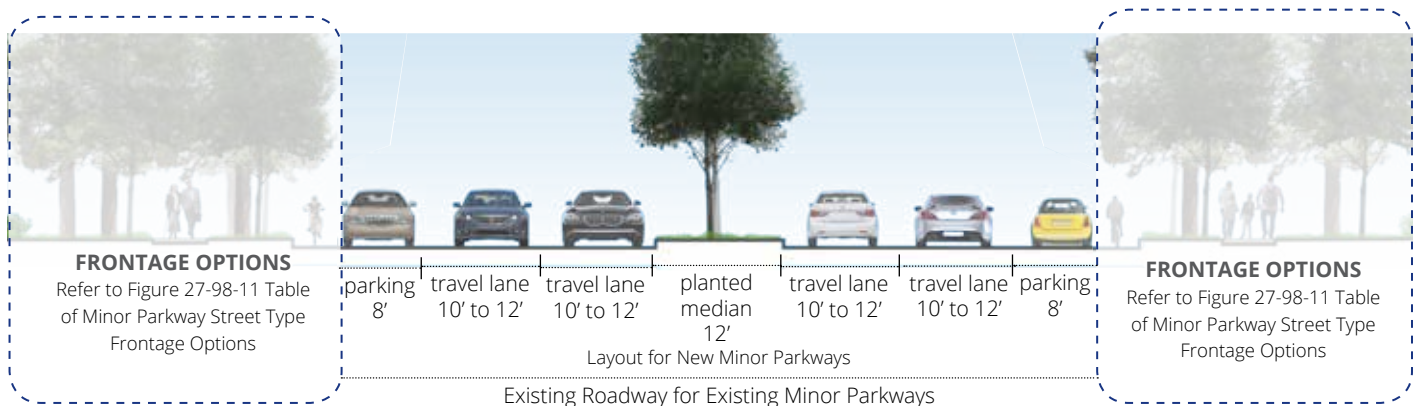
**Figure 27-98-10.** Minor Parkway Street Section - Existing and New

FIGURE 27-98-11: TABLE OF MINOR PARKWAY FRONTAGE OPTIONS

	PARKING EDGE refer to Figure 27-98-12	ACTIVE EDGE refer to Figure 27-98-13	BUILDING EDGE refer to Figure 27-98-14
1 Minimum Depth of Frontage	The minimum depth of the frontage shall be 34 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum 34 feet.		
2 Street Buffer	<p>Minimum Depth: Street buffer depth shall may be varied, at a minimum of 6 feet wide with average of 10 feet.</p> <p>Tree Plantings: Informal groupings of trees shall be spaced intermittently along the parkway, with the goal of shading a minimum of 60 percent of the parkway sidewalk at maturity in 20 years. Trees shall be spaced between 12 feet and 40 feet on center. The buffer shall consist of at least 7 canopy trees per every 100 feet of buffer.</p> <p>Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 to 4 ratio of rise to run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet.</p>		
3 Sidewalk	A minimum 6 foot wide sidewalk is required and may meander between trees. Refer to 27-98.B.3.c(iii) for materials.		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per Public Works Director : an on-street buffered bicycle lane, dedicated cycle track, or shared-use path in conjunction with sidewalk. Shared-use path + sidewalk shall equal minimum 12' width		
5 Yard Treatment	Minimum Depth: minimum 6 foot deep landscape or patio area is required.		
	Parking Screen is required. Refer to Figure 27-98-35 Landscape Screen Requirements.	Patio shall be clearly differentiated from sidewalk. Fencing may be required for alcohol service per city ordinance. For PC Districts, the portion of the building facade adjacent to the patio shall meet the primary street facade requirements.	no additional requirements
6 Building & Parking Location	Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Parkway Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.		

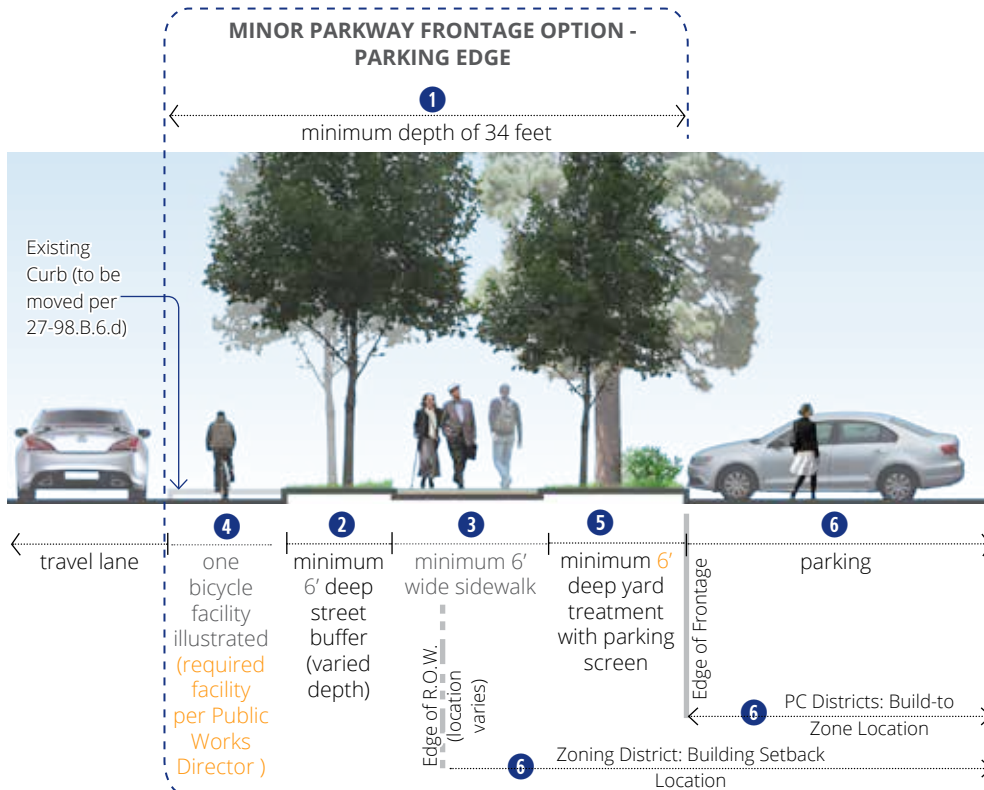


Figure 27-98-12 Minor Parkway Frontage Option - Parking Edge

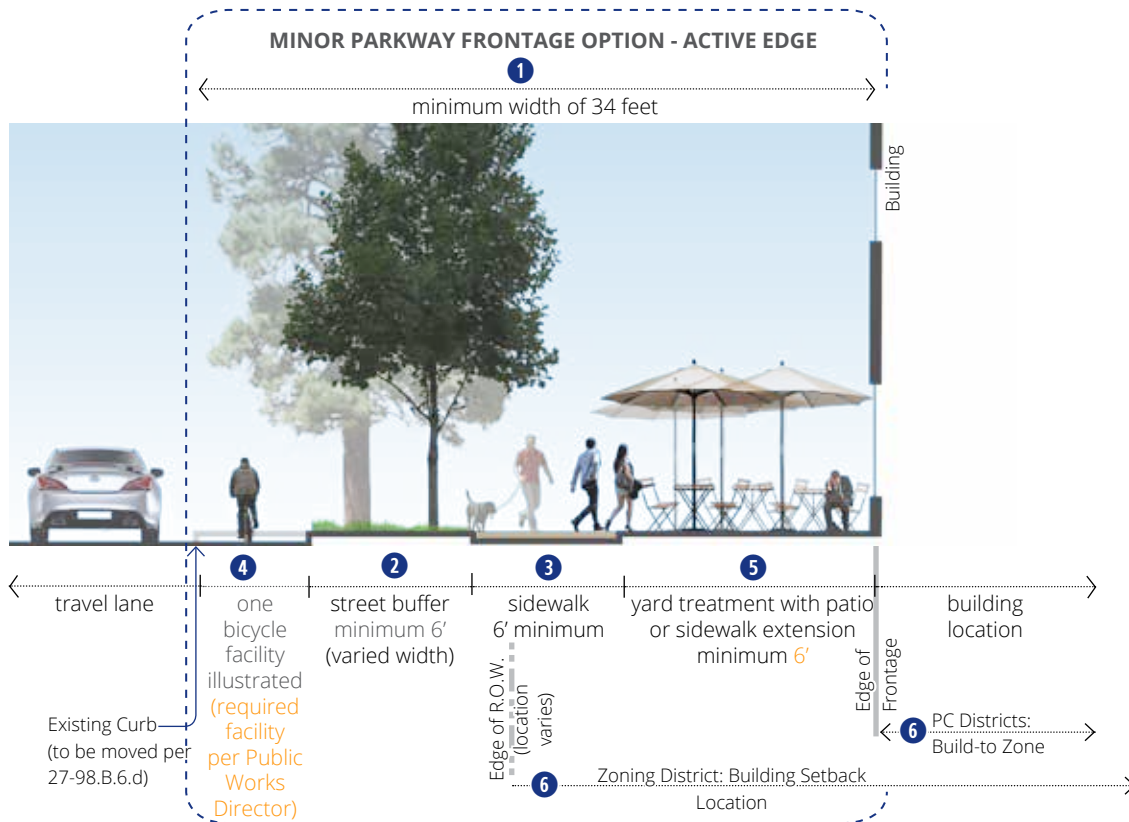


Figure 27-98-13 Minor Parkway Frontage Option - Active Edge

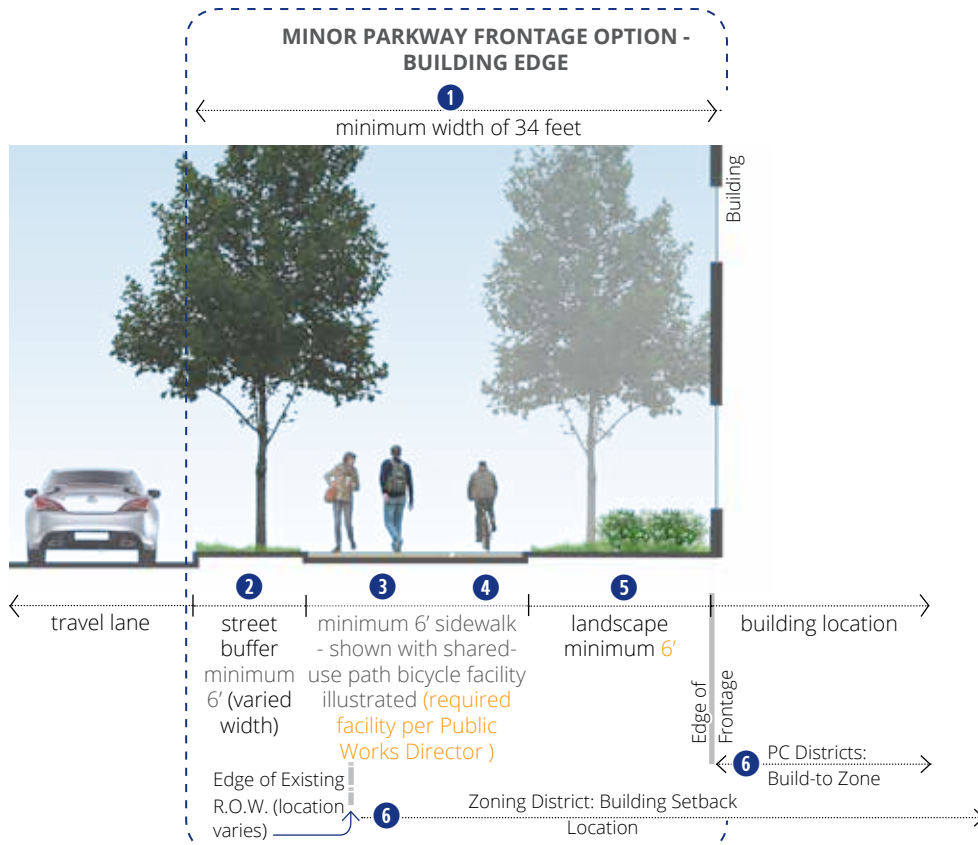


Figure 27-98-14 Minor Parkway Frontage Option - Building Edge

(7) Primary Street Type

The Primary Street Type applies to new and existing streets per the [Street Types Map, Figure 27-98-2](#).

- New Primary Streets.** Refer to [Figure 27-98-15](#) for Primary Street Type Requirements for new streets, [Figure 27-98-16 Primary Street Section: Typical](#) illustrates the typical street section. A narrow version is available for limited application (refer to [Figure 27-98-17 Primary Street Section: Narrow](#)).
- Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Primary Street as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Primary

Street Frontage Options along the entire length of the lot line abutting the Minor Parkway. Refer to [Figure 27-98-18 Table of Minor Parkway Frontage Options](#).

- Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication is required so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-15: TABLE OF PRIMARY STREET TYPE REQUIREMENTS

CONFIGURATION	TYPICAL refer to Figure 27-98-16	LIMITED NARROW refer to Figure 27-98-17
Location	O-I, OCR, O-D, C-1, CR-1, NS, PC-1, PC-2, PC-3, and PC-4 Districts	RM-HD, PC-4 Districts; use requires approval of Public Works Director /Community Development Director
Right-of-Way Width	66' to 100' per Public Works Director	60' to 75' per Public Works Director
Travel Lanes	2 lanes, 2 way	1 yield lane
Lane Width	10' to 12' per Public Works Director	16' to 18' per Public Works Director
Allowable Turn Lanes	Right turn lane	Not applicable
Parking Lanes	Parallel or diagonal; minimum 8' wide	Parallel required on one side of street
Pavement Width	34' to 40' (see variations for alternatives)	32'
Frontage Options	Refer to Figure 27-98-17: Primary Street Frontage Options	Yard Edge Frontage Option only

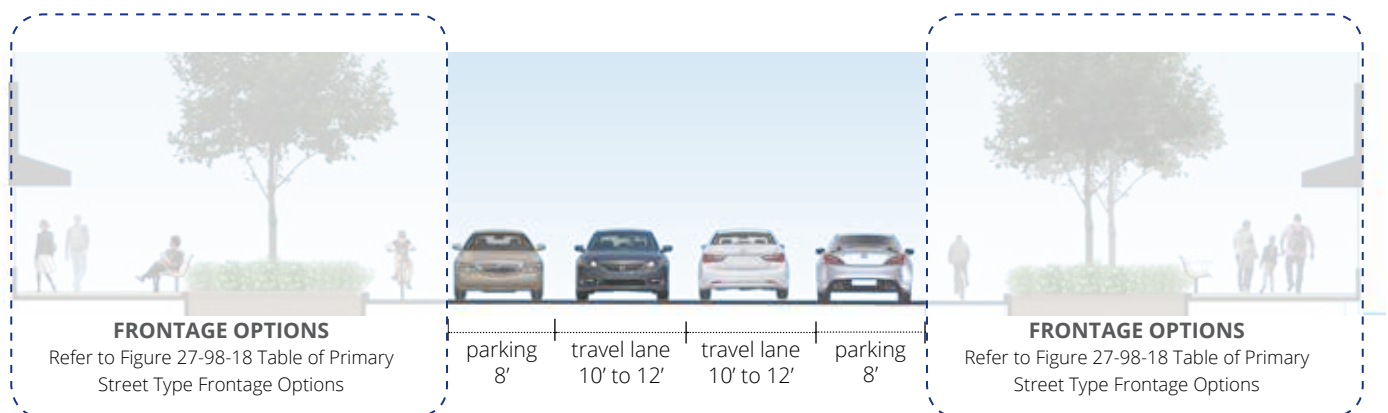


Figure 27-98-16 Primary Street Section: Typical

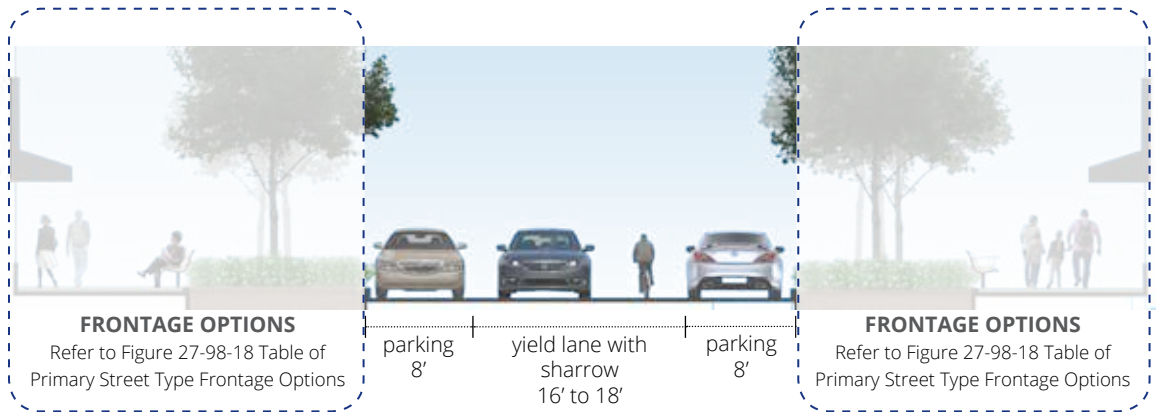


Figure 27-98-17 Primary Street Type Section: Narrow

FIGURE 27-98-18: TABLE OF PRIMARY STREET FRONTAGE OPTIONS					
	BUILDING EDGE refer to Figure 27-98-19	PARKING EDGE refer to Figure 27-98-20	YARD EDGE refer to Figure 27-98-21	COURTYARD/ PLAZA A OR B refer to Figure 27-98-22	DROP-OFF DRIVE EDGE refer to Figure 27-98-23
1 Minimum Depth of Frontage	24 feet	30 feet	16 feet	20 feet	20 feet
	The minimum depth of the frontage shall be measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum overall depth defined above.				
2 Street Buffer	Minimum Depth: Street buffer depth shall be a minimum of 6 feet wide.				
	Tree Planting: Canopy trees spaced minimum 35' on center in planters or wells, either raised or at grade, with access through planters to street, minimum every 60'.		Minimum of one tree per 30 linear feet of frontage, spaced equally or informally		
	Grade changes may be accommodated within the street buffer with slopes no greater than 1 ft of rise in 3 ft run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 18 inches. Steps may also be incorporated.				
3 Sidewalk	Minimum 10' wide clear paved sidewalk with furnishings		Minimum 6' wide sidewalk		
4 Bicycle Facilities	A separated, dedicated bicycle facility is required per Public Works Director : an on-street dedicated bicycle lane, dedicated cycle track, or shared-use path adjacent to and marked separately from the sidewalk.				
5 Yard Treatment	Build-to Zone is directly adjacent to sidewalk	Minimum 5' landscape area is required to screen parking. Minimum 24" wide shrubs required 30" o.c.	yard depth determined PC Districts: by build-to zone of Building Type. Zoning District: by building setback	30' to 60' deep courtyard or plaza permitted with maximum of 30% of frontage in PC-2 and PC-3, maximum of 10% of frontage in PC-1	minimum 5' buffer; maximum 30' deep drop-off drive is permitted. maximum of 20% of frontage
6 Building & Parking Location	Article II. Zoning Districts for setback line or 27-105 Building Types for Primary Street Frontage requirements for allowable widths of parking along the frontage and required building facades along the frontage.				

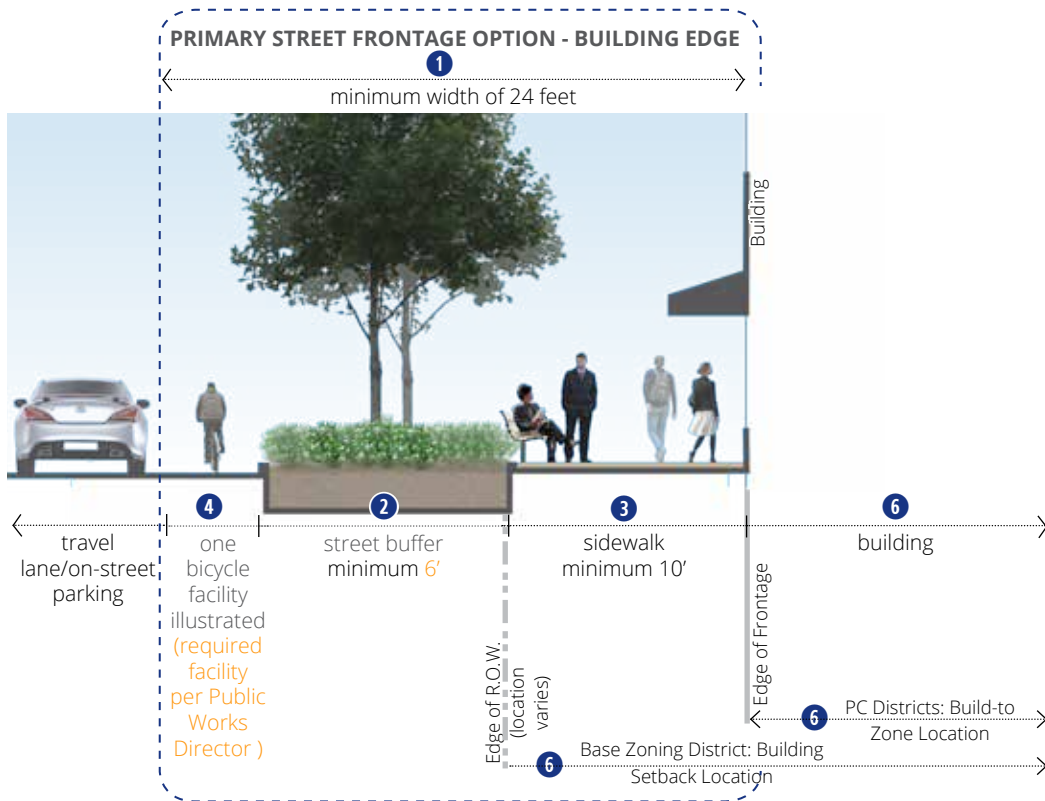


Figure 27-98-19 Primary Street Frontage Option - Building Edge

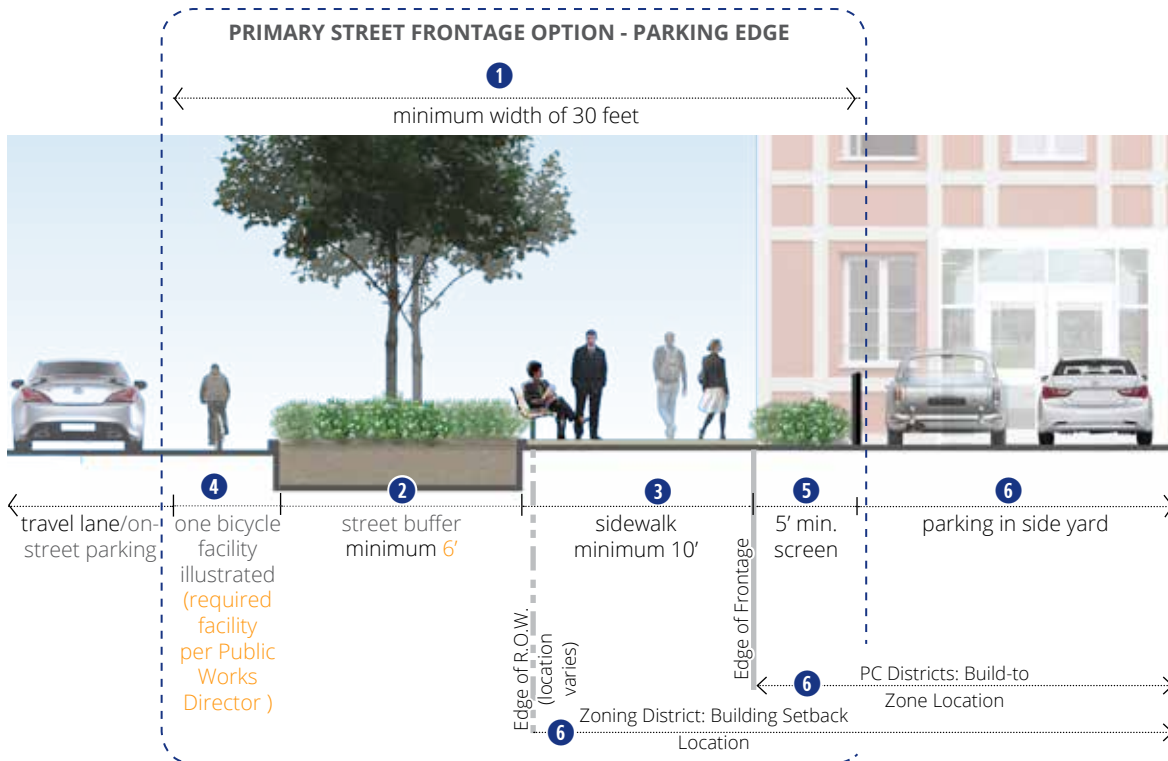


Figure 27-98-20 Primary Street Frontage Option - Parking Edge

#C.1. 27-98 Perimeter Center Overlay

Street Types

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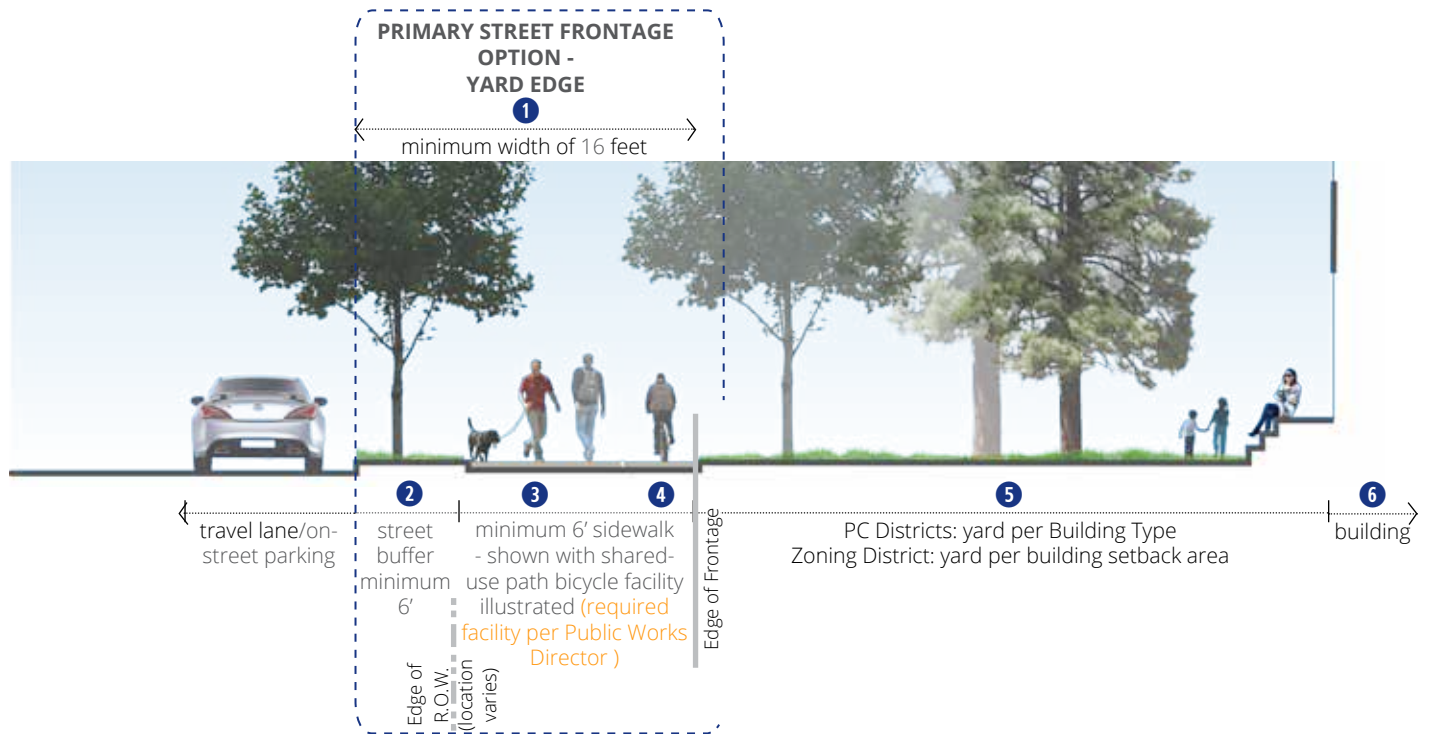


Figure 27-98-21 Primary Street Frontage Option - Yard Edge

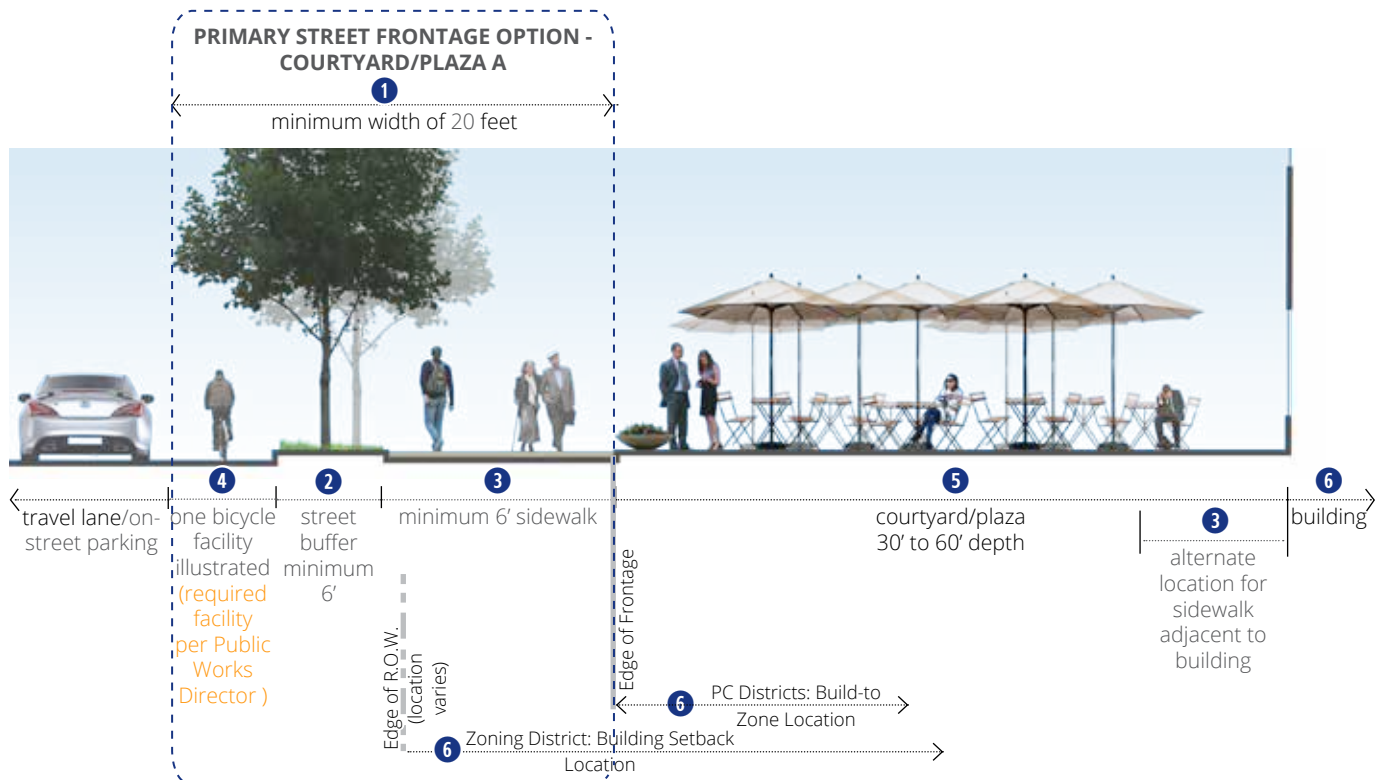


Figure 27-98-22 Primary Street Frontage - Courtyard/Plaza A

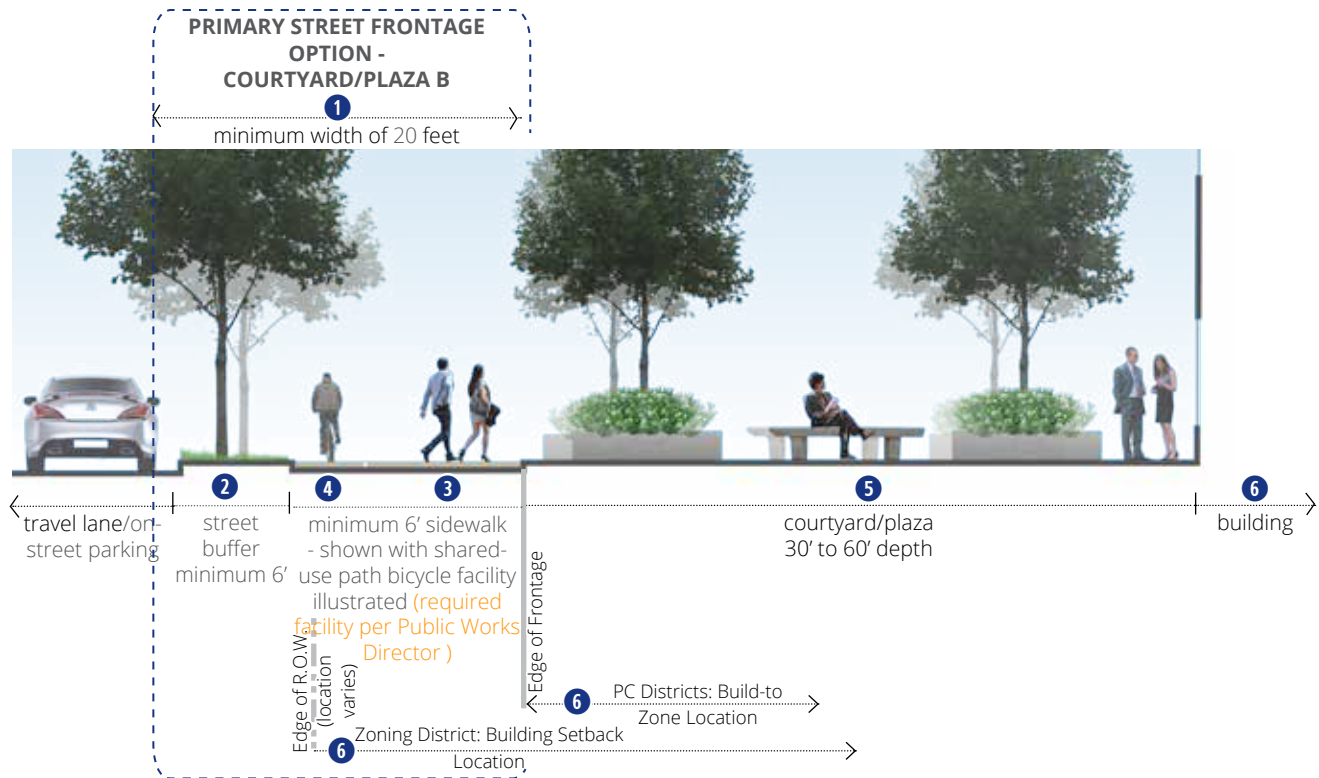


Figure 27-98-23 Primary Street Frontage Option - Courtyard/Plaza B

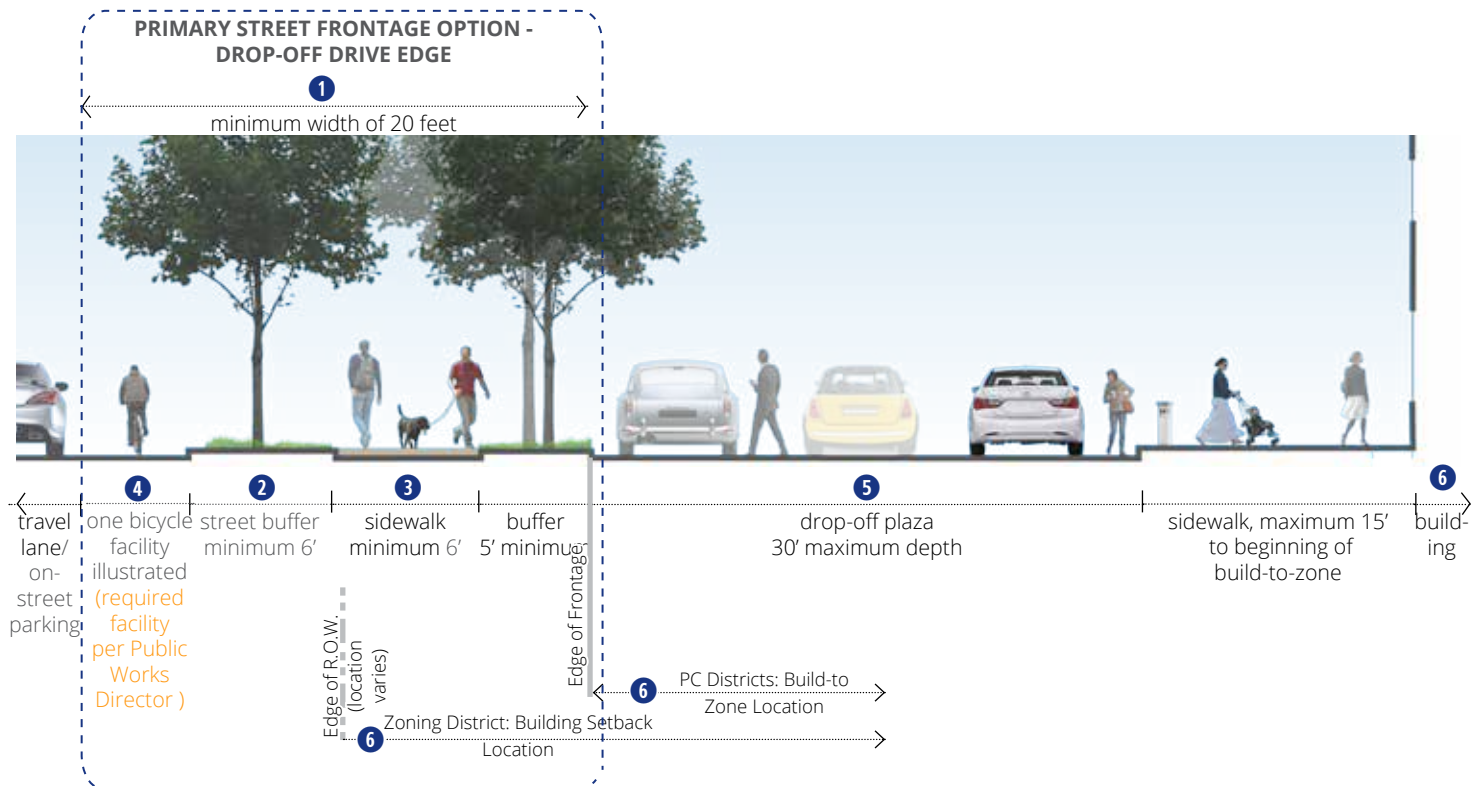


Figure 27-98-24 Primary Street Frontage Option - Drop-off Drive Edge

#C.1. 27-98 Perimeter Center Overlay

DRAFT

Street Types

(8) Secondary Street Type

The Secondary Street Type applies to new and existing streets per the [Street Types Map, Figure 27-98-2](#).

- a. **New Secondary Streets.** Refer to [Figure 27-98-24](#) for Secondary Street Type Requirements for new streets, [Figure 27-98-26 Secondary Street Section: Typical](#) illustrates the typical street section. A narrow version is available for limited application (refer to [Figure 27-98-27 Secondary Street Section: Narrow](#)).
- b. **Frontage Options.** Frontages address the pedestrian and bicycle realm as well as street & parking buffers and public space options. Parcels that are adjacent to a Secondary Street as designated on the [Street Types Map, Figure 27-98-2](#), shall apply one or more of the Secondary Street Street frontage options along the entire length of the lot line abutting the

Secondary Street. Refer to [Figure 27-98-11 Table of Secondary Street Frontage Options](#).

- c. **Easement Dedication.** When the sidewalk is fully or partially located on private property, ~~a public access easement or~~ right-of-way dedication ~~is required~~ so that the sidewalk is fully located in the right-of-way ~~and/or the easement~~.
- d. **Curb Movement.** The existing street curb may be required to move, based on the selection of the appropriate, context sensitive bicycle facility, per Public Works Director .

FIGURE 27-98-25: SECONDARY STREET TYPE REQUIREMENTS

CONFIGURATION	TYPICAL refer to Figure 27-98-25	LIMITED NARROW refer to Figure 27-98-26
Location	O-I, OCR, O-D, C-1, CR-1, NS, PC-1, PC-2, PC-3, and PC-4 Districts	RM-HD, PC-4 Districts; use requires approval of Public Works Director /Community Development Director
Right-of-Way Width	66' to 100' per Public Works Director	60' to 75' per Public Works Director
Travel Lanes	2 lanes, 2 way	1 yield lane
Lane Width	10' to 12' per Public Works Director	16' to 18' per Public Works Director
Allowable Turn Lanes	Right turn lane	Not applicable
Parking Lanes	Parallel; minimum 8' wide (see variations for alternatives)	Parallel required on one side of street
Pavement Width	34' to 40' (see variations for alternatives)	32'
Frontage Options	Refer to Figure 27-98-28: Secondary Street Frontage Options	

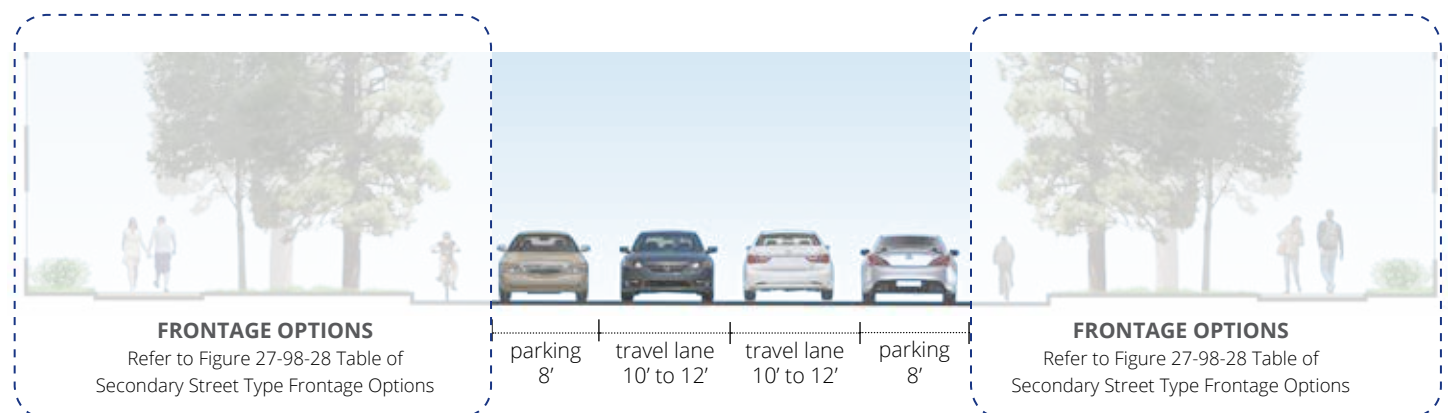


Figure 27-98-26 Secondary Street Type Section - Typical

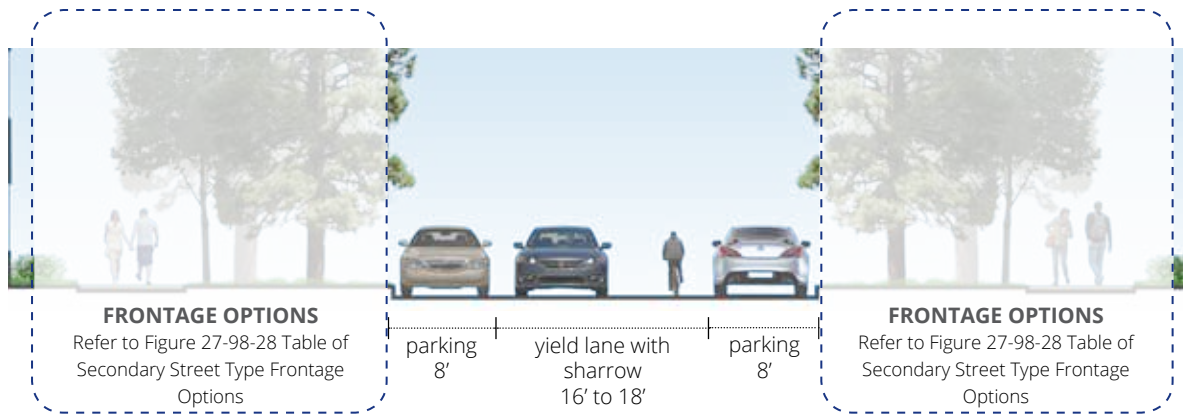


Figure 27-98-27 Secondary Street Type Section - Narrow

FIGURE 27-98-28: SECONDARY STREET FRONTAGE OPTIONS

	PARKING EDGE refer to Figure 27-98-28	YARD EDGE refer to Figure 27-98-29
1 Minimum Depth of Frontage	The minimum depth of the frontage shall be 20 feet measured from existing curb. Minimum depths of components shall be met; additional areas shall be added to any component to meet the minimum overall depth.	
2 Street Buffer	<p>Minimum Depth: Street buffer width shall be a minimum of 6 feet wide.</p> <p>Tree Plantings: A minimum of one tree for every 300 square feet of buffer shall be provided, spaced evenly or informally.</p> <p>Grade: Grade changes may be accommodated within the street buffer with slopes no greater than 1 ft of rise in 4 ft run. Retaining walls may be incorporated to meet these grades, but shall be no taller than 3 feet. .</p>	
3 Sidewalk	A minimum 6 foot wide sidewalk is required in PC-1, PC-2, and PC-3 (6 foot in PC-4) and may meander between trees.	
4 Bicycle Facilities	Shared, on-street bicycle facilities	
5 Yard Treatment	A minimum 8' screen is required between parking and the sidewalk. The screen shall include a canopy tree every 30 feet of frontage, spaced evenly or informally, and a double row of shrubs, minimum 24" in height and width at maturity, staggered and spaced 24" on center.	A minimum 5' deep landscape yard is required, with a minimum of 30 shrubs, perennials, and/or grasses for every 500 square feet of yard area.
6 Building & Parking Location	Refer to Article II. Zoning Districts for setback line or 27-105 Building Types for Secondary Frontage Options requirements for allowable widths of parking along the frontage and required building facades along the frontage.	

#C.1. 27-98 Perimeter Center Overlay

Street Types

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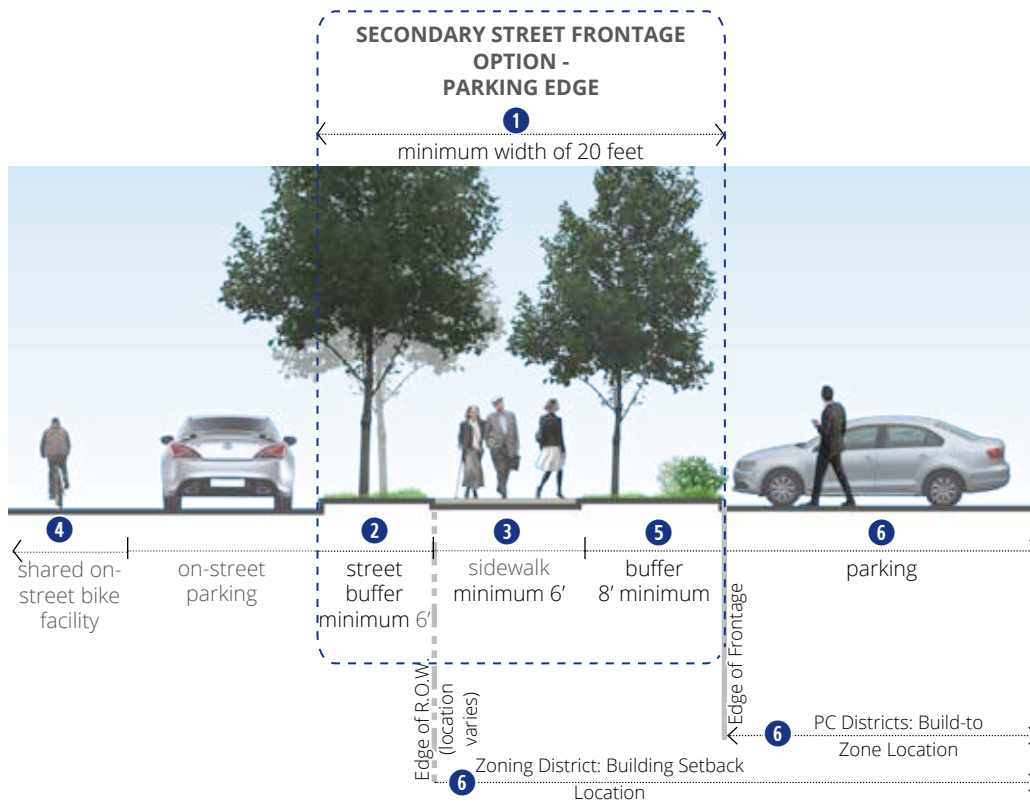


Figure 27-98-29 Secondary Street Frontage Option - Parking Edge

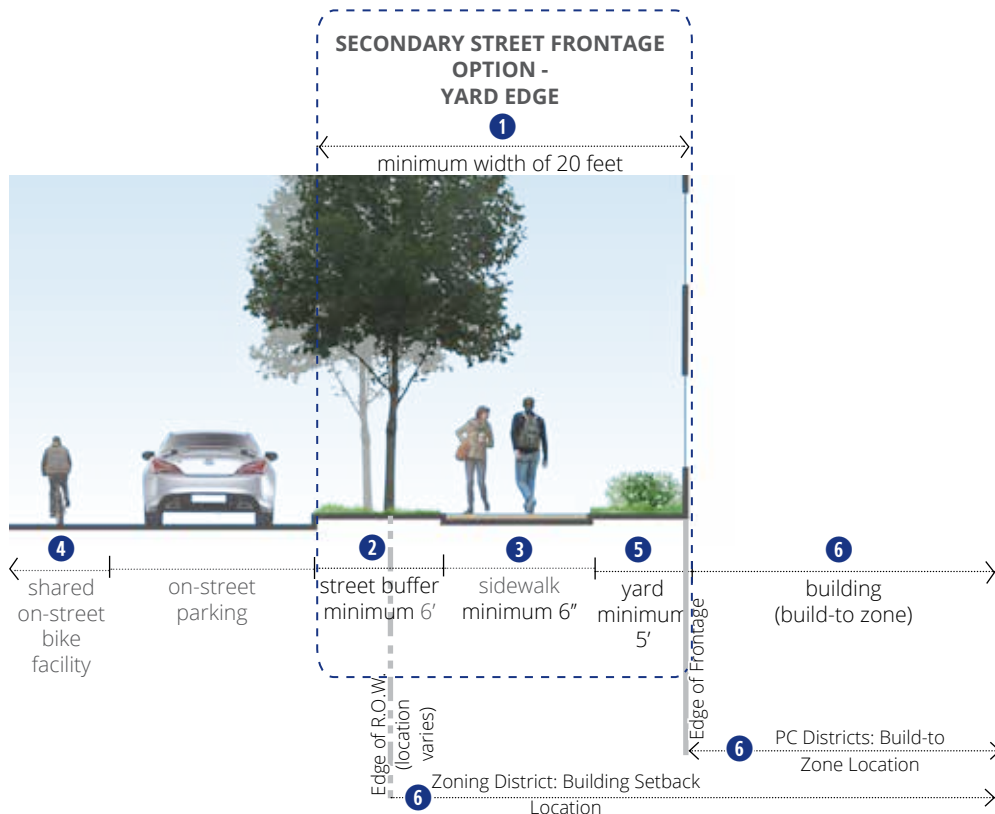


Figure 27-98-30 Secondary Street Frontage Option - Yard Edge

(c) Streets & Blocks

(1) Intent

The intent of the following requirements is to form an interconnected network of streets with multiple intersections and block sizes scaled to support multiple modes of transportation, including walking, biking, transit use, and driving, within the Perimeter Center Overlay area.

(2) Applicability

The following are general block, lot, and street design requirements applicable to all districts within the Perimeter Center Overlay area. Development sites meeting the following shall install new streets in accordance with this section.

- Any development project on a 5 acre or larger site and either increases or replaces an existing building footprint by 60 percent or more of existing gross building area; OR
- Any development project on a 5 acre or larger site that includes the replacement, renovation, or reconfiguration of 60 percent or more of the total site parking area (inclusive of required parking lot landscape areas).

(3) New Street Locations.

- Street Types Map.** Proposed street locations are illustrated on [Figure 27-98-2 Street Types Map](#), defined to establish a network that would fulfill the Streets & Blocks intent and regulations.
- Public Works Director .** Locations illustrated on the Street Types map are approximate. The requirements and locations of all street types shall be determined by and approved by Public Works Director during the Site Plan review process.

(4) Street Connectivity.

The following provides requirements and guidance for locating new streets and connecting to surrounding context.

- The arrangement of streets shall provide for the continuation of existing streets from adjoining areas into new developments.
- Cul-de-sac and dead end streets should be avoided and utilized only when topography and other existing barriers, such as highways, rail lines, or waterways, prevent street connectivity.
- Streets should follow natural features rather than interrupting or dead-ending at the feature.
- Streets should terminate at another street with either open space or a building facade across from the termination.

- When adjacent developments do not provide connectivity, coordinate with the Community Development Director and Public Works Director to determine the potential for future connections and provide for those connections.

(5) Block Configuration

Refer to [Figure 27-98-31](#) for an illustration of Typical Block Elements.

- Blocks should be deep enough to accommodate buildings facing streets with parking located in the interior. Refer to 27-98.B Street Types for minimum building frontages required for all streets.
- Blocks may be configured to include existing lots within an existing zoning district that is outside of the Perimeter Center Overlay.

(6) Maximum Block Size

A network of streets is required to meet the maximum block size requirement. Proposed new streets to meet these sizes are illustrated on the Street Type Map, [Figure 27-98-2](#).

- Block Sizes for Zoning Districts.** Block sizes for residential and commercial development and redevelopment are designated in section 16-225.
- Block Sizes for Perimeter Center (PC) Districts.** Block sizes for residential, mixed use, and commercial development and redevelopment

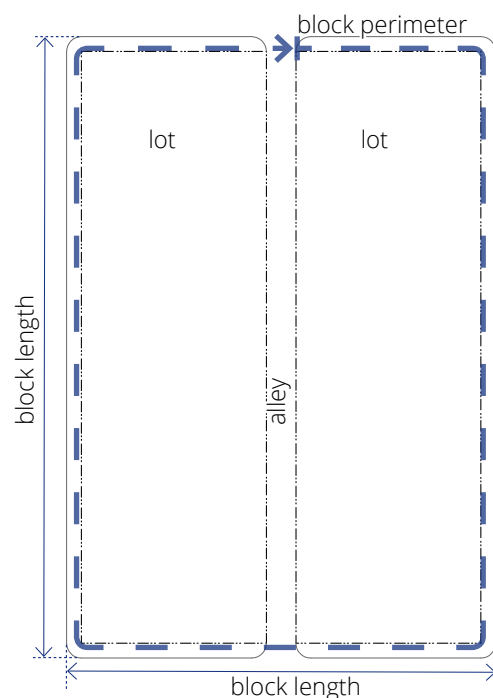


Figure 27-98-31 Typical Block Elements

are designated by district in 27-104 Districts for the Perimeter Center districts.

- c. **Exceptions.** Exceptions to block sizes include locations adjacent to natural features, including steep grades and drainage areas, and other existing barriers, such as inability to connect to adjacent parcels.

(7) Block Driveway Access Configurations.

- a. Blocks may include alleys, drives, or driveway entrances for service, parking accessibility, and other routes internal to the development.
- b. Access to blocks should be aligned across the street from access to other blocks.
- c. In the Perimeter Center districts, driveway locations are defined in the general Building Type requirements. Refer to 27-105.A.10 Driveways.
- d. Mid-Block Pedestrianways. Mid-Block pedestrianways are required through blocks longer than 800 feet and at locations that connect public rights-of-way with other public facilities such as parks and transit.
 1. When combined with mid-block street crossings, these pathways should align to facilitate easy pedestrian movements.
 2. Mid-block pedestrianways should be located in the middle third of a block face.
 3. Minimum width for mid-block pedestrianways rights-of-way or easements is 20 feet.
 4. A minimum of 1 canopy tree per 600 square feet of area is required.
 5. Mid-block pedestrianways should be treated with the minimum design requirements per 27-98.D.13 Street Improvements.
 6. Shared-use paths through blocks per 27-98.B.3.d Trails may fulfill the requirements for Mid-Block Pedestrianways.

(8) Street Types

Refer to 27-98.B Street Types for requirements for streets.

- a. **Street Type.** All new and existing streets shall utilize one of the permitted Street Types per Figure 27-98-2 Street Types Map and the requirements of 27-98.B Street Types.
- b. **Frontage Options.** For each side of a street adjacent to or within the development, one of the frontage options defined by Street Type shall be utilized.
- c. **Other Internal Street.** Other street types completely internal to the development may

be approved by Public Works Director and the Community Development Director through minor exception.

- d. **Public Use.** All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.
- e. **Dimensions.** The dimensions defined in each Street Type provide the acceptable ranges. Public Works Director shall determine the appropriate configuration and dimensions for each street. Minor exceptions may be approved by Public Works Director during the approval process.
- f. **Additional Director Requirements.** During the Pre-Submittal Conference, the Community Development Director and/or Public Works Director may adjust requirements for right-of-way, pavement width, or street elements depending on unique site locations and characteristics.
- g. **Street Construction.** All street construction, whether publicly dedicated or privately held, shall follow specifications defined by the City.

(9) General Street Requirements.

All streets should consider the following components:

- a. **Vehicular On-Street Parking.** On-street parking activates a street and supports adjacent businesses. As permitted on designated street types, shall meet the following requirements.
 1. **Orientation.** Parallel and diagonal parking is permitted on designated street types.
 2. **Vehicular Parking Space Dimensions.** Refer to Sec. 16-237 for dimensions.
- b. **Bicycle Facilities.** All bicycle accommodations shall meet the requirements for the applicable street type and shall be coordinated with current area-wide bicycle access plans per Public Works Director .
- c. **Stormwater Management.** Incorporation of stormwater management best practices into the right-of-way design is encouraged, such as incorporating drainage swales and slotted curbs into the frontages or permeable paving in a parking lane.
- d. **Fire Access.** Street configurations have been calculated to provided fire truck access. Where the width of all travel lanes totaled is narrower than 20 feet, the following shall apply.
 1. **Room to Pass.** At 120 foot increments, a 20 foot opening in the on-street parking or a 20 foot dedicated pull-off space must be

provided to allow vehicles to pull over for a fire truck to pass.

2. **Driveway or Fire Hydrant Zone.** A driveway or fire hydrant zone may be utilized to fulfill the requirement.

e. Intersection Design. The following applies to all new intersections and existing intersections with a new street connection.

1. **Curb Radii.** With on-street parking on both streets, a 5-foot radius may be utilized.
2. **Actual Turning Radii.** Intersections should be designed for actual turning radius of the typical design vehicle as opposed to the maximum design vehicle. Small curb radii at intersections shorten pedestrian crossing distances and reduce vehicle turning speeds. Refer to [Figure 27-98-32 Actual Turning Radius](#).

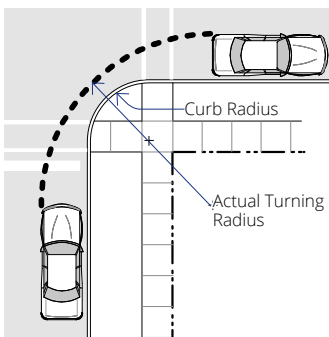


Figure 27-98-32 Actual Turning Radius

(d) Transitional Buffers

(1) Intent. Transitional buffers are intended to be landscape yards, sized by adjacency to different districts, and providing landscape and trees to serve as a buffer in the rear and side yards.

(2) Required Transitional Buffers

- a. Table of Minimum Buffers.** Refer to [Figure 27-98-34](#) for minimum buffer yard sizes between the different districts.
- b. Buffer Tree Canopy Coverage.** One canopy tree is required per every 2,000 square feet of buffer area, excluding the area within any required landscape screen.
- c. Existing Vegetation.** The Community Development Director may credit existing vegetation toward the transitional buffer requirement.
- d. Ground Plane Vegetation.** All buffer areas are to be landscaped with a combination of planting beds that may include shrubs, ornamental grasses, ground cover, vines, or perennials; and sodded grass. Non-living materials, such as pine straw or mulch are permitted for up to 50 percent of the buffer. Additional mulch area may be approved by the Community Development

Director when significant existing tree cover exists.

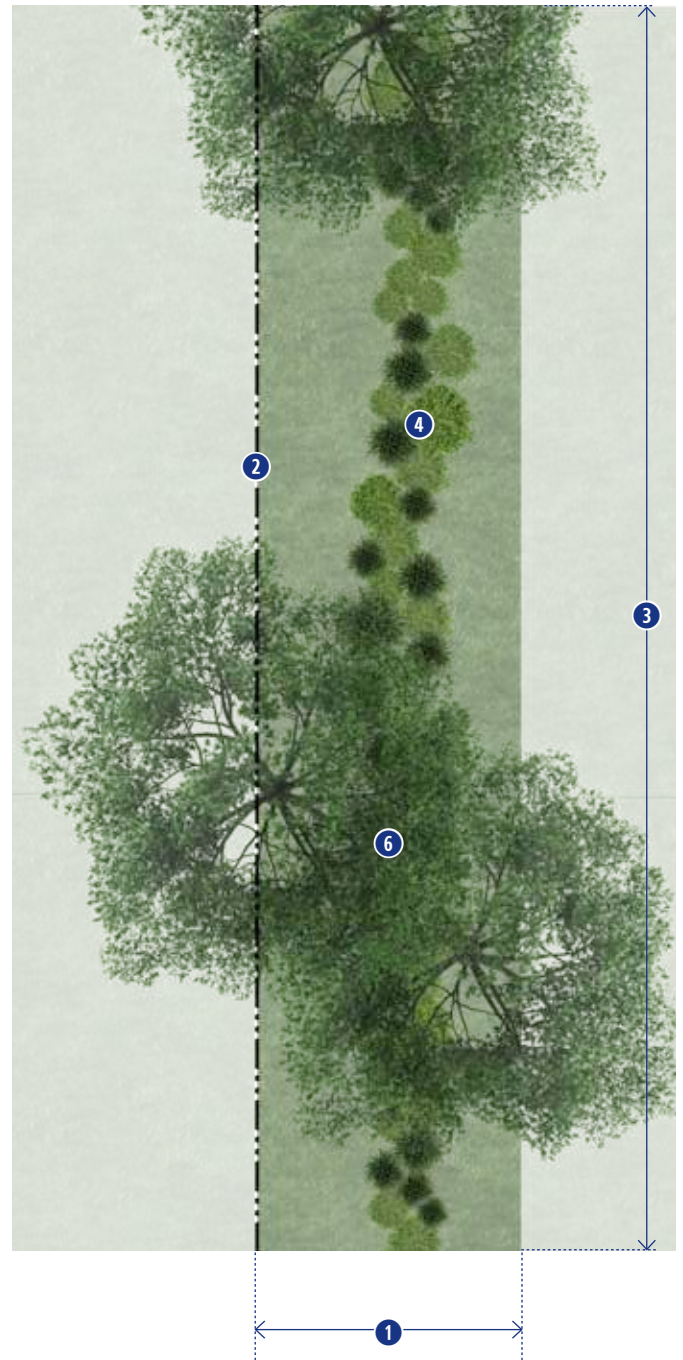
- e. Trails.** Pedestrian and bicycle trails may be incorporated into the buffer area.
 - f. Open Water.** Open water bodies, such as ponds or lakes, may be incorporated into the buffer area; however, a minimum 30 foot wide landscape edge is required surrounding the water body, unless otherwise agreed upon by the neighboring property.
 - g. Use.** Uses and materials other than those indicated are prohibited within the buffer.
 - h. Exceptions.** Landscape buffers are not required for the width of any driveway plus adjacent sidewalks and tree planting/furnishing zones.
- (3) Screen.** Where a screen is required per [Figure 27-98-34 Table of Minimum Transitional Buffers](#), refer to [Figure 27-98-35 Landscape Screen Requirements](#).
- (4) Installation of Landscape.** Refer to Chapter 16, Appendix B Tree Installation and Appendix D Planting Standards.

MINIMUM TRANSITIONAL BUFFERS REQUIRED BY ADJACENT DISTRICTS								
WHEN LOT IS ADJACENT TO:								
	DISTRICT	C-1 OCR PC-1 DISTRICT	O-I CR-1 PC-2 DISTRICT	O-D PC-3 DISTRICT	RM-HD PC-4 DISTRICT	ANY SINGLE FAMILY DISTRICT	ADJACENT MUNICIPALITY	OPEN SPACE
BUFFER REQUIRED ON LOT DESIGNATED AS:	C-1 OCR PC-1 DISTRICT	5 ft	5 ft	5 ft	15 ft with screen	50 ft with screen	5 ft	5 ft
	O-I CR-1 PC-2 DISTRICT	15 ft	5 ft	20 ft	15 ft with screen	50 ft with screen	10 ft	5 ft
	O-D PC-3 DISTRICT	15 ft	20 ft	20 ft	15 ft with screen	40 ft with screen	10 ft	15 ft
	RM-HD PC-4 DISTRICT	15 ft	15 ft	15 ft	20 ft	35 ft	15 ft	10 ft

Figure 27-98-33 Table of Minimum Transitional Buffers

LANDSCAPE SCREEN		
1	Size	12 feet minimum width
2	Location	Along property line as required per Figure 27-98-14 Table of Minimum Transitional Buffers
3	Hedge	Continuous double row of shrubs required between canopy trees
4	Hedge Composition	Double row of individual shrubs with a minimum width of 24 inches, spaced no more than 36 inches on center; mature height in one year of 24 inches
5	Hedge Frequency	Minimum of 15 shrubs per 100 feet of property line is required
6	Canopy Trees	Minimum of 3 canopy trees per 100 linear feet of screen.

Figure 27-98-34 Landscape Screen Requirements & Plan Illustration



(e) General Building Design Requirements

(1) Applicability. The following outlines the general design requirements applicable to all buildings within the Perimeter Center Overlay. These requirements apply to all facades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.

(2) Intent. These requirements are intended to address each building's appearance and cohesiveness with the overall Perimeter Center Overlay area. Further, the requirements are intended to elicit high quality buildings, enhance the pedestrian experience, maintain an appropriate scale, and implement the vision for the area as defined in current plans.

(3) Materials and Color.

- a. Major Materials.** A minimum of 80 percent of each facade shall be constructed of major materials. Street facade materials shall continue

around the corner of the building to non-street-facing facades a minimum depth of 20 feet.

- 1. Permitted Materials.** Permitted major facade materials include high quality, durable, finish materials. The following are acceptable major facade materials: stone, brick, glass (except glass curtain wall), cement-based stucco, wood lap siding and shingles, architectural metal siding, concrete, and fiber cement siding or shingles (such as HardiePlank, HardieShingle, or HardiePanel vertical siding or similar). Refer to [Figure 27-98-36 Major Materials](#).
- 2. Specially-Approved Materials.** Other high quality materials may be approved during the site plan process with an approved sample and examples of successful, high quality local installations.



Major Materials: Brick, stone



Major Materials: Glass, concrete

Figure 27-98-35 Major Materials.



Roof Materials: Asphalt Composite 3-Dimensional Shingles



Roof Materials: Ceramic Tile

Figure 27-98-36 Roof Materials.

3. **Prohibited Materials.** Exposed concrete, synthetic stucco, unfinished wood, concrete masonry units (CMU), glass block, and vinyl are not permitted as a primary facade material.
 4. **Materials Specific to Districts.**
 - i. Brick types larger than 3 inches in height, such as economy bricks, are not permitted in the PC-1 and the PC-4 Districts.
 - ii. ~~Glass curtain wall is permitted only in the PC-2 District above the first floor and in the PC-1 District above the third floor.~~
 - b. **Minor Materials.** Minor facade materials are limited to trim, details, and accent areas that combine to less than 20 percent of the facade surface.
 1. **Major Materials.** All major materials may serve as secondary materials.
 2. **Minor Materials.** Additional minor materials include fiber cement and wood; metal for beams, lintels, trim, and ornamentation; burnished, glazed, or honed concrete masonry units (CMU) or block for trim and details (not surfaces); split-face, honed, or glazed concrete masonry units with a height less than 4.5 inches for surfaces less than 10 percent of the facade surface; cast stone concrete elements; and vinyl for trim and details.
 3. **Upper Stories Only.** Synthetic stucco or exterior insulation and finishing systems (EIFS), such as dryvit, are permitted as a secondary material on upper floor facades only.
 - c. **Roof Materials.** On roofs of buildings lower than 8 stories, acceptable sloped roof materials include premium, 3-dimensional or laminated asphalt composite shingles; wood shingles and shakes; metal tiles or standing seam; slate; and ceramic tile. "Engineered" wood or slate may be approved during the site plan review process with an approved sample and examples of successful, high quality local installations. Refer to [Figure 27-98-37 Roof Materials](#).
 - d. **Color.** Painted materials shall utilize hues from any historic palettes from any major paint manufacturer. Other colors may be utilized for details and accents, not to exceed a total area larger than 10 percent of the facade surface area.
 - e. **Appropriate Grade of Materials.** Commercial quality doors, windows, and hardware shall be used on all buildings, with the exception of Townhouse and Yardhouse Building Types in the PC Districts.
- (4) Windows, Awnings, and Shutters.**
- a. **Quantity of Windows.** A minimum of 15 percent window coverage is required per story on all street facing facades and any facade visible from a street.
 1. **Measurement.** Window requirements are measured as a percentage of the facade between floor levels.
 2. **Blank Walls.** Windows shall be distributed so that no 30 foot section of any story is windowless and violates the minimum percentage requirements.
 - b. **Recessed Windows.** All upper story window glass on all mixed use and residential buildings shall be recessed a minimum of 2 inches, ~~unless glass curtain wall is utilized.~~
 - c. **Transparent Glass.** All window glass shall be highly transparent with low reflectance. Light transmission should be approximately 90 percent for ground story windows and a minimum of 75 percent for upper story windows.
 - d. **Lintels.** Lintels shall be expressed above all windows and doors, whether by a change in brick coursing or a separate element, ~~unless glass curtain wall is utilized.~~
 - e. **Security Grills.** Grills shall be fully retractable and completely within the interior of the building and inconspicuous to the extent possible. Exterior bars are prohibited on any window.
 - f. **Awnings.** All awnings shall be canvas or metal. Plastic awnings are prohibited. Awning colors shall meet the requirements of [27-98.E.3.d Color](#). Awnings are preferred to have open ends. Add Awning Shapes permitted? No curved? Refer to [Figure 27-98-38 Awnings](#).
 - g. **Shutters.** If installed, shutters, whether functional or not, shall meet the following requirements:
 1. All shutters shall be sized for the windows, so that if the shutters were to be closed, they would not be too small for complete coverage of the window.
 2. Shutters shall be wood, metal, or fiber cement. Other "engineered" woods may be approved during the site plan process with an approved sample and examples of



Permitted Awnings: Metal



Permitted Awnings: Canvas

Figure 27-98-37 Awnings



Figure 27-98-38 Balconies Integral to Facade

successful, high quality local installations. Vinyl shutters are also permitted in a color consistent with the trim of the building.

(5) Balconies. Balconies include any platform that projects from the wall of a building above grade and is enclosed by a parapet or railing. These regulations do not apply to false balconies, sometimes referred to as Juliet balconies or balconets, **which are permitted**. False balconies consist of a rail and door, with no outdoor platform. The following applies in all locations where balconies are part of the facade design facing any street. Refer to [Figure 27-98-39 Balconies Integral to Facade](#).

- a. Size.** Balconies shall be a minimum of 4 feet deep and 6 feet wide.
- b. Connection to Building.** Balconies shall be integral to the facade. Balconies on stepped-back stories may be independently secured, extending from the facade. Balcony structure shall not include more than one balcony **platform; however, the platform may be divided divided to serve two units.**
- c. Facade Coverage.** A maximum of 40 percent of the front and corner side facades, as calculated separately, may be covered with balconies, including street-facing railing and balcony structure.

(6) Garage Doors. The following requirements apply to garage doors **provided** on any street facade.

- a. Location.** Garage doors are not permitted on Primary Street facades unless not utilized for vehicular access (but for patio access, open air dining). Garage doors are permitted on Secondary Street Facades with direct access to the street. The preferred location is on interior lot facades.



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General Building Design Requirements

b. Recessed from Facades. Garage Doors located on street facing facades shall be recessed a minimum of 3 feet from the dominant facade of the principal building facing the same street.

c. Design. Garage doors facing a Secondary Street and intended to be closed during business hours shall be clad in a primary material with a design consistent with the design of the building. Carriage-style doors are required on the Townhouse and Yardhouse Building Type.

(7) Ground Story at Sloping Facades.

a. Intent. Given the slopes in many parts of the Perimeter Center area, building design must accommodate grade changes along the sidewalk without creating tall, out-of-scale blank walls. Large, unarticulated building facades signal to pedestrians that an area is not intended for walking, reducing activity in the area and creating dead zones. Refer to [Figure 27-98-40](#) for example.

b. Regulations for Shopfronts.

1. Grade transitions at the building scale along the sidewalk should be designed to maximize active pedestrian-scale frontages between waist and eye level while minimizing blank walls.
2. When possible, the interior floor configuration should step to match the exterior grade.
3. If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by a storefront window display space.

4. Knee wall shall not exceed 30 inches in height except along a maximum 15 foot section of facade length.
5. If grade change is more than 12 feet along a single block face, entrance requirements may be increased to one entrance per 80 feet of building frontage.

c. Regulations for Residential and other Building Frontages.

1. Grade transitions at the building scale along the sidewalk should be designed to minimize blank walls.
2. When possible, the interior floor configuration should step to match the exterior grade.
3. Multiple front entrances along the street activate each segment of building section at each grade.
4. Transition zones between the sidewalk and building facade of porches, terraces, and landscape areas can assist with grade changes.
5. If it is necessary for the interior floor to remain constant along the grade, changes can be accommodated by terraced planters and retaining walls.
6. Retaining walls shall not exceed 30 inches in height except along a maximum 15 foot section of frontage.



Figure 27-98-39 Examples of Ground Story along Slope.

7. When the elevation of the first floor is more than 3 feet above grade, windows should be provided into the basement or lower floor elevations.

(8) Fueling Stations.

Refer to [Figure 27-98-41](#) for one illustration of the following requirements.

- a. **Structure Location.** Any building shall be built up to any corner with the longest facade along any Primary Street. If no Primary Street abuts the parcel, along the Parkway Facade.
- b. **Side Yard Parking.** One double loaded aisle of parking is permitted on the interior side along a Primary Street, perpendicular to the street.
- c. **Pumps and Canopy Location.** The pumps and canopy may be located on the interior of the parcel, but may have front driveways to a street.
- d. **Structure Build-to Zone.** The structure shall be built to within 5 feet to 15 feet of the edge of the Street Type frontage.
- e. **Structure Facade Design.** The facade of any building shall meet all general design requirements within this section, [27-98.E](#).

- f. **Pavement.** Site paving shall consist of maximum 22 feet driveways and lanes along parking and along pumps. All other areas shall be landscaped.

(9) Accessory Drive-through Structures.

Refer to [Figure 27-98-42](#) for one illustration of the following requirements.

- a. **Structure/Canopy.** Drive-through structures or canopies shall be located on the rear facade of the building or in the rear of the lot behind the building, where permitted by use. The structure shall not be visible from any Primary Street.
- b. **Stacking Lanes.** Stacking lanes shall be located perpendicular to the Primary Street or behind the building.
- c. **Materials.** The canopy and structure shall be constructed of the same materials utilized on the building.

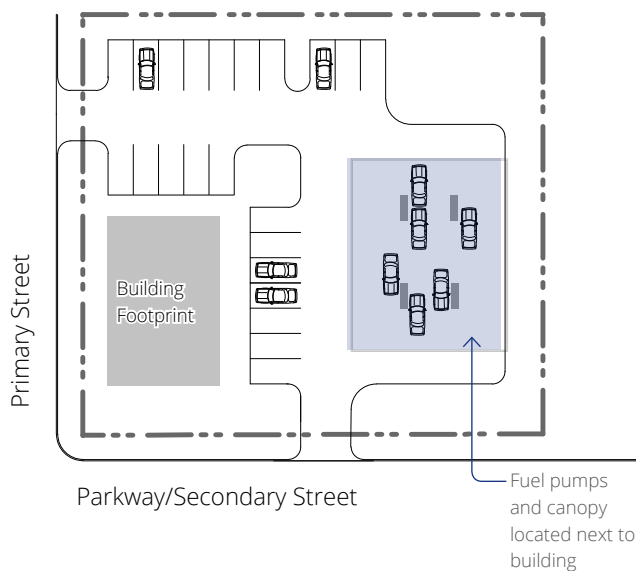


Figure 27-98-40 Recommended Gas Station Layout.

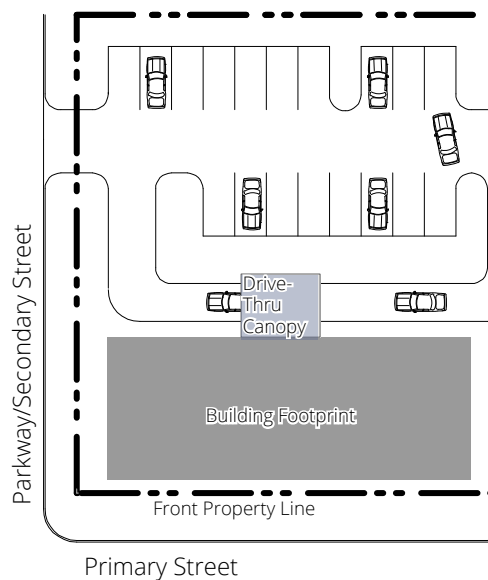


Figure 27-98-41 Recommended Drive-Through Facility Layout.

(10) Parking Structures Fronting a Street.

The following requirements are provided for parking structures fronting a Secondary Street or Parkway.

- a. **Applicability.** The following applies to all parking structures fronting a street.
 1. **Primary Streets.** Parking structures, whether accessory or principal use, shall not front a Primary Street, **unless a Special Land Use Permit is approved per 27-10.**
 2. **Perimeter Center Districts.** In the Perimeter Center (PC) Districts, parking structures as the principal use on the lot require a special land use permit (refer to Section 27-351 Special Land Use Permits) and shall meet the following requirements. Accessory parking structures are permitted to front Secondary Streets and, in some cases, Parkways, per the Building Type regulations.
- b. **Example Image.** Refer to [Figure 27-98-43 Example of Permitted Parking Structure](#) for an illustrative example of a parking structure, illustrating elements of compliance.
- c. **Frontage Requirements for all Street Types.** Refer to 27-98.B Street Types for frontage requirements between the curb and the building.
- d. **Parking Structure Design Requirements.**
 1. **Materials.** Primary and secondary material requirements defined in the Perimeter Center Overlay for all buildings shall be met

on all street facades of the parking structure. Additional permitted secondary material is stained, finished concrete. Refer to [27-98.E.3 Materials & Color](#).

2. **Ramps.** Facades with ramps and slopes shall be located on the rear or interior side of the lot, or on Secondary Streets as designated in [Figure 27-98-2 Street Types Map](#).
3. **Facade Divisions.** Vertical divisions the full height of the structure are required every 30 feet to de-emphasize the horizontal decks. Divisions shall be a minimum of 2 feet in width with a minimum projection of 2 inches.
4. **Blank Wall Limitations.** No rectangular area greater than 30 percent of any story's facade, as measured from floor to floor, and no horizontal segment of a story's facade greater than 15 feet in width may be solid, blank wall.
5. **Pedestrian Entry.** A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the sidewalk. If the entry is enclosed, windows are required to meet a transparency rate of 65 percent.
6. **Cap.** The top story of the parking structure shall include a parapet roof type along the street facades. For Perimeter Center Districts, refer to [27-105.D.10 Roof Types](#).
7. **Vehicular Entrances.** Driveways shall be no wider than 22 feet and the entrance and exit should be split, if possible. Driveway access should be located on a Secondary Street, where available. If no Secondary Street abuts the parcel, then the drive should be located off a Parkway. No more than two access points shall be located on any one street.

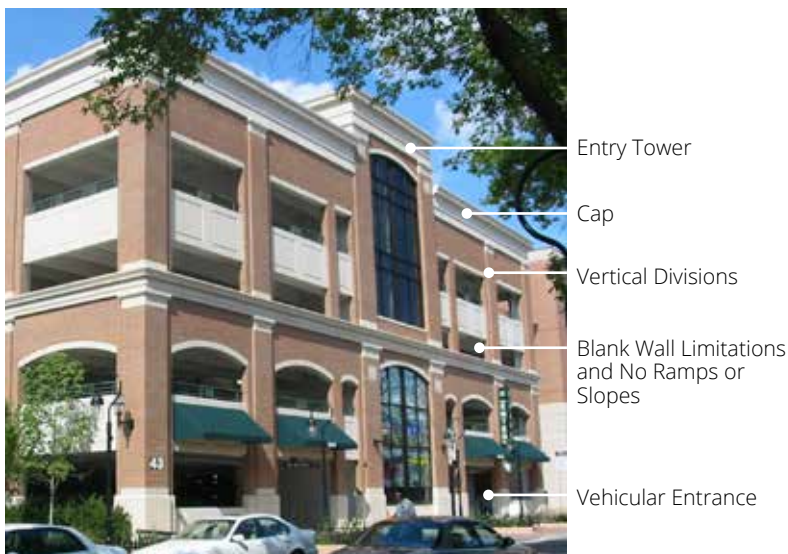


Figure 27-98-42 Example of Permitted Parking Structure

(f) Sustainability Measures

(1) Intent. The following requirements are intended to further the sustainability goals of the City defined in the most current Sustainability Plan adopted by the City.

(2) Applicability. The sustainable development measures in this section shall be addressed by all developments in the Perimeter Center Overlay in accordance with the following minimum point values based on project magnitude. **Measures count only if they are part of the new development application; measures already in place at the time of application do not count.**

- a. 2 Points Minimum.** Any development project that either increases an existing building footprint by 30 percent or more of gross building area; or includes the replacement, renovation, or reconfiguration of 60 percent or more of the total site parking area (inclusive of required parking lot landscaping areas), shall earn a minimum of 2 points in accordance with this section.
- b. 5 Points Minimum.** Any development project that increases an existing building footprint by 60 percent or more of gross building area shall earn a minimum of 5 points in accordance with this section.
- c. 7 Points Minimum.** Any development project that involves the complete renovation or replacement of an existing building shall earn a minimum of 7 points in accordance with this section.

(3) Calculation & Evaluation.

- a. Minimum Points.** All point values shall be awarded based on meeting the minimum requirements of each sustainability measure, as indicated in this section. The sum of all assigned values for achieved sustainability measures, as indicated in this section and summarized in [Figure 27-98-44 Sustainability Measures & Values](#), shall meet the minimum point requirement per project.
- b. Review and Approval.** Documentation of which measures and total number of points the applicant will achieve shall be indicated on the Development Permit application submitted to the City (refer to Article V, Division 9).
- c. Requirements.** The applicant shall achieve no fewer than the required points based on project magnitude (see 27-98.F.2, above) from any combination of the sustainable development measures as valued in [Figure 27-98-44](#)

MEASURES	VALUE
Certified Green Building	7 points
Building Energy Efficiency	3 points
Building Water Efficiency	2 points
Water-Efficient Landscaping	2 points
Renewable Energy Sources	5 points
Green Roof	4 points
Heat Island Reduction	2 points
Pervious Pavement	2 points
Enhanced Bicycle Amenities	up to 2 points
Alternative Measure	1 to 3 points

Figure 27-98-43 Sustainability Measures & Values

[Sustainability Measures & Values](#). No partial points will be accepted.

- d. Documentation.** The applicant shall submit supporting documentation as noted per measure.

(4) Measures & Requirements**a. Certified Green Buildings Measure**

- 1. Minimum Requirement.** Certify a new construction building or building undergoing major renovations through a green building rating system requiring review by an independent, third-party certifying body and approved by the Community Development Director. **The score shall be mid- to high-level, reflecting multiple measures included in this section 27-98.F, such as silver, gold, or platinum by a USGBC green building product.**
- 2. Documentation.** Required documentation includes registration of the project with the system, payment of all applicable fees for the rating system, and a draft scorecard showing the achieved credits or points.

b. Building Energy Efficiency Measure

- 1. Minimum Requirements.**
 - i. New Construction Buildings.** Newly constructed buildings must demonstrate an average 10 percent improvement

over the energy code currently in effect in the city.

- ii. **Major Renovation.** Building must demonstrate an average 5 percent improvement over the energy code currently in effect in the city.

2. **Documentation.** Required documentation includes an energy model demonstrating that the building(s) will achieve the proposed improvements.

c. Building Water Efficiency Measure

1. **Minimum Requirements.** Indoor water use in new buildings and major renovations must be an average 20 percent less than in baseline buildings. Baseline water usage shall be determined based on fixtures per the Energy Policy Act of 1992 and subsequent rulings by the United States Department of Energy or a similar method approved by the Community Development Director.
2. **Documentation.** Required documentation includes cut sheets for all water fixtures.

d. Water-Efficient Landscaping Measure

1. **Minimum Requirements.** Reduce potable water used for landscape irrigation by 50 percent from a calculated midsummer baseline case by using either one of the following methods:
 - i. Utilizing all xeriscape plant materials and providing no permanent irrigation system
 - ii. Using only captured rainwater with an irrigation system
2. **Documentation.** Required documentation includes a landscape and irrigation plan, illustrating the system.

e. Renewable Energy Sources Measure

1. **Minimum Requirements.** Incorporate renewable energy generation on-site with production capacity of at least 5 percent of the building's annual electric or thermal energy, established through an accepted building energy performance simulation tool.
2. The following renewable energy generation sources are applicable:
 - i. Solar thermal or photovoltaics.
 - ii. Ground-sourced heating or cooling.
 - iii. Fuel cells and microturbines using non-fossil fuel
 - iv. Wind energy conversion.

- v. **Other means of generating electricity without using a fuel, such as kinetic, heat exchange, approved by the Community Development Director.**

3. **Documentation.** Required documentation includes specifications and construction details for the installation of the system.

f. Green Roof Measure

1. **Minimum Requirements.** Install a vegetated roof for at least 50 percent of any building roof area or roof deck.
2. **Documentation.** Required documentation includes roof construction plans with drainage and planting details.

g. Heat Island Reduction Measure

1. **Minimum Requirements.** Use any combination of the following strategies for 35 percent of all on-site, non-roof hardscape areas, including sidewalks, plazas, courtyards, parking lots, parking structures, and driveways.
 - i. **Tree Canopy Cover.** Coverage of the surface at canopy tree maturity in 15 years.
 - ii. **Solar reflective paving & roofing with a SRI (solar reflectance index) of at least 29.**
2. **Documentation.** Required documentation includes plans and specifications for installation of the strategy.

h. Pervious Pavement Measure

1. **Minimum Requirements.** Install an open grid or pervious pavement system that is at least 40 percent pervious on 80 percent of all hardscape surface areas, including sidewalks, plazas, courtyards, parking lots, and driveways. **The water shall be directed into the groundwater or other acceptable storm accommodation per Public Works Director .**
2. **Documentation.** Required documentation includes plans and specifications for installation of the strategy.

i. Enhanced Bicycle Amenities Measure

1. **Minimum Requirements.** **Inclusion of 2 of the following earns 1 point. Inclusion of 3 of the following earns 2 points.**
 - i. **Lockable enclosed bicycle storage.** Provide 1 secure, enclosed bicycle

storage space for 10 percent of planned employee occupancy.

- ii. **Employee shower facilities.** Provide a minimum of one shower facility per 150 employees, minimum of one.
- iii. **Bicycle parking spaces.** Provide bicycle parking at the following rates:
 - (a) **Nonresidential.** One short- or long-term bicycle parking space for every 5 required motor vehicle parking spaces. Refer to 27-202 for minimum motor vehicle parking ratios.
 - (b) **Residential.** Two long-term parking spaces, per 27-205, for each residential unit.
 - (c) **Motor Vehicle Space Reduction.** The maximum allowable reduction in motor vehicle parking spaces, permitted per 27-205, shall be utilized in all cases.
- iv. **Repair Center.** Provide a designated bicycle repair center open to the public and consisting of an air pump, water, and tools at a minimum.

- 2. **Documentation.** Required documentation includes site and/or building plans locating the measures included.

j. Transportation Demand Management.

- 1. **Minimum Requirement.** Provision of 3 or more of the following transportation demand management tools on the project.
 - i. Flex-time work schedules by employers to reduce congestion at peak times.
 - ii. Provision of building or project bicycle rentals for use by any occupant.
 - iii. Free ride home in case of emergency or sickness for employees using transit.
 - iv. Provision of transit passes to building occupants for a period of 2 or more years.
 - v. Other tools that encourage transit and bicycle use, or reduce personal vehicular traffic may be approved by the Community Development Director
- 2. **Documentation.** Required documentation includes a written narrative of the tools to be provided and any other documentation required by the Community Development Director.

k. Alternative Measure (1 to 3 points).

The applicant may submit an alternative sustainable development measure for review and recommendation by the Community Development Director. The measure shall further a sustainability goal and shall not be considered standard practice for current developments.

- 1. **Minimum Requirements.** The measure shall be unrelated to any of the other measures defined in this Section. Based upon their review, the Community Development Director shall make a recommendation for the number of points to be awarded.
- 2. **Documentation.** Required documentation shall clearly illustrate that the project will achieve the measure and that the measure furthers a sustainability goal.

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DRAFT



Perimeter Center Districts

City of Dunwoody, Georgia



DRAFT

JULY 24, 2015



City of Dunwoody

41 Perimeter Center East
Suite 250
Dunwoody GA 30346

City Mayor

Michael Davis

City Council

Lynn Deutsch
John Heneghan
Terry Nall
Jim Riticher
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Sounding Board

Robert Miller, Sounding Board Chair
Alex Chambers
Bob Dallas, Planning Commission Chair
Jennifer Harper, Perimeter Community Improvement District (PCID)
Stacey Harris, Zoning Board of Appeals
Robert Miller, Sounding Board Chair
Cheryl Spitalnick
Tony Torbert



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27-103 General

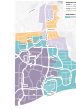
SECTIONS

- A. Intent & Applicability
- B. Administration & Procedures
- C. How to Use this Code
- D. Definitions.

How To Use The PC Districts

1

Locate parcel on
Regulating Map Figure 27-104-1
to determine which district is designated



27-104
PC Districts

2

Review
District Requirements
to determine permitted Building Types, Uses, Height, and other requirements



27-104(b) to (e)
PC Districts

If the development is for a site where
New Streets
are shown, go to Street Types



27-98(d)
Perimeter Center Overlay

If the development is for a site that is
3 acres or greater in size
go to Open Space Types



27-106
PC Districts

3

Review
Building Types
to comply with requirements for Building Type(s) and their site(s)



27-105
PC Districts

4

Locate parcel on
Street Types Map Figure 27-98-1
for Street Type designation for use with Building Types and Frontage requirements



27-98(b)
Perimeter Center Overlay

5

Review
Street Type Frontage Requirements
to determine street buffer, sidewalk/trail, and frontage landscape



27-98(b)
Perimeter Center Overlay

If the development is for a site where
New Off-Street Trails
are shown, go to Trails



27-98(a)
Perimeter Center Overlay

If the development
Borders a different district
(or single-family neighborhood as noted), go to Transitional Buffers



27-98(c)
Perimeter Center Overlay

6

Determine the applicable
Development Approval Process
to prepare all required application materials

27-103(b)
Perimeter Center Districts

Figure 27-103-1 How to Use the Code

(a) Intent & Applicability

(1) Intent. The regulations of the Perimeter Center districts are intended to further the goals of the Perimeter Center Overlay, as stated in 27-98.A Intent and Applicability.

(2) Applicability. These regulations apply a parallel set of zoning districts and regulations to lots within the limits of Perimeter Center as illustrated on the City's zoning map and Figure 27-104-1 Regulating Map. New development in these areas may be developed wholly utilizing the regulations of this division or wholly utilizing the regulations of the non-Perimeter Center specific, applicable zoning districts.

(b) Administration & Procedures

(1) Establishment of Perimeter Center Districts. Perimeter Center (PC) zoning district classifications may be applied to property and PC district boundaries may be amended only in accordance with the amendment procedures of article V, division 2.

(2) Effect of Establishment. Once property has been classified in a Perimeter Center district, the subject property is subject exclusively to the applicable Perimeter Center district regulations and any applicable overlay district regulations.

(3) Review and Approval Procedures. Unless otherwise expressly stated, all uses and development in Perimeter Center districts are subject to the applicable review and approval procedures of article V, as well as any applicable procedures in chapter 16 of the municipal code (land development regulations).

(4) Site Plan Review. All applications for development permits within a Perimeter Center district must be accompanied by a site plan, which is subject to review and approval in accordance with article v, division 10.

(5) Relief. The Perimeter Center districts are intended to accommodate development as-of-right when such development occurs in strict conformance with applicable regulations. In some instances, however, unique site conditions, existing building circumstances or other constraints related to the subject property may make strict compliance impossible or highly impractical. In such instances, an applicant may seek relief from applicable regulations. Any relief granted and conditions imposed run with the land and are binding on the subject property owner and all future property owners.

a. Minor Exception-Administrative Relief. The community development director is authorized to approve the following minor exceptions in accordance with the administrative permit procedures of article v, division 7:

1. The location of a building relative to any minimum setback requirement or build-to zone width/location, provided that location deviates from strict compliance by no more than **one five feet**;
2. An increase in total impervious coverage by no more than 10 percent, not to exceed the total amount of permitted impervious plus semi-pervious coverage;
3. A decrease in build-to zone coverage by no more than 10 percent;
4. A reduction in the amount of required Shopfront building frontage along Primary Streets, by no more than 10 percent;
5. Additional height of any building story by no more than 2 feet, provided that the overall building height does not exceed the allowable height of all floors at maximum permitted height;
6. An increase in the maximum permitted height of a retaining wall by up to **one five feet**; and
7. Any other minor exception expressly authorized under the Perimeter Center district regulations.

b. Major Exceptions-Special Land Use Permit.

Major exceptions to strict compliance with the Perimeter Center district regulations include any exception to strict compliance that is not expressly authorized as a minor exception under the provisions of subsection 27-103(B)(5) a. Major exceptions require review and approval in accordance with the special land use permit procedures of article v, division 3.

(c) How to Use this Code

Refer to Figure 27-103-1 for an overview of code use.

(d) Definitions.

For the purposes of Division 5: Perimeter Center Districts, the following terms shall have the following meanings. Refer to Article VII, Division 3 for additional definitions.

Build-to Zone. For the Perimeter Center area, the Build-to Zone is an area in which the facades of a building shall be placed. The zone dictates the minimum and maximum distance a structure may be placed from the edge of the frontage set by Street Type per the Perimeter Center Overlay. Refer to 27-105.C.1.b for explanation of Build-to Zones and illustrations of their use in the Perimeter Center districts.

Building Type. A structure defined by the combination of configuration, form, and function. Refer to 27-105 Building Types for more information and the list of permitted Building Types. Building Types are permitted by district. Refer to 27-104 Districts.

Building Type, Civic. Refer to 27-105.B.2.e. Civic Building Type.

Building Type, General. Refer to 27-105.B.2.b General Building Type.

Building Type, Shopfront. Refer to 27-105.B.2.a Shopfront Building Type.

Building Type, Townhouse. Refer to 27-105.B.2.c Townhouse Building Type.

Building Type, Yardhouse. Refer to 27-105.B.2.d Yardhouse Building Type.

Courtyard. An outdoor area enclosed by a building facade on at least 3 sides and open to the sky.

Expression Line. An architectural feature consisting of a decorative, three-dimensional, linear element, horizontal or vertical, protruding or indented at least 1.25 inches from the exterior facade of a building. It is typically utilized to delineate the top or bottom of floors or stories of a building.

Fenestration. For the purposes of the Perimeter Center districts, and in addition to the standard definition of the word, fenestration is the measurement of the percentage of a facade that has highly transparent, low reflectance windows. Mirrored glass is not permitted. Note: Current ordinance definition: "Fenestration means the arrangement, proportioning, and design of windows and doors in a building."

Frontage. Frontages require pedestrian and bicyclist accommodations required within the space between the building and the existing curb for all Street Types within the Perimeter Center districts. Street Types are designated by Figure 27-98-2 Street Types Map in the Perimeter Center Overlay. A variety of different

frontage options are defined per Street Type.

Interior Lot. Interior lot refers to any facade that does not face a street, faces the interior of the lot, or is located such that a parking lot is between the building and the street,

Main Parking Lot. A parking lot that contains more than 50 percent of the parking designated for a particular building.

Occupied Space. Interior building space regularly occupied by the building users. It does not include storage areas, utility space, or parking, but includes hallways, stairwells, and elevators.

Open Space Type. The permitted and regulated types of open spaces in the Perimeter Center districts. Refer to 27-106 Open Space for more information and a list of the permitted open space types.

Open Water. A pond, lake, reservoir, or other water feature with the water surface fully exposed.

Parkway. See definition of "Street Type."

Pedestrianway. A pathway designed for use by pedestrians; it can be located mid-block allowing pedestrian movement from one street to another without traveling along the block's perimeter.

Porch. For the purposes of this code, a porch is a roofed, raised structure at the front entrance into the building, and a transition between the interior of the building and the sidewalk outside the building. Refer to Figure 27-103-3 Porch with Accessible Ramp.

Primary Street. See definition of "Street Type."

Roof Type. The detail at the top of a building that finishes a facade, including such types as a pitched roof with various permitted slopes and a parapet. Refer to 27-105.D.10 Roof Types for more information and a list of the permitted Roof Types.

Secondary Street. See definition of "Street Type."

Semi-pervious Lot Coverage. The percentage of a lot with semi-pervious surfaces installed. See "Semi-pervious Surface."



Figure 27-103-2 Porch with Accessible Ramp

Semi-pervious Surface. Also referred to as semi-pervious material. For the purposes of the Perimeter Center Districts, semi-pervious surface means either a material covering a surface that allows for at least 40 percent absorption of water into the ground or plant material, such as pervious pavers, permeable asphalt and concrete, or gravel, or a vegetated roof.

Stoop. A platform entranceway at the front door to a building, providing a transition between the interior of the building and the sidewalk outside the building. The stoop may be elevated or at grade, and may be covered by a canopy or awning. Refer to Figure 27-103-4 Stoop with Accessible Ramp.

Story, Ground. Also referred to as ground floor. The first floor of a building on any street facade that is level to or elevated above the finished grade on any street facade.

Story, Half. A story either in the basement of the building, partially below grade and partially above grade, or a story fully within the roof structure with fenestration facing the street.

Story, Upper. Also referred to as upper floor. All floors located above the ground story of a building. Upper stories may be half stories.

Street Facade. The facade of a building that faces a street right-of-way.

Street Type. Street Types are defined for all streets within the Perimeter Center area per 27-98.B within the Perimeter Center Overlay. Street Types include Major and Minor Parkways, Primary Streets, and Secondary Streets.

Transitional Buffer. The required landscape treatment along the side and/or rear property line of a site based on the adjacent district or use. Refer to 27-98.C

Transitional Buffers.

Vegetated Roof. For the purposes of the Perimeter Center districts, a vegetated roof is that portion of the roof of a building covered with vegetation and a growing medium, planted over a waterproofing membrane. It may also include additional layers such as a root barrier and drainage and irrigation systems.

Visible Basement. A half story or basement partially below grade and exposed above grade a minimum of one half the minimum floor-to-floor height. Visible basements must have required fenestration on the street facade.



Figure 27-103-3 Stoop with Accessible Ramp

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27-104 Districts

SECTIONS

- A. Establishment of Districts & Regulating Map
- B. PC-1 District
- C. PC-2 District
- D. PC-3 District
- E. PC-4 District
- F. Uses
- G. Measuring Height

(a) Districts & Regulating Map

(1) District Map. The Perimeter Center districts are designated in Figure 27-104-1 Regulating Map.

(2) District Requirements. The requirements in this subsection apply to the Perimeter Center districts as follows.

a. Requirements Specific to each District. Refer to 27-104.B through 27-104.E for specific descriptions and requirements for each district.

b. General Requirements for all Districts. Refer to 27- 104.F Uses through 27-104.G Measuring Height for requirements applicable to all districts.

(3) Street Types. Refer to section 27-98.B Street Types within the Perimeter Center Overlay for information on Street Types and street frontage requirements applicable to all Perimeter Center districts.

(4) Transitional Buffers. Refer to section 27-98.D Transitional Buffers within the Perimeter Center Overlay for information on buffer and screen requirements between different districts and uses.

(5) New Streets & Blocks. Refer to section 27-98.C Streets and Blocks within the Perimeter Center Overlay for information on new street design requirements and block configurations.

(6) Other Perimeter Center Overlay Requirements. Refer to sections 27-98.E General Building Design Requirements and 27-98.F Sustainability Measures within the Perimeter Center Overlay.

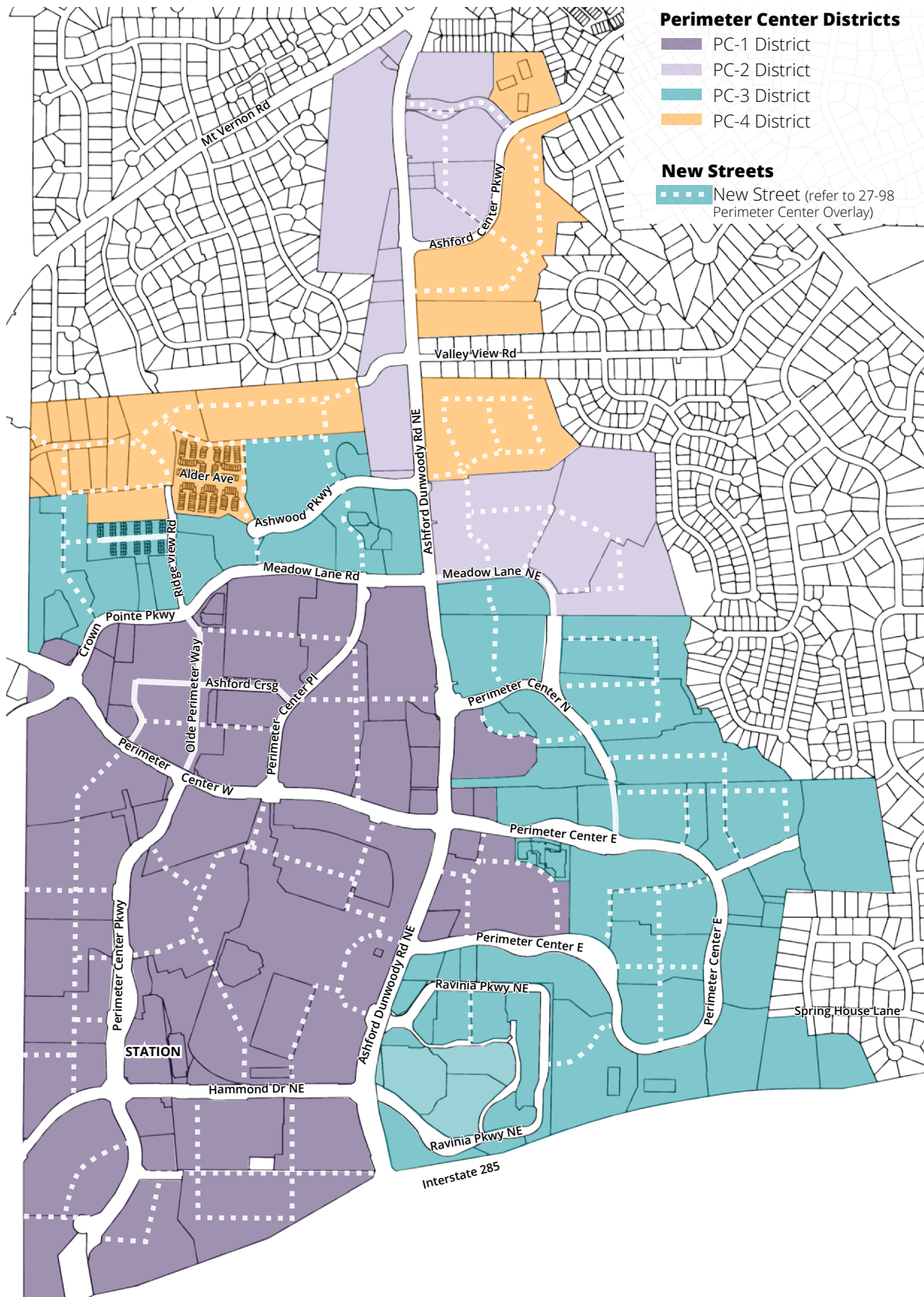


Figure 27-104-1 Regulating Map

(b) PC-1 District

Requirements for this district are provided in Figure 27-104-2 PC-1 District Requirements.

(1) Description & Intent. The PC-1 District is intended to apply to the central core area of Perimeter Center, including the area directly surrounding the Dunwoody MARTA train station. This district allows for the highest intensity of buildings, a high level of employment uses, and active ground story uses and design that support pedestrian mobility.

PC-1 DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	● Minimum 60% of the length of all Primary Street frontages shall be fronted with the Shopfront Building. Refer to 27-98-2 Street Type Map.	27-105 Building Types
	General	●	
	Townhouse		
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	For all developments over 3 acres in size, a minimum of 2 use categories shall be accommodated.	27-104.F Uses
HEIGHT	Minimum	3 stories for parcels larger than 3 acres	27-105.B floor-to-floor heights per Building Type; 27-105.D.4 Tall Building Design
	Maximum	35 stories	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum Block Perimeter	Maximum 2500 feet; Recommended maximum: 1800 feet	27-98.D Streets & Blocks
	Minor Parkway	●	27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
	Secondary Street Narrow		
SITE COVERAGE	Maximum Impervious Cover	80 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	95 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one permitted Open Space Type is required within 1/8 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza	●	27-106 Open Space Types
	Green	●	
	Commons	● Permitted but shall not be used to meet open space requirement.	
	Park	●	

● = permitted

Figure 27-104-2 PC-1 District Requirements

(c) PC-2 District

Requirements for this district are provided in Figure 27-104-3 PC-2 District Requirements.

(1) Description & Intent. The PC-2 District is made up primarily of employment uses [, residential buildings?,] and limited shopfront retail and services.

PC-2 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront	● Permitted on Primary Street frontages only. Refer to 27-98.XX Street Type Map.	27-105 Building Types
	General	●	
	Townhouse	●	
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story; single story buildings shall be 18 to 24 feet in height.	27-105.B floor-to-floor heights per Building Type; 27-105.D.4 Tall Building Design
	Maximum	14 stories; within 500 feet of single-family residences, heights limited to 6 stories (see Overlay requirements for transitional buffers 27-98.B)	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Recommended 2000 feet; Maximum 2500 feet	27-98.D Streets & Blocks
	Minor Parkway	●	27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
	Secondary Street Narrow		
SITE COVERAGE	Maximum Impervious Cover	65 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	75 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/4 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza	●	27-106 Open Space Types
	Green	●	
	Commons	●	
	Park	●	

● = permitted

Figure 27-104-3 PC-2 District Requirements

(d) PC-3 District

Requirements for this district are provided in Figure 27-104-4 PC-3 District Requirements.

(1) Description & Intent. The PC-3 District is a smaller scale less intensive commercial district, permitting both shopfront buildings and office buildings.

PC-3 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront	● Minimum 80% of the length of all Primary Street frontages shall be fronted with Shopfronts Refer to 27-98.XX Street Type Map.	27-105 Building Types
	General	●	
	Townhouse	●	
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story; single story buildings shall be 18 to 24 feet in height.	27-105.B floor-to-floor heights per Building Type; 27-105.D.4 Tall Building Design
	Maximum	3 stories; heights up to 6 stories are permitted for no more than 50 percent of the building footprint. Height shall not exceed 3 stories within 500 feet of single-family residences	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Maximum 2500 feet	27-98.D Streets & Blocks
	Minor Parkway	●	27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
	Secondary Street Narrow		
SITE COVERAGE	Maximum Impervious Cover	75 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	85 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/4 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza	●	27-106 Open Space
	Green	●	
	Commons	● Permitted but shall not be used to meet open space requirement.	
Park	●		

● = permitted

Figure 27-104-4 PC-3 District Requirements

(e) PC-4 District

Requirements for this district are provided in Figure 27-104-5 PC-4 District Requirements.

(1) Description & Intent. The PC-4 District is made up primarily of residential uses at a scale that provides a transition between the intensity of Perimeter Center and the surrounding single-family residential neighborhoods.

PC-4 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront		27-105 Building Types
	General	○ Permitted only for Age-Restricted Buildings, Lodging, Quasi-Public & Institutional Uses	
	Townhouse	●	
	Yard House	●	
	Civic		
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story	27-105.B floor-to-floor heights per Building Type
	Maximum	3 4 stories	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Maximum 2200 feet	27-98.D Streets & Blocks
	Minor Parkway		27-98.B Street Types
	Primary Street	●	
	Secondary Street	●	
Secondary Street Narrow		●	
SITE COVERAGE	Maximum Impervious Cover	60 percent	27-621 Terms Defined & 27-103.D Definitions
	Maximum Impervious plus Semi-Pervious Cover	70 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/8 of a mile of the principal entrance(s) to each building.		27-106 Open Space
	When multiple open spaces are required, no more than 2 of any one type may be utilized to meet the required open space.		
	Plaza		
	Green	●	
	Commons	●	
	Park	●	

● = permitted

○ = permitted under listed conditions

Figure 27-104-5 PC-4 District Requirements

(f) Uses

The following applies to all Perimeter Center districts.

(1) Use Table. The following apply to the uses outlined in this section. Refer to Figure 27-104-6 Table of Permitted Uses.

- a. Use Categories.** Refer to 27-111 through 27-116.
- b. Permitted and Special Uses.** Each use may be permitted as-of-right, permitted with an administrative permit, permitted as a special exception, or permitted with a special land use permit. Refer to 27-111(4) Use tables.
- c. Number of Uses.** A lot may contain more than one use.
- d. Principal and Accessory Uses.** Each of the uses may function as either a principal use or accessory use on a lot, unless otherwise specified.
- e. Building Type.** Each use shall be located within a permitted Building Type (Refer to 27-105 Building Types), unless otherwise specified.

(2) Use Sub-Categories. For the purposes of fulfilling the Use Mix requirements defined in each district table (refer to 27-104.B through 27-104.E), utilize the following sub-categories of uses, consisting of those uses listed in the table, right, that may contribute to the mix. Some permitted uses are not included.

a. Lodging & Residence Sub-Category

Household Living
Group Living
Lodging

b. Civic Sub-Category

Club or Lodge, Private
Cultural Exhibit
Educational Services
Hospital
Place of Worship

c. Office Sub-Category

Construction and Building Sales and Service
Medical Service
Office or Consumer Service
Research and Testing Services

d. Retail Sales Sub-Category

Retail Sales
Food and Beverage Retail Sales

e. Service Use Sub-Category

Animal Services
Day Care
Repair or Laundry Services, Consumer
Personal Improvement Services
Eating and Drinking Establishments
Financial Services
Entertainment and Spectator Sports
Sports and Recreation, Participant

USES	DISTRICTS				
	PC-1	PC-2	PC-3	PC-4	Reference
RESIDENTIAL					
Household Living					
Detached house	—	—	—	P	
Attached house	—	P	P	P	
Multi-unit building	—	—	—	—	
Age-Restricted Multi-unit building	—	—	—	P	
Group Living	—	S	S	S	
QUASI-PUBLIC & INSTITUTIONAL					
Ambulance Service	S	S	S	S	
Club or Lodge, Private	P	P	P	—	
Cultural Exhibit	P	P	P	P	
Day Care	P	P	P	P	
Educational Services	S	S	S	S	
Hospital	S	S	S	—	
Place of Worship	P	P	P	P	27-146
Utility Facility, Essential	P	P	P	E	27-151
COMMERCIAL					
Animal Services	P	P	S	—	27-131
Communication Services					
Telecommunications antenna mounted to building or similar structure	A	A	A	A	27-150
All other	P	P	P	P	
Standalone tower	S	S	S	S	
Construction and Building Sales and Services	P	P	P	—	
Eating and Drinking Establishments					
Restaurant, drive-in or drive-through (currently permitted in PC-1 District and PC-3 District)	P	—	P	—	27-98.E.17
Food truck	P	P	P	—	27-138
Other eating or drinking establishment	P	P	P	—	

USES	DISTRICTS				
	PC-1	PC-2	PC-3	PC-4	Reference
Entertainment and Spectator Sports					
Indoor	P	P	P	—	
Outdoor	S	S	S	—	
Financial Services					
Banks, credit unions, brokerage and investment services	P	P	P	—	
Food and Beverage Retail Sales	P	P	P	—	
Funeral and Interment Services	P	P	P	—	
Lodging	P	P	P	S	
Medical Service	P	P	P	—	
Office or Consumer Service	P	P	P	—	
Parking, Non-accessory	S	S	S	S	27-98.E.16
Personal Improvement Service	P	P	P	—	
Repair or Laundry Service, Consumer	P	P	P	—	
Research and Testing Services	P	P	P	—	
Retail Sales	P	P	P	—	
Sports and Recreation, Participant					
Indoor	P	P	P	—	
Outdoor	S	S	S	—	
Vehicle and Equipment, Sales and Service					
Gasoline sales	—	—	S	—	27-98.E.14
Vehicle sales and rental (Indoor only)	P	P	P	—	27-154
Vehicle repair, minor	—	—	S	—	27-153

P = use permitted as of right
A = special administrative permit required
E = special exception required
S = special land use permit required

Figure 27-104-6 Table of Permitted Uses

(g) Measuring Height

In the Perimeter Center districts, height is measured by the number of stories. Floor-to-floor height dimensions are provided by Building Type; and overall height can be calculated using these floor-to-floor dimensions.

(1) Minimum and Maximum Number of Stories.

Minimum and maximum heights are defined in stories for each district (refer to 27-104.B through 27-104.E).

a. Minimum Number of Stories. The building must meet the minimum required number of stories for the first 30 feet of depth of occupiable building space measured from the Primary Street or Parkway.

b. Measuring Height in Stories. Refer to Figure 27-104-7 Illustration of Stories.

1. Half stories are located either fully within the roof structure with street-facing windows or in a visible basement exposed a maximum of one half story above grade.
2. A building incorporating both a half story within the roof and a visible basement shall count the height of the two half-stories as one full story.
3. Floors within the building shall be visibly delineated on the street facades by the use of expression lines or the layout of the windows



Figure 27-104-7 Illustration of Stories

c. Roof Types. Refer to 27-105.D.10 Roof Types for permitted roof types. Roof types extend above top the story and are additional dimension in height.

(2) Towers. (Refer to Figure 27-104-8). A tower is a three-dimensional vertical element, that extends above the top story a maximum of one full story above the permitted maximum height. Towers include such building elements as elevator towers, utility towers, decorative towers, and roof access towers.

a. Quantity. All Building Types, with the exception of the Civic Building, are limited to 2 towers per building.

b. Tower Height. Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one upper floor of the building to which the tower is applied.

c. Tower Width. Maximum width along all facades is one-third the width of the front facade or 30 feet, whichever is less. Minimum width is 8 feet.

d. Horizontal Expression Lines. An expression line shall define the tower from the upper stories, except on Yard or Townhouse Building Types.

e. Occupied Space. Towers may be occupied by the same uses allowed in upper stories of the Building Type to which it is applied.

f. Tower Cap. The tower may be capped by the parapet, pitched, low pitched, or flat roof types, or the spire may cap the tower. Refer to 27-105.D.10 Roof Types.

(3) Tall Building Design. (Refer to 27-105.D.4). Refer to Tall Building Design in 27-105 Building Types for design parameters for buildings over 12 stories.

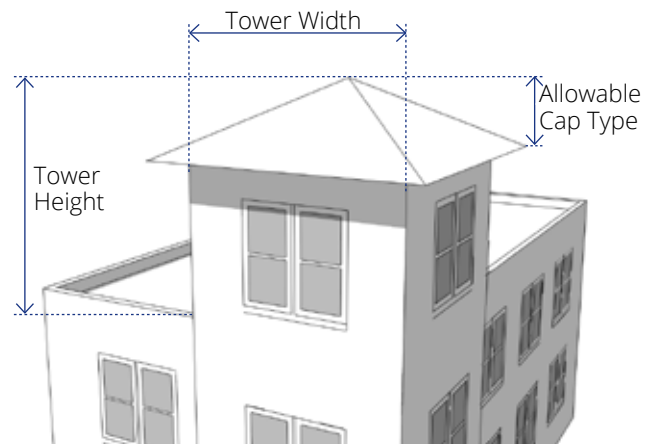


Figure 27-104-8 Tower Extending above Top Story.

27-105 Building Types

SECTIONS

- A. General Requirements
- B. Regulations Specific to Building Types
- C. Explanation of Specific Building Type Requirements
- D. General Building Design Requirements.

(a) General Requirements

The Building Types detailed in this section outline the required building forms for new construction and renovated structures within the Perimeter Center districts defined in 27-104 Districts.

(1) Applicability. The requirements of this section apply to all new development and significant renovations, defined in XXX [will be addressed with process]. All structures must meet the requirements of one of the Building Types permitted within the Zoning District.

(2) Districts, Building Types, and Street Types. For each lot, a designated Perimeter Center district is found on the Regulating Map, Figure 27-104-1.

- a. District.** Each district, per 27-104 Districts, has a set of requirements related to streets, open space, uses, and permitted Building Types.
- b. Building Types.** Each Building Type, as established in this section 27-105, has a set of requirements, including requirements related to the facades facing different Street Types.
- c. Street Types.** Street Types, per section 27-98.B Street Types of the Perimeter Center Overlay, include frontage requirements for the space between the build-to zone of the Building Type and the curb of the street.

(3) Uses. Uses are permitted by District, per 27-104.F Uses. Each Building Type can house a variety of uses depending on the district in which it is located. Some

Building Types have additional limitations on permitted uses as located within the building.

(4) General Building Design Requirements. Refer to section 27-98.E General Building Design Requirements within the Perimeter Center Overlay for information on building design requirements additional to and applicable to all Building Types.

(5) Multiple Principal Structures. Multiple structures are permitted on all lots in the Perimeter Center districts. All structures shall meet the requirements of one of the permitted Building Types for the district.

(6) Permanent Structures. All buildings constructed shall be permanent construction, unless otherwise noted.

(7) Other Structures. Utility structures and towers permitted in the district are exempted from the Building Type standards.

(8) Build to the Corner. The corner of the lot is defined as the intersection of the two build-to zones of each street. Refer to Figure 27-105-2 Corner and Build to Zones on Different Street Types.

a. Corners at Primary Street and Parkways.

Buildings shall be built up to the corner, occupying the intersection of the two build-to zones of any intersection of two Primary Streets, a Primary Street at any Parkway, or two Parkways. Courtyards shall not be located in this area.

b. Corners involving Secondary Streets. Buildings should be built to the corner, occupying the

BUILDING TYPES BY DISTRICT					
DISTRICT	BUILDING TYPES				
	Shopfront	General Building	Townhouse	Yardhouse	Civic Building
PC-1 District	●	●			●
PC-2 District	●	●	●		●
PC-3 District	●	●	●		●
PC-4 District		●	●	●	

● = Permitted

Figure 27-105-1 Permitted Building Types by District

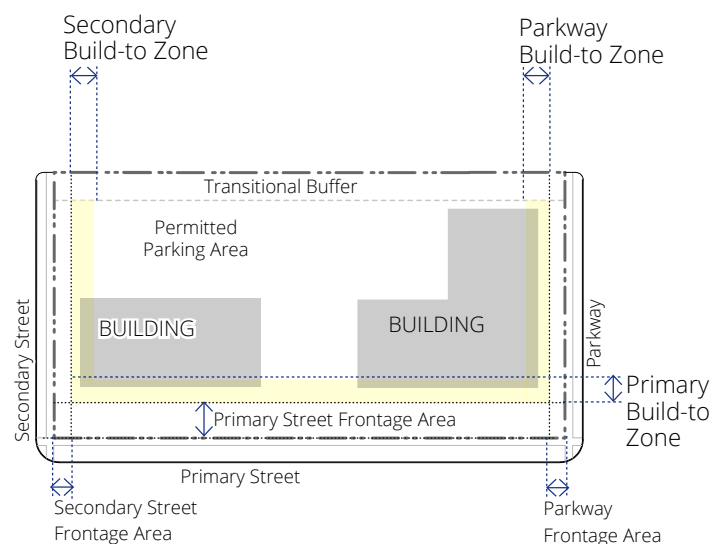


Figure 27-105-2 Corner and Build-to Zones on Different Street Types

intersection of the two build-to zones of any intersection involving a Secondary Street. Courtyards should not be located in this area.

(9) Treatment of Build-to Zones & Transitional Buffers. Refer to 27-103.D Definitions for definition of build-to zones and setbacks.

- a. Landscape Areas.** All build-to zones and setbacks shall only contain courtyards (as permitted by Street Type frontage), plazas (as permitted by Street Type frontage), patios (as permitted by Street Type frontage), sidewalk or trail extensions, buffers, and/or landscape yards, unless otherwise specifically noted.
- b. Surface Parking.** Surface parking lot yard location is determined by Building Type. Refer to 27-105.B Regulations Specific to Building Type.
- c. Driveways.** Driveways may cross perpendicularly through build-to zones and setbacks, when permitted per 27-105.A.10 Driveways, below, or to connect to a parking lot on an abutting lots.

(10) Driveways. Location of vehicular driveway access is based on the Major or Minor Parkway, Primary Street, and Secondary Street designations in Figure 27-98-2 Street Types Map per the hierarchy as follows. Refer to Figure 27-105-3 Driveway Locations by Street Type.

- a. Alleys or Lanes.** Access from an adjacent alley or lane is unlimited. Construction of new private

or public alleys through blocks is encouraged. Minimum pavement width is 20 feet and maximum pavement width is 28 feet.

- b. Secondary Street Access.** If no alley exists, one drive entrance per 400 linear feet of street frontage or 2 total drive entrances, whichever is greater, are permitted from each Secondary Street.
- c. Primary Street.** If no alley or Secondary Street exists, one access point is permitted off each Primary Street.
 - 1. Side Parking off Primary Street.** When side parking with the drive located perpendicular to the street centerline, is utilized as permitted by the Building Type, one driveway is permitted off the Primary Street. This driveway counts towards entrances permitted by 27-105.A.10.c above. The sidewalk paving shall extend across the driveway, signaling priority to the pedestrian.
- d. Parkways.** If no alley, Secondary Street, or Primary Street exists, existing driveways may be utilized off Parkways. New driveways off Parkways are permitted only if no other option exists and a minor exception is granted by Public Works Director .
- e. Shared Driveways.** Shared driveways are required by adjacent developments originally in single ownership and encouraged for all other adjacent developments.
- f. Inter-Lot Drives.** When two or more parking lots are located adjacent to each other and each lot contains the same Building Type, the parking lots shall be connected with a drive perpendicularly crossing the transitional buffer.
- g. Pedestrian Facilities.** At-grade, designated pedestrian routes, including sidewalks and crosswalks, shall be supplied connecting each parking area to either the Primary sidewalk (and front entrance) or a rear public entrance.
 - 1.** Crosswalks shall include pavers or colored concrete pavement across driveways.
 - 2.** Vehicular areas, such as driveways, parking drive lanes, loading lanes, bike lanes/facilities, and parking areas, shall not be utilized as designated pedestrian routes.
- h. Driveway Width.** Driveways shall be no greater than 22 feet in width at the right-of-way line.

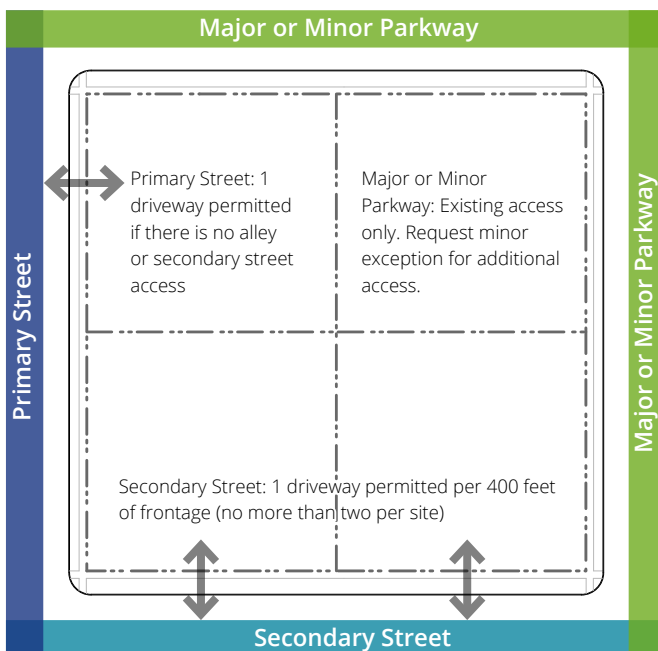


Figure 27-105-3 Driveway Locations by Street Type

Driveways wider than 22 feet shall include landscaped, pedestrian refuge islands with a walk area to reduce the crossing to no more than 22 feet.

- i. Loading Facilities.** Loading facilities for all Building Types in all Perimeter Center districts shall be located as follows:
1. Loading facilities shall not face Primary Streets.
 2. Preferred location for loading facilities is on the interior of the lot, not visible from any streets.
 3. Loading facilities visible from a Parkway or Secondary Street shall be screened from the sidewalk by a fence/wall or a combination of fence/wall and landscape screening.
 - i. Fence/Wall. Fences and walls shall be no taller than 6 feet and shall have a minimum overall opacity of 80 percent. Materials shall meet the requirements of 27-98.E.3a. in the Perimeter Center Overlay.
 - ii. Landscape. Tree canopies shall be used to screen above the 6 foot wall or fence. ~~and to fulfill any Street-Type frontage requirements.~~
 - iii. Shrubs and Hedges. Shrubs and hedges may be utilized to fulfill no more than one third of the screening, as measured along the screen length. A double row of 5 gallon shrubs, with mature height of a minimum 6 feet, is required.

27-105 Building Types

Regulations Specific to Building Types

(b) Regulations Specific to Building Types

(1) Building Type Descriptions & Intentions

- a. Shopfront Building.** The Shopfront Building is intended for use as a mixed use building located close to the sidewalk with parking typically in the rear or side of the lot.

The most distinctive element of this Building Type is the ground floor front facade with large amounts of storefront glass and regularly spaced entrances, typically for retail and service uses.

- b. General Building.** The General Building is intended to be built close to the sidewalk, but may also allow for a landscape yard and drop off drives. This building can be structured to house offices or residential uses, and may have limited amounts of accessory retail and service uses in the ground floor.

Parking is typically provided in structures at the rear of the lot, internally in the rear of the building, but may also have limited surface parking along the side of the building.

- c. Townhouse Building.** The Townhouse Building is a building typically comprised of several multi-story single-family units, located adjacent to each other, each with its own entrance to the street.

Parking is required to be located in the rear, either incorporated into a detached garage or in an attached garaged accessed from the rear of the building.

- d. Yardhouse Building.** The Yardhouse Building is a building surrounded by landscape yard, with an entrance facing the street, and typically housing single family uses.

Parking is required to be located in the rear, either incorporated into a detached garage or in an attached garaged accessed from the rear of the building.

- e. Civic Building Description.** The Civic Building is the most flexible Building Type limited to civic and institutional types of uses.

These buildings are distinctive within the urban fabric created by the other Building Types and could be designed as iconic structures.

(2) Building Type Regulations

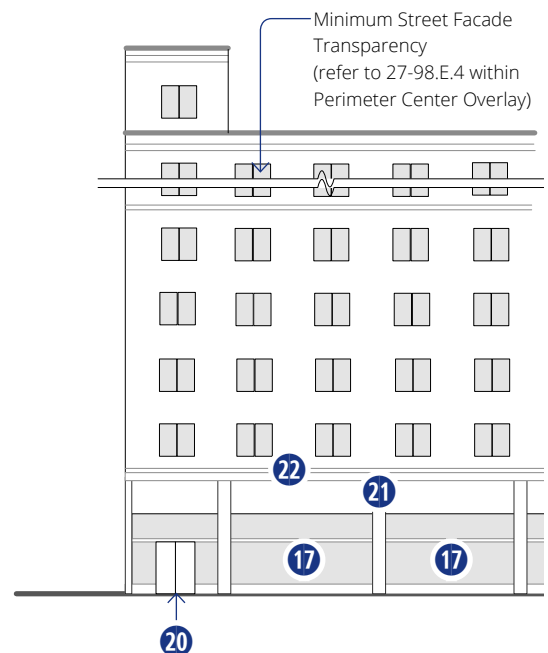
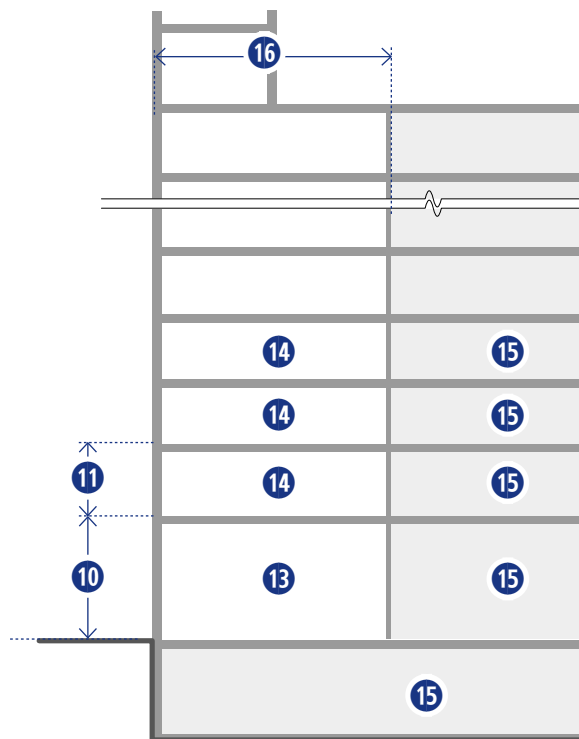
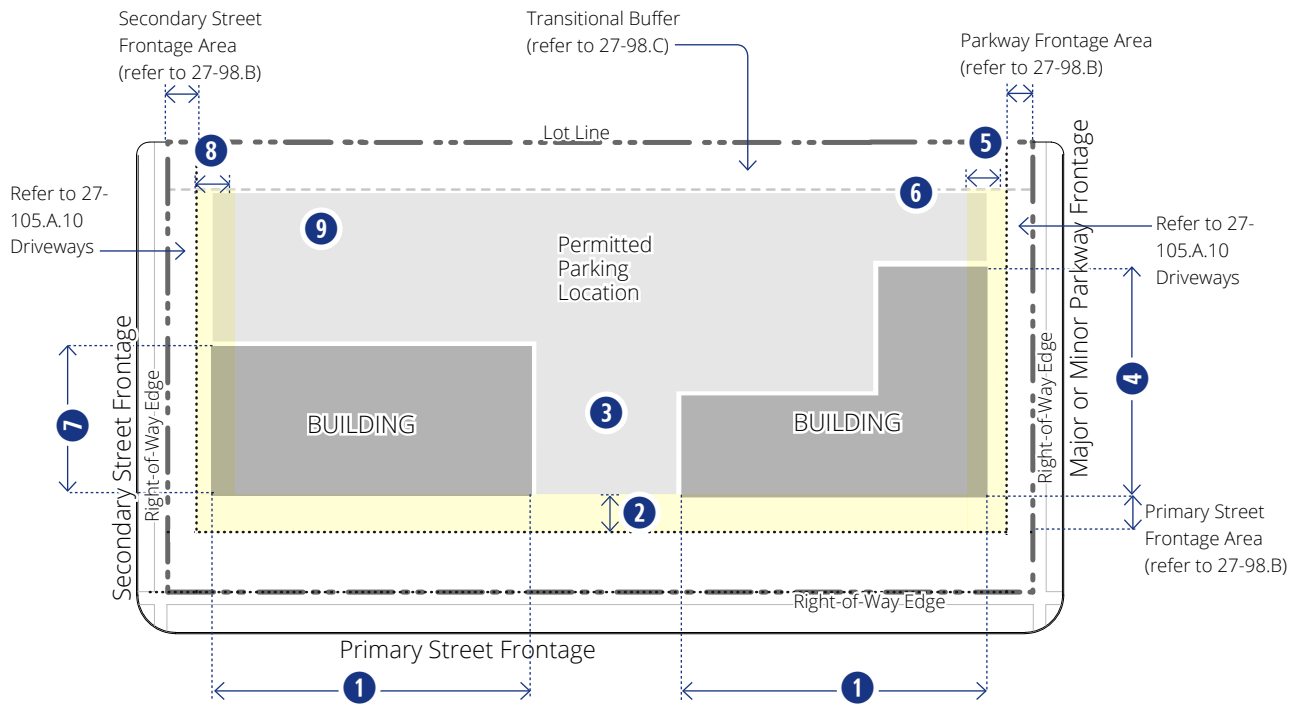
The following defines and illustrates the regulations for each Building Type.

a. SHOPFRONT BUILDING REGULATIONS.

	PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT	
BUILDING SITING Refer to Figure 27-105-4 Shopfront Building: Building Siting and 27-105.C.1 Building Siting				
Along Primary Street Frontage Edge				
1	Minimum Build-to Zone Coverage	90%	80%	80%
2	Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	0' to 10'	0' to 15'	0' to 15'
3	Parking along Frontage	one double-loaded aisle, perpendicular to street per 27-105.C.1.c.i Side Parking	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)	
Along Parkway Frontage Edge				
4	Minimum Build-to Zone Coverage	60%	30%	30%
5	Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	0' to 15'	0' to 15'	0' to 15'
6	Parking along Frontage	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)		
Along Secondary Street Frontage Edge				
7	Minimum Build-to Zone Coverage	30%	none required	none required
8	Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	0' to 30'	0' to 50'	0' to 50'
9	Parking along Frontage	permitted	permitted	permitted
FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-5 Shopfront Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height				
10	Ground Story: Minimum Height Maximum Height		14' 30' ¹	14' 24' ¹
11	Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'
12	Ground Story Elevation	0' to 1' above adjacent sidewalk; visible basement not permitted (refer to 27-98.E.9 Ground Story at Sloping Facades stepping facades at sloped sidewalks)		
USES Refer to Figure 27-105-5 Shopfront Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses				
13	Ground Story	any retail subcategory, service subcategory, lobbies for lodging (refer to 27-104.F Uses) permitted in the district		
14	Upper Story	any use permitted in the district		
15	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
16	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories		
STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-6 Shopfront Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements				
17	Ground Story Fenestration Measured between 2' and 10' above grade	75% minimum	60% minimum	60% minimum
18	Entry Area	recessed between 3' and 8' from the facade closest to the street		
19	Entrance Elevation	within 2' of average grade at the sidewalk		
20	Required Number of Primary Street Entrances	1 per each 75' width of front facade		
21	Ground Story Vertical Facade Divisions	every 30' of facade width		
22	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor		

Notes

³ If 18 feet or more in height, ground story shall count as 2 stories towards maximum building height.



#C.1.

27-105 Building Types GENERAL BUILDING REGULATIONS.

DRAFT

b. GENERAL BUILDING REGULATIONS.

	PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT	PC-4 DISTRICT
BUILDING SITING Refer to Figure 27-105-7 General Building: Building Siting and 27-105.C.1 Building Siting				
Along Primary Street Frontage Edge				
1	Minimum Build-to Zone Coverage	80%	50%	60%
2	Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	5' to 20'	10' to 30'	5' to 15'
3	Parking along Frontage	one double-loaded aisle, perpendicular to street per 27-105.C.1.c.i Side Parking	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)	
Along Parkway Frontage Edge				
4	Minimum Build-to Zone Coverage	60%	50%	50%
5	Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	5' to 20'	10' to 30'	15' to 50'
6	Parking along Frontage	permitted (refer to 27-105.A.8.a Build to the Corner for buildings required on corners)		
Along Secondary Street Frontage Edge				
7	Minimum Build-to Zone Coverage	30%	none required	
8	Build-to Zone (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	10' to 50'	10' to 50'	15' to 50'
9	Parking along Frontage	permitted	permitted	permitted
FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-8 General Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height				
10	Ground Story: Minimum Height Maximum Height	14' 30' ¹	14' 24' ¹	14' 24' ¹
11	Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'
12	Ground Story Elevation	maximum of 2'-6" above the sidewalk without visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.		
USES Refer to Figure 27-105-8 General Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses				
13	Ground Story	office category; retail sales and service uses limited to 25% of gross ground floor area		limited to certain uses per 27-104.E
14	Upper Story	any permitted use		limited to certain uses per 27-104.E
15	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
16	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories		
STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-9 General Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements				
17	Ground Story Fenestration Measured between 2' and 10' above grade	20% minimum	20% minimum	20% minimum
18	Entry Area	recessed minimum 3' from the facade closest to the street		
20	Required Number of Primary Street Entrances	1 per each 150' of front facade		
21	Ground Story Vertical Facade Divisions	every 150' of facade width		
22	Horizontal Facade Divisions	required within 3' of the top of the ground story, the top of the visible basement, and any 5th floor above the 1st floor		

Notes

¹ If 18 feet or more in height, ground story shall count as two stories towards maximum building height.

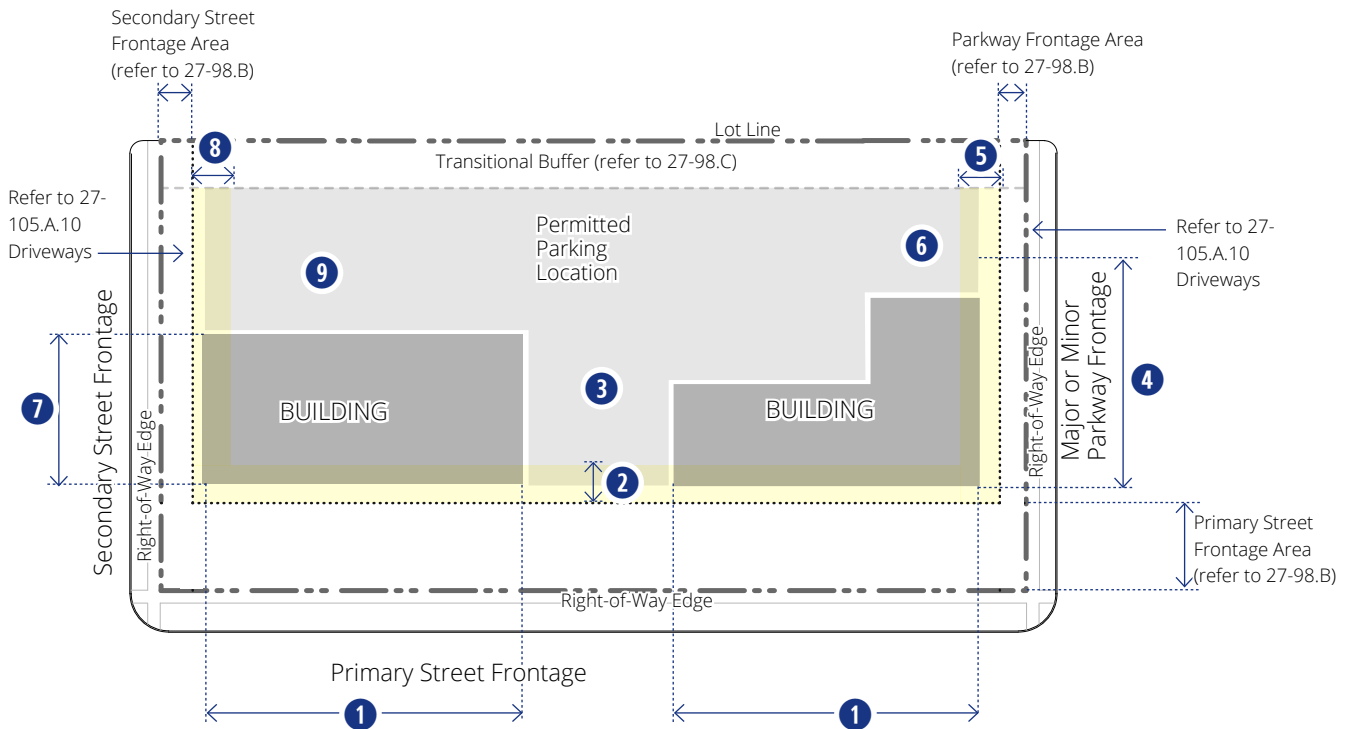


Figure 27-105-7 General Building: Building Siting

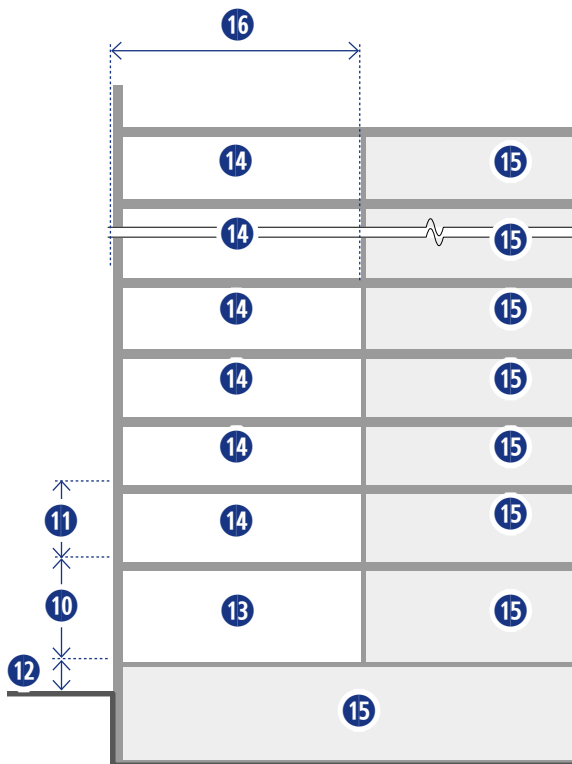


Figure 27-105-8 General Building: Floor-to-Floor Height & Use Requirements

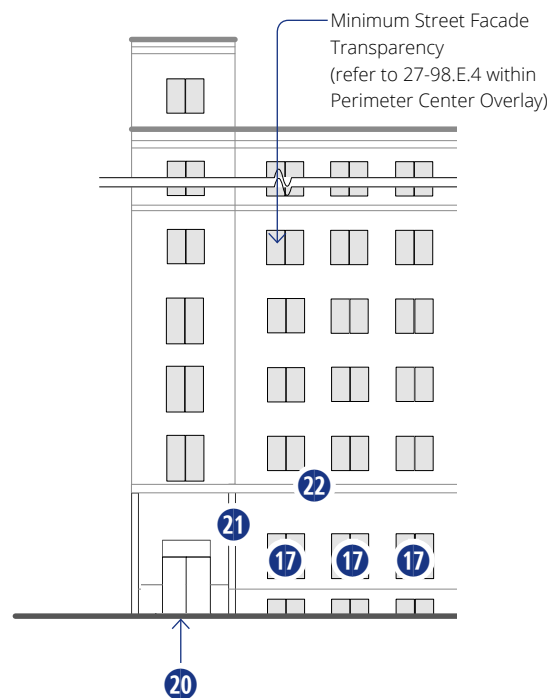


Figure 27-105-9 General Building: Street Facade Design Requirements

c. TOWNHOUSE BUILDING REGULATIONS.

	PC-2 DISTRICT	PC-3 DISTRICT	PC-4 DISTRICT
BUILDING SITING ¹ Refer to Figure 27-105-10 Townhouse Building: Building Siting and 27-105.C.1 Building Siting			
Along Primary Street Frontage Edge			
1	Minimum Build-to Zone Coverage ²	65%	65%
2	Build-to Zone ² (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	10' to 30'	15' to 30'
3	Parking along Frontage	not permitted	not permitted
Along Parkway Frontage Edge			
4	Minimum Build-to Zone Coverage ²	50%	50%
5	Build-to Zone ² (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	25' to 50'	25' to 50'
6	Parking along Frontage	permitted	
Along Secondary Street Frontage Edge			
7	Minimum Build-to Zone Coverage	none required	
8	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'	15'
9	Parking along Frontage	permitted	
FLOOR-TO-FLOOR HEIGHT ³ Refer to Figure 27-105-11 Townhouse Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height			
10	Ground Story: Minimum Height Maximum Height Measured floor-to-floor	9' 14'	9' 14'
11	Upper Stories: Minimum Height Maximum Height Measured floor-to-floor	9' 14'	9' 14'
12	Ground Story Elevation	maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.	
USES Refer to Figure 27-105-11 Townhouse Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses			
13	All Stories	attached house only (allow live-work units?)	
14	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade	
15	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories	
STREET & COURTYARD FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-12 Townhouse Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements			
16	Ground Story Fenestration	15% minimum	15% minimum
17	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103.D Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.	
19	Required Number of Street Entrances	1 per unit ²	1 per unit ²
20	Ground Story Vertical Facade Divisions	every 30' of facade width	
21	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor	

Notes

¹ For the purposes of the Townhouse building, a building consists of multiple units; minimum of 3 and maximum of 8 units.

² Each unit shall have a facade fully located in a street build-to zone, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.

³ A Townhouse building shall be a minimum of 2 stories and a maximum of 4 stories, independent of the district requirements.

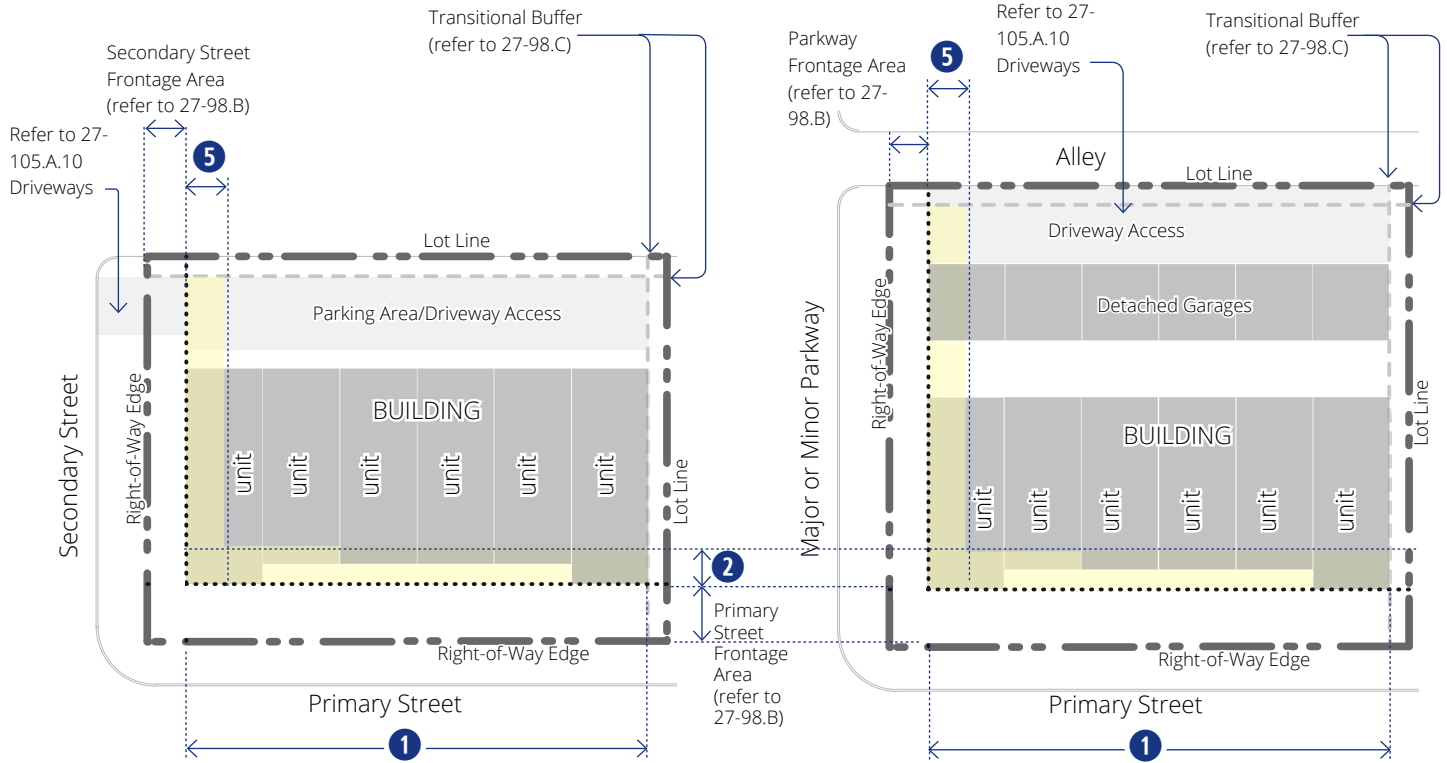


Figure 27-105-10 Townhouse Building: Building Siting

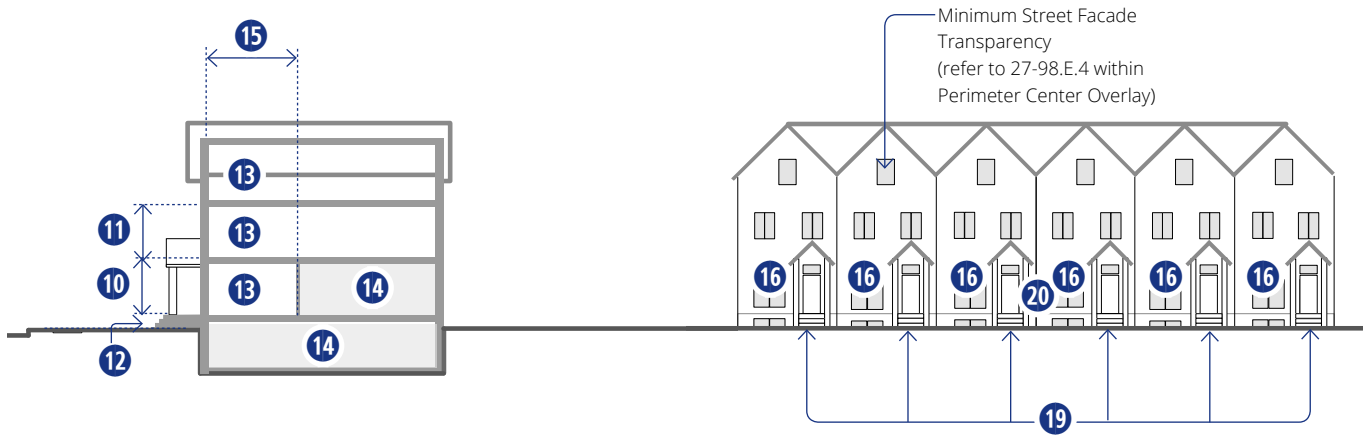


Figure 27-105-11 Townhouse Building: Floor-to-Floor Height & Use Requirements

Figure 27-105-12 Townhouse Building: Street Facade Design Requirements

d. YARDHOUSE BUILDING REGULATIONS.

PC-4 DISTRICT

BUILDING SITING Refer to Figure 27-105-13 Yardhouse Building: Building Siting and 27-105.C.1 Building Siting

Along Primary Street Frontage Edge		
1	Minimum Build-to Zone Coverage ¹	65%
2	Build-to Zone ¹ (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15' to 30'
3	Parking along Frontage	not permitted
Along Parkway Frontage Edge		
4	Minimum Build-to Zone Coverage ¹	50%
5	Build-to Zone ¹ (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	25' to 50'
6	Parking along Frontage	permitted; alley access is preferred
Along Secondary Street Frontage Edge		
7	Minimum Build-to Zone Coverage	none required
8	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'
9	Parking along Frontage	permitted; alley access is preferred

FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-14 Yardhouse Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height

10	Ground Story: Minimum Height Maximum Height Measured floor-to-floor	9' 14'
11	Upper Stories: Minimum Height Maximum Height Measured floor-to-floor	9' 14'
12	Ground Story Elevation	maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.

USES Refer to Figure 27-105-14 Yardhouse Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses

13	All Stories	household living
14	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade
15	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories

STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-15 Yardhouse Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements

16	Ground Story Fenestration Measured between 2' and 10' above grade	15% minimum
17	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103.D Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.
19	Required Number of Street Entrances	1 per unit ¹
20	Ground Story Vertical Facade Divisions	every 30' of facade width
21	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor

Notes

¹ Each building shall have a facade fully located in a street build-to zone, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.

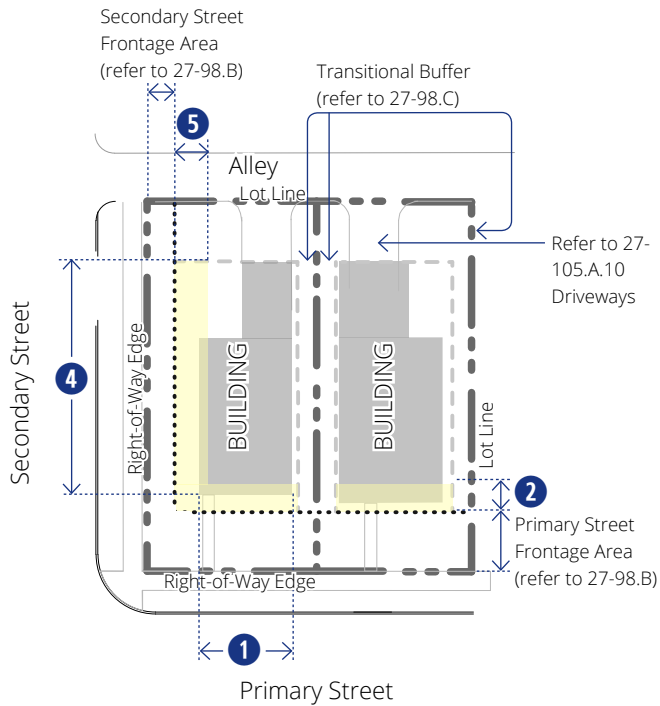


Figure 27-105-13 Yardhouse Building: Building Siting

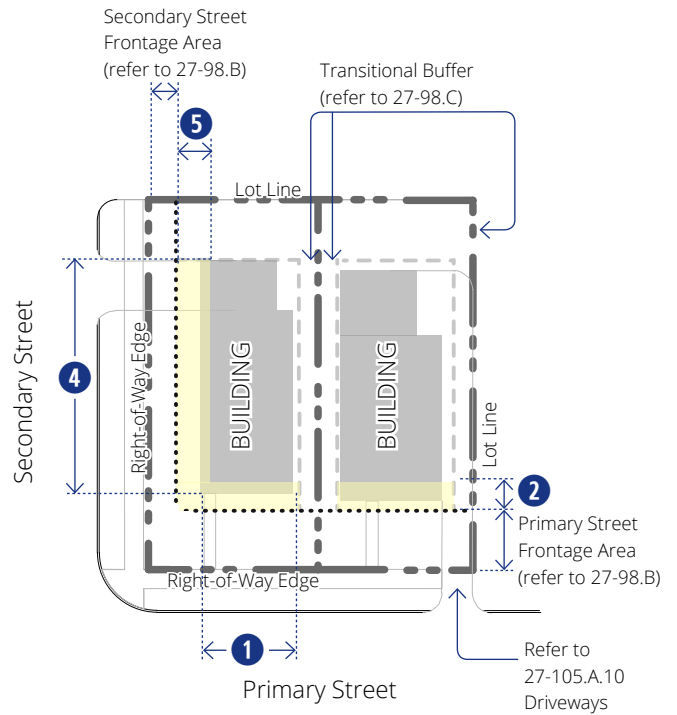


Figure 27-105-14 Yardhouse Building: Floor-to-Floor Height & Use Requirements

Minimum Street Facade Transparency
(refer to 27-98.E.4 within
Perimeter Center Overlay)

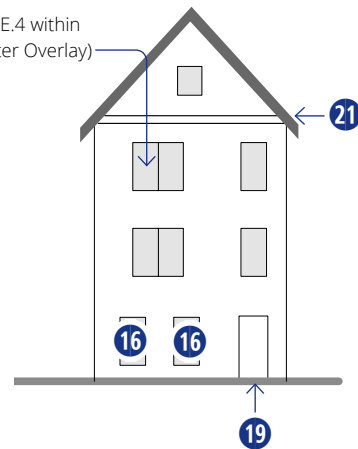


Figure 27-105-15 Yardhouse Building: Street Facade Design Requirements

e. CIVIC BUILDING REGULATIONS.

		PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT
BUILDING SITING Refer to Figure 27-105-16 Civic Building: Building Siting and 27-105.C.1 Building Siting				
Along Primary Street Frontage Edge				
1	Minimum Build-to Zone Coverage	n/a		
2	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'		
3	Parking along Frontage	maximum of one double-loaded aisle, perpendicular to street		
Along Parkway Frontage Edge				
4	Minimum Build-to Zone Coverage	n/a		
5	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'		
6	Parking along Frontage	Permitted		
Along Secondary Street Frontage Edge				
7	Minimum Build-to Zone Coverage	n/a		
8	Setback (Measured from Street Type Frontage edge. Refer to Figure 27-105-21)	15'		
9	Parking along Frontage	Permitted		
FLOOR-TO-FLOOR HEIGHT Refer to Figure 27-105-17 Civic Building: Floor-to-Floor Height & Use Requirements and 27-105.C.2 Floor-to-Floor Height				
10	Ground Story: Minimum Height Maximum Height Measured floor-to-floor	14' 30'		
11	Upper Stories: Minimum Height Maximum Height Measured floor-to-floor	9' 14'		
USES Refer to Figure 27-105-17 Civic Building: Floor-to-floor Height & Use Requirements and 27-105.C.3 Uses				
12	All Stories	Limited to civic subcategory of uses		
13	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
14	Required Occupied Space	30' deep from any Primary Street facade on all ground and upper stories		
STREET FACADE DESIGN REQUIREMENTS Refer to Figure 27-105-18 Civic Building: Street Facade Design Requirements and 27-105.C.4 Street Facade Design Requirements				
15	Ground Story Fenestration Measured between 2' and 10' above grade	20% minimum		
16	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103.D Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.		
17	Entrance Elevation	maximum of 2'-6" above the sidewalk without visible basement; maximum of 4'-6" above the sidewalk with a visible basement.		
18	Required Number of Primary Street Entrances	one		
19	Ground Story Vertical Facade Divisions	none required		
20	Horizontal Facade Divisions	none required		

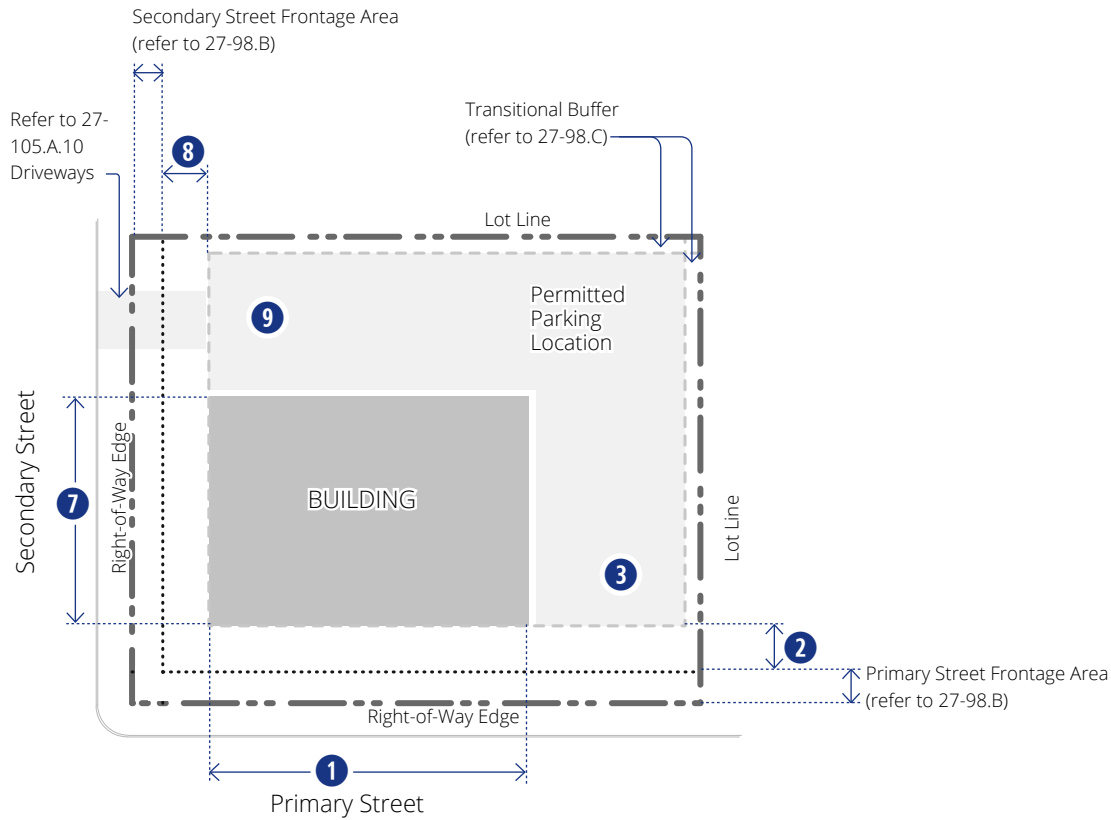


Figure 27-105-16 Civic Building; Building Siting

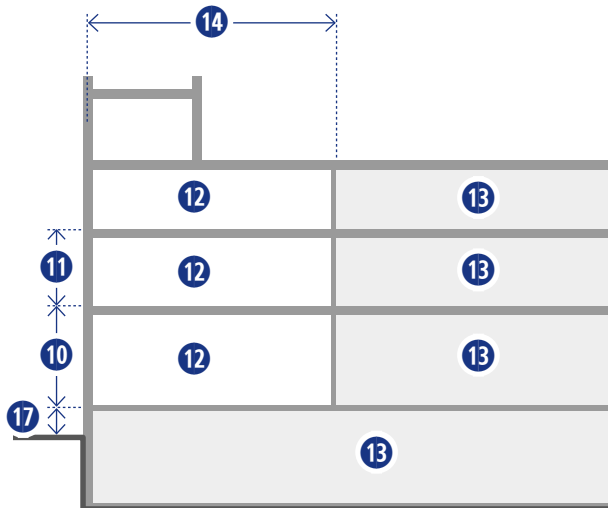


Figure 27-105-17 Civic Building; Floor-to-Floor Height & Use Requirements

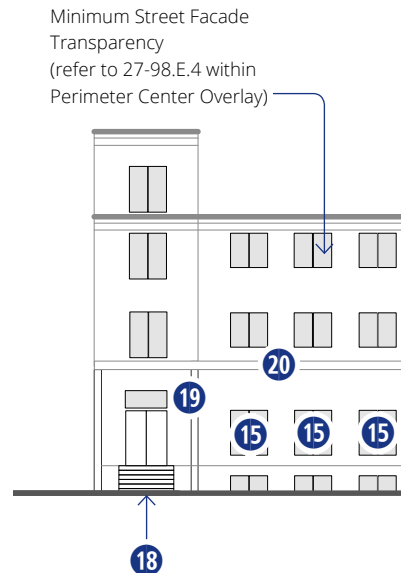


Figure 27-105-18 Civic Building; Street Facade Design Requirements

(c) Explanation of Specific Building Type Requirements

The following explains and further defines the standards outlined on the tables on the previous pages, specific to each Building Type, refer to 27-105-B.2.a through 27-105-B.2.e.

(1) Building Siting by Street Types.

The following explains the line item requirements for each Building Type Table within the section entitled "Building Siting."

For each Building Type, requirements are defined for each Street Type frontage that may occur surrounding the site. Refer to Figure 27-98-2 Street Types Map for the type defined for each street in the Perimeter Center area. Each Street Type is defined with frontage options in 27-98.B Street Types, including the Major and Minor Parkway, Primary Street, and the Secondary Street.

a. Building Coverage. The minimum percentage of street wall or building facade along the street for each Street Type (Parkway, Primary Street, Secondary Street per Figure 27-98-2 Street Types Map) is designated on each Building Type table. Refer to 27-105-B.2.a through 27-105-B.2.e.

1. **Measurement.** The width of the principal structures (as measured within the build-to zone along the frontage edge) is divided by the length of the frontage parallel to the property line following the street. Refer to Figure 27-105-20 Minimum Building Coverage.

2. **Courtyards.** Courtyards, per 27-103.D Definitions, located along the facade in the build-to zone count towards the minimum coverage. Refer to Street Types for limitations of Courtyards along some frontages.

b. Build-to Zone. The build-to zone is designated separately for each Street Type frontage on each Building Type table. Refer to Figure 27-105-2 Build-to Zones and Figure 27-98-2 Street Types Map.

1. **Measurement.** The build-to zone for all districts and Street Type frontages is measured from the edge of the Street Type frontage area onto the site, along the frontage edge. Refer to Figure 27-105-21 Location of Build-to Zone in relation to Frontage.
2. **Encroachments.** Awnings and building mounted signage may extend beyond the build-to zone into the frontage area, but may not extend into the street right-of-way.
3. **Arcades, Galleries.** Arcades and galleries may be included on the building facade design, utilizing the range of depth permitted

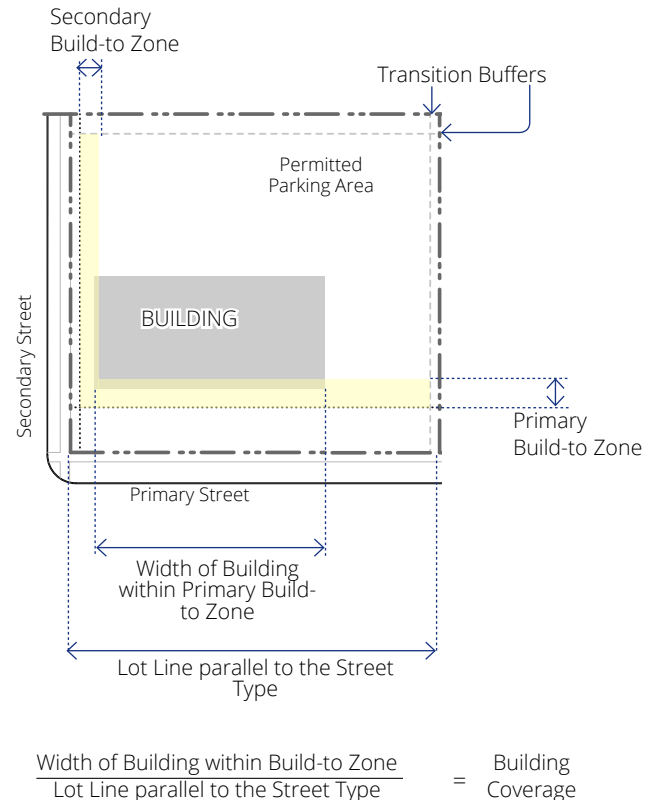


Figure 27-105-19 Minimum Building Coverage

27-105 Building Types

Explanation of Specific Building Type Requirements

by the build-to zone. If located outside the building coverage requirement, the depth of the arcade or gallery may exceed the build-to zone. Refer to 27-105.D.8 Arcade Design.

c. Parking along Frontage. Parking is permitted behind any buildings on the site, but is only permitted exposed along a frontage if designated on the table of requirements for each Building Type.

- 1. Side Parking.** Where noted, side parking along a Primary Street may be permitted with a maximum of one double loaded aisle of parking perpendicular to the street centerline and with a maximum width of 72 feet. Refer to the Street Type frontage

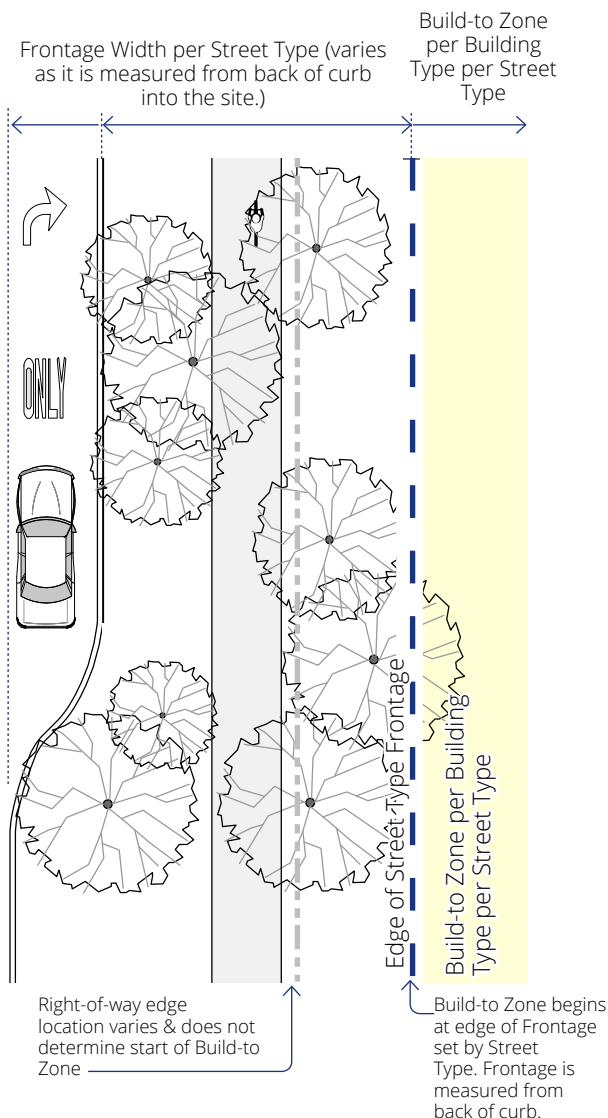


Figure 27-105-20 Location of Build-to Zone in relation to Frontage

parking edge for design requirements in front of the parking and Figure 27-105-22 Side Yard Parking.

(2) Floor-to-floor Height

The following explains the line item requirements for each Building Type Table within the section entitled "Floor-to-floor Height."

Overall permitted building heights are designated by District in stories. Refer to 27-104 Districts.

a. Ground Story and Upper Stories, Minimum and Maximum Height. (Refer to Figure 27-105-23 Measuring Story Height). Each Building Type indicates a permitted range of height in feet for the ground story and upper stories of the building.

- 1. Measurement.** Floor height is measured in feet between the floor of a story to the floor of the story above it.
- 2. Single Story Buildings and Top Stories.** For single story buildings and the uppermost story of a multiple story building, floor-to-floor height shall be measured from the floor of the story to the tallest point of the ceiling.
- 3. Street Facing Facades.** Floor height requirements apply only to street facing facades.
- 4. Mezzanines.** Mezzanines may be included within the floor-to-floor height of any story, included in the calculation of stories. Mezzanines occupying more than 30 percent of the floor area below and extending above the story's allowable floor-to-floor height shall count as an additional story, including

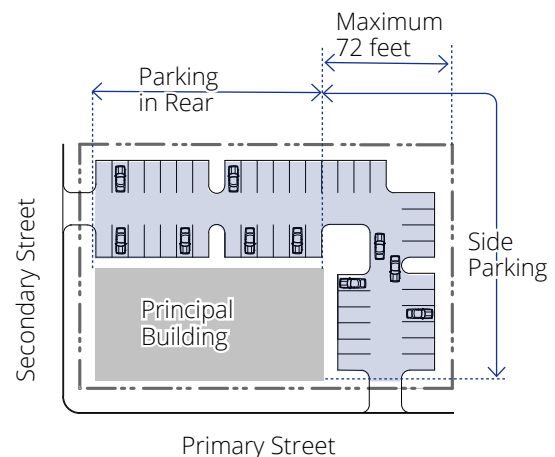


Figure 27-105-21 Side Yard Parking

articulation of the story per 27-105.C.4.a Minimum Fenestration.

5. **Taller Spaces.** Spaces exceeding the allowable floor-to-floor heights of the Building Type are not permitted on Primary Street facades. These spaces are unlimited on interior lot and Secondary Street facades, and limited to no more than 50 percent of Major or Minor Parkway facades.

b. Ground Story Elevation. The allowable ground story elevation for each Building Type is defined, establishing whether or not a visible basement is permitted.

1. **Visible Basements.** Visible basements, permitted by entrance type, are optional. The visible basement shall be a maximum of one-half the height of the tallest story

(3) Uses within Building

The following explains the line item requirements for each Building Type Table within the section entitled "Uses within Building." Refer to 27-104.F Uses for uses permitted within each Zoning District. The requirements in this section of the Building Type Tables may limit those uses within a specific Building Type.

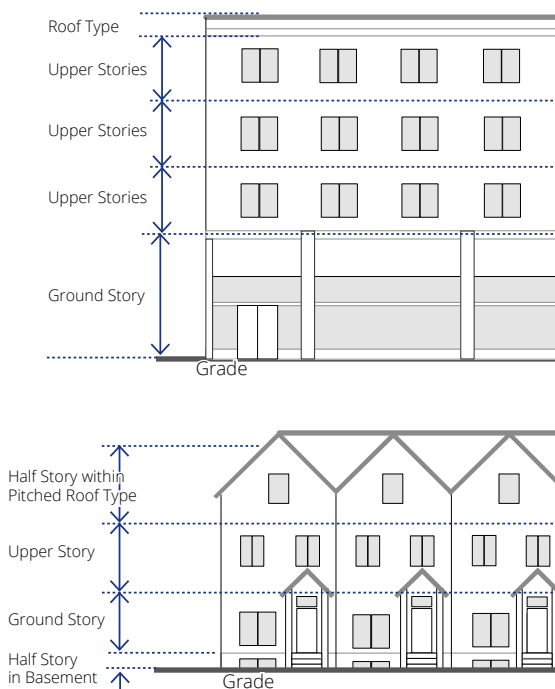


Figure 27-105-22 Measuring Story Height

- a. **Ground and Upper Story.** The uses or category of uses which may occupy the ground and/or upper story of a building.
- b. **Parking Within Building.** The area(s) of a building in which parking is permitted within the structure.
- c. **Required Occupied Space.** The required depth of Occupied Space from the noted facade(s). Refer to 27-103.D Definitions for the definition of Occupied Space.

(4) Street Facade Design Requirements.

The following explains the line item requirements for each Building Type within the section entitled "Street Facade Requirements".

These requirements apply only to facades facing public or private streets and facades facing main parking lots where visitors or customers park.

- a. **Minimum Fenestration.** (Refer to Figure 27-105-25 Measuring Fenestration per Facade). The minimum amount of ground story transparent

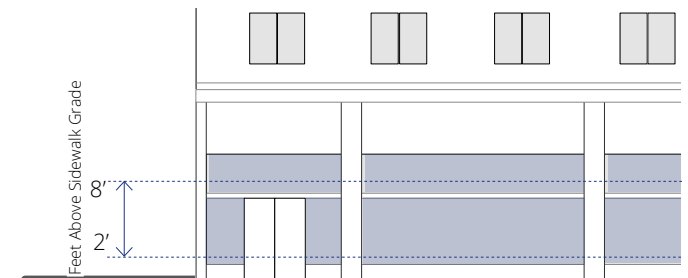


Figure 27-105-23 Measuring Ground Story Windows

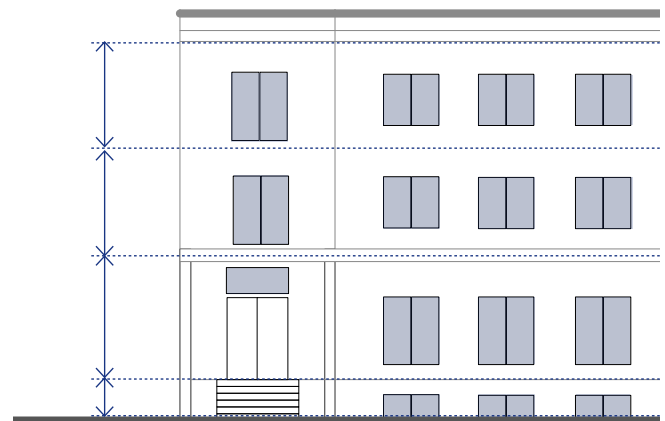


Figure 27-105-24 Measuring Fenestration per Facade

glass required on facades facing street and parking facades.

1. **Measurement.** Ground Story windows, when defined separately from the overall minimum fenestration, shall be measured between 2 feet and 8 feet from the average grade at the base of the front facade. Refer to Figure 27-105-24, Measuring Ground Story Windows.
 2. **Transparent.** Transparent means any glass in windows and/or doors, including any mullions, that is highly transparent with low reflectance.
 3. **Other Stories.** A general minimum fenestration requirement applies to all other stories visible from any street. Refer to 27-98.E.4.a Quantity of Windows.
 4. **Arcades, Galleries, Courtyards.** Ground story windows shall be located on the interior facade of any arcade or gallery. Ground story windows shall continue around a minimum of 60 percent of courtyard facades.
- b. Entry Area.** Size requirements and recommended types of entrance areas per Building Type.
- c. Required Number of Street Entrances.** The minimum number of and maximum spacing between entrances on the ground floor building facade with Primary Street frontage.
- d. Vertical Facade Divisions.** The use of a vertically oriented expression line or form to divide the facade into **vertical divisions** at increments no greater than the dimension shown, as measured along the base of the facade. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of 1.5 inch depth. Refer to 27-103.D Definitions for the definition of expression line.
- e. Horizontal Facade Divisions.** The use of a horizontally oriented expression line or form to divide portions of the facade into horizontal divisions **at locations designated**. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of 1.5 inch depth.

(d) General Building Design Requirements.

(1) Applicability. The following outlines general design requirements applicable to all buildings within the Perimeter Center districts. These requirements apply to all facades visible from the street, facing streets, facing main parking lots, and adjacent to open spaces, unless otherwise noted.

(2) Intent. These requirements are intended to address each building's appearance and to elicit high quality buildings, enhance the pedestrian experience, maintain an appropriate scale, and implement the vision for the area as defined in current plans.

(3) Perimeter Center Overlay. Refer to the Perimeter Center Overlay for additional general design requirements.

(4) Tall Building Design

a. Applicability. The guidelines in this section shall apply to all buildings 12 or more stories in height as part of the site plan review process (refer to 27-103.B Administration & Procedures).

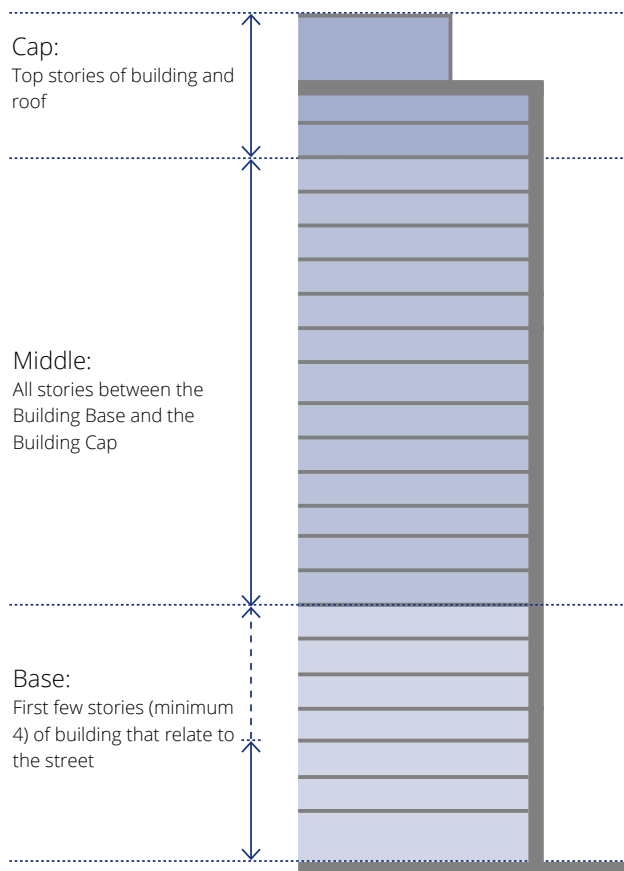


Figure 27-105-25 Tall Building Base, Middle, and Cap

b. Building Type. Each Tall Building shall meet the requirements of one of the permitted building types in the district. The following is in addition to the building type requirements.

c. Base, Middle, Cap. These requirements refer to Tall Building design by Base, Middle, and Cap as defined in the following intent statements. Refer to Figure 27-105-26 Tall Building Base, Middle, and Cap.

- 1. Base.** The base of a tall building is intended to establish an active ground story along the street and provide a public building face (such as a lobby, retail/service space, or restaurant) for all of the activities that occur within a building.
- 2. Middle.** The middle section of a tall building is intended to be oriented to maximize light reaching the Primary Street, to avoid the "walling off" of the Primary Street along the entire length, and allow views to the sky from the street.
- 3. Cap.** The cap of the tall building includes the top few stories of the building and is intended to be designed consciously to contribute to the Perimeter Center skyline per the following requirements.

d. Tall Building Base Requirements. The base requirements for the tall building shall follow the requirements of the building type, whether a Shopfront or a General building, with the

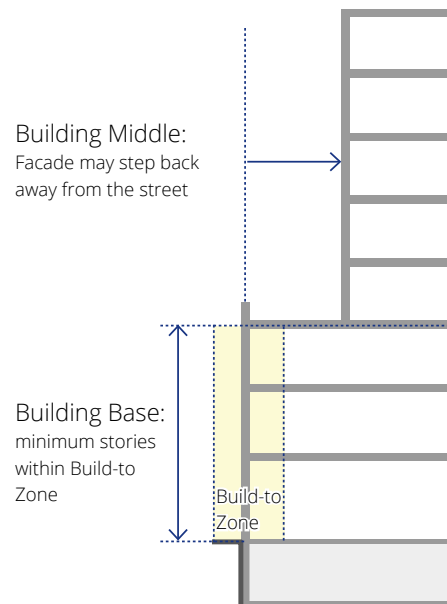


Figure 27-105-26 Building Massing in Build-to Zone

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General Building Design Requirements.

following additional requirements. Refer to 27-105.B.2.a through 27-105.B.2.e. and Figure 27-105-27 Building Massing in Build-to Zone.

1. **Build-to Zone.** The building base shall be wholly located within the build-to zone.
2. **Buildings 12 to 18 stories.** For buildings or portions of buildings 12 to 18 stories, the base shall be a minimum of 4 stories.
3. **Buildings over 18 stories.** For buildings or portions of buildings over 18 stories, the base of that portion shall be a minimum of 7 stories.

e. Tall Building Middle Guidelines. The middle of the building shall meet any applicable requirements of 27-105 Building Types. The following guidelines shall be considered.

1. **Orientation.** The building middle should be oriented with the shortest side parallel to a Primary Street to avoid a continuous building wall along the frontage above the building base. Refer to Figure 27-105-28 High Rise Building Orientation.
2. **Narrowest Widths.** When possible, tall buildings should utilize the narrowest widths economically feasible, to limit the mass of and shadows cast by the tall building.
3. **Step-Back.** The facade of the middle of the building may step back away from the street above the minimum base height (refer to

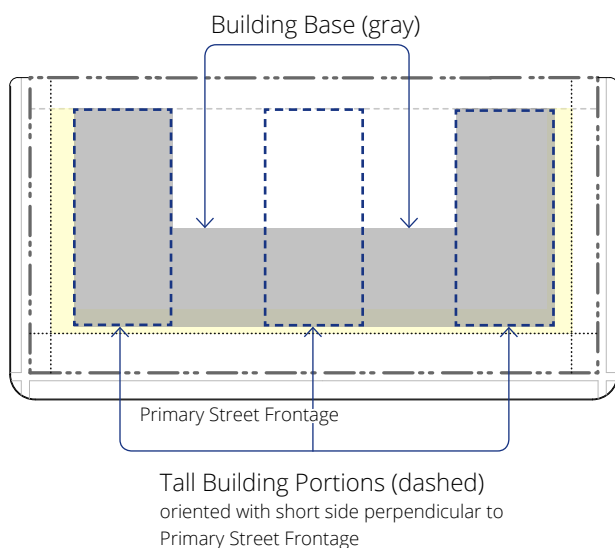


Figure 27-105-27 Tall Building Orientation

27-105.D.4.d, above). Refer to Figure 27-105-27 Building Massing in Build-to Zone.

4. **Peaks and Valleys in the Skyline.** Overall heights of tall buildings should be varied to allow those peaks and valleys to emerge in the overall skyline (refer to Figures 27-105-29 Skyline Example and 27-105-30 Atlanta Skyline).
5. **Multiple Tall Buildings.** When more than one tall building is utilized for a development, the following is recommended.
 - i. **Varying Heights.** The heights of the multiple tall buildings should vary by 5 or more stories to encourage development of an interesting skyline.
 - ii. **Spacing.** Spacing between tall buildings should be a minimum of 60 feet to allow light and views of the sky between the towers.
- f. **Tall Building Cap Guidelines.** The top stories and the roof of a tall building shall be considered the cap (refer to Figure 26-105-20 Tall Building Base, Middle, and Cap).

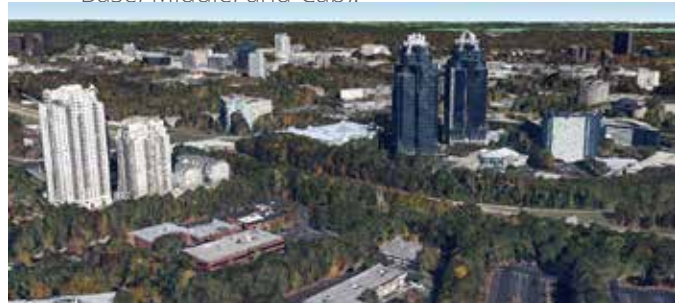


Figure 27-105-28 Skyline Example. This image shows part of the existing skyline west of the Perimeter Center districts. Note the difference between pairs of buildings with different heights versus pairs of buildings with the same height (image from Google Earth, 2015).



Figure 27-105-29 Atlanta Skyline. Note that the Atlanta skyline has buildings of varied heights in peaks and valleys. Certain buildings have distinctive caps, especially those tallest in height (image by Carson Matthews).

1. The massing and/or material expression of the cap should define it distinctly from the middle of the building.
2. The building cap design should contribute to variation and interest in the skyline, complementing existing nearby building caps.
3. All tall buildings should not have distinctive caps to avoid too many focus points in the skyline. Coordinate the design with City staff to ensure a cohesive skyline occurs.

(5) Articulation of Stories. Stories shall be articulated on street facing facades utilizing the following.

- a. Fenestration.** Fenestration or window placement shall be organized by stories.
- b. Expression Lines.** Horizontal expression lines and lintels shall be used to delineate stories with minimum expression lines required per Building Type.
- c. Mezzanines.** Mezzanines treated as a separate floor to floor height and story shall be articulated on the facade as a separate story.
- d. Taller Spaces.** Spaces exceeding the allowable floor to floor heights of the Building Type per 27-105.B.2.a through 27-105.B.2.e shall be articulated as multiple stories on the street facade.

(6) Treatments at Terminal Vistas. When a street terminates at a parcel, the parcel shall be occupied by one of the following:

- a.** If the parcel is open space, any Open Space Type (refer to 27-106 Open Space Types) shall be utilized and a vertical element shall terminate the view. Acceptable vertical elements include, but are not limited to, a stand or grid of trees, a sculpture, a gazebo or other public structure, or a fountain.
- b.** If the parcel is not utilized as an Open Space Type, the facade of a building, whether fronting a Primary Street or not, shall terminate the view. The building shall incorporate one of the following treatments to terminate the view: a tower, a bay, or a courtyard.
- c.** Parking. In no case, shall a parking structure or a surface parking lot terminate a vista.

(7) Building Variety. Building design should vary between vertical facade divisions, where required per the Building Types, and from adjacent buildings by the type of dominant material or color, scale, or orientation of that material and at least two of the following.

Refer to Figure 27-98-27 for one illustration of this requirement.

- a.** The proportion of recesses and projections.
- b.** The location of the entrance and window placement, unless shopfronts are utilized.
- c.** Roof type, plane, or material, unless otherwise stated in the Building Type requirements.

(8) Arcade Design. (Refer to Figure 27-105-31). An Arcade is a covered pedestrian walkway within the recess of a ground story.

- a. Depth.** An open-air public walkway recessed from the principal facade of the building a minimum of 8 feet and a maximum of 15 feet.
- b. Build-to Zone.** When the Arcade is utilized, the outside face of the Arcade shall be considered the front facade, located within the required build-to zone.
- c. Column Spacing.** Columns shall be spaced between 10 feet and 12 feet on center.
- d. Column Width.** Columns shall be a minimum of 1 foot 8 inches and a maximum 2 foot 4 inches in width.
- e. Arcade Opening.** Opening shall not be flush with interior arcade ceiling and may be arched or straight.
- f. Horizontal Facade Division.** A horizontal expression line shall define the ground story facade from the upper stories.
- g. Visible Basement.** A visible basement is not permitted.

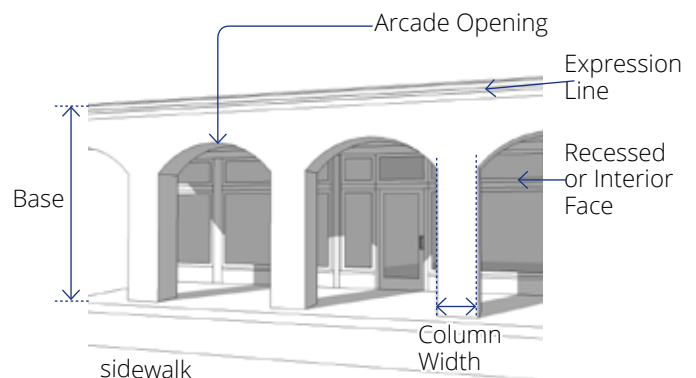


Figure 27-105-30 Arcade.

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General Building Design Requirements.

(9) Rear Parking Facade Design. The following applies in all locations where a public building entrance occurs on the rear facade abutting a main parking lot. A main parking lot is one in which more than 50 percent of the parking is located. Refer to Figure 27-105-32 Example of Main Parking Lot Rear Facade Treatment.

- a. **Applicable Location.** The required ground story treatment for the street facade of the Building Type shall apply to a minimum of 30 feet or 30 percent of the rear facade along the parking lot, whichever is greater (refer to 27-105.B Building Types).
- b. **Window Requirement.** The public building entrance facade area shall utilize one of the following:
 1. For a Shopfront Building Type, a minimum 65 percent fenestration is required on the ground floor facade entrance, and the door shall be a minimum of 50 percent transparent.
 2. For a General or Civic Building Type, a minimum of 20 percent minimum fenestration is required on the rear ground floor, and the door shall be a minimum of 45 percent transparent.
- c. Awnings and signage are encouraged on the rear parking facade.
- d. Blank walls without windows should be treated with signage or other design elements.



Figure 27-105-31 Example of Main Parking Lot Rear Facade Treatment.

(10) Roof Types. All buildings under 8 stories shall meet the requirements of one of the following roof types.

- a. **Parapet Roof Type.** (Refer to Figure 27-105-33, Parapet Roof Type). A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or low pitched roof and also serves to limit the view of roof-top mechanical systems from the street.
 1. **Parapet Height.** Height is measured from the top of the upper story to the top of the parapet. Minimum height is 2 feet with a maximum height of 6 feet. Additional height may be approved through a minor exception.
 2. **Horizontal Expression Lines.** An expression line shall define the parapet from the upper stories of the building and shall also define the top of the cap.
 3. **Occupied Space.** Occupied space shall not be incorporated behind this roof type.
- b. **Pitched Roof Type.** (Refer to Figure 27-105-34, Pitched Roof Type). This roof type has a sloped or pitched roof. Slope is measured with the vertical rise divided by the horizontal span or run.
 1. **Pitch Measure.** The roof may not be sloped less than a 4:12 (rise:run) or more than 16:12. Slopes less than 4:12 are permitted to occur on second story or higher roofs.
 2. **Configurations.**
 - i. Hipped, gabled, and combination of hips and gables with or without dormers are permitted.
 - ii. Butterfly roofs (inverted gable roof) are permitted with a maximum height of eight feet, inclusive of overhang.
 - iii. Gambrel and mansard roofs are not permitted.

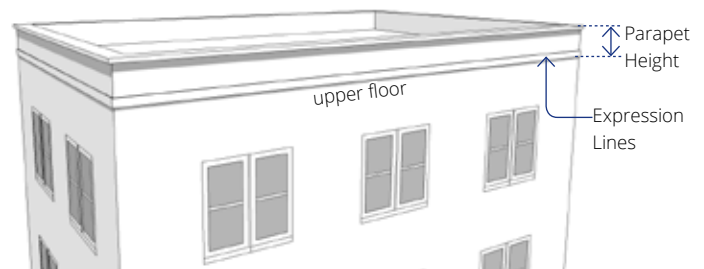


Figure 27-105-32 Parapet Roof Type

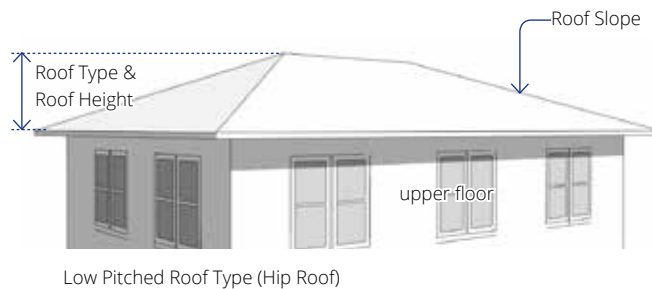
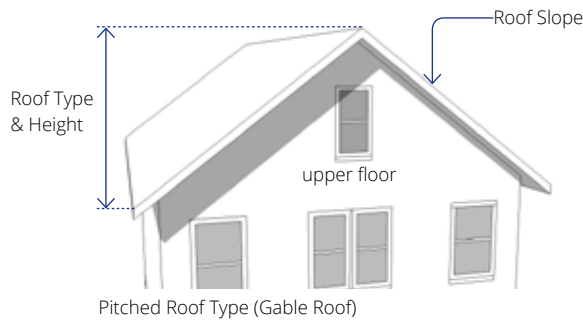


Figure 27-105-33 Pitched Roof Type

3. **Parallel Ridge Line.** A gabled end or perpendicular ridge line shall occur at least every 100 feet of roof when the ridge line runs parallel to the front lot line. (Refer to Figure 27-105-34, Pitched Roof Type).
4. **Roof Height.** Roofs without occupied space and/or dormers shall have a maximum height on street-facing facades equal to 1.5 times the floor height utilized on the building.
5. **Occupied Space.** Occupied space may be incorporated behind this roof type and the space counts as a half story.

c. Flat Roof Type. (Refer to Figure 27-105-35 Flat Roof Type). This roof type has a flat roof with overhanging eaves.

1. **Configuration.** Roofs with no visible slope are acceptable. Eaves are required on all street facing facades.

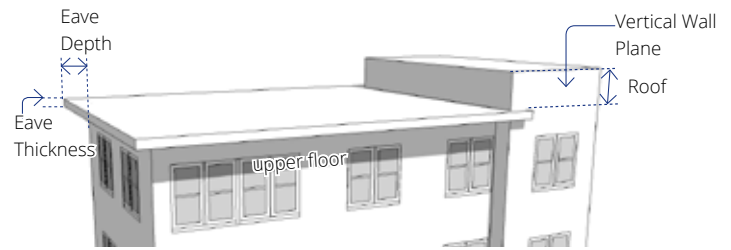


Figure 27-105-34 Flat Roof Type

2. **Eave Depth.** Eave depth is measured from the building facade to the outside edge of the eave. Eaves shall have a depth of at least 14 inches.
3. **Eave Thickness.** Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of eight inches thick.
4. **Interrupting Vertical Walls.** Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
 - i. No more than one-half of the front facade can consist of an interrupting vertical wall.
 - ii. Vertical walls shall extend no more than four feet above the top of the eave.
5. **Occupied Space.** Occupied space shall not be incorporated behind this roof type.

d. Special Roof Types. Special roof designs may be approved through a minor exception by the Community Development Director with the following requirements:

1. **Applicability.** The following buildings or uses are allowed to submit for a special roof type.
 - i. A building 18 stories or taller with the intent of encouraging an interesting skyline for the area.
 - ii. A building warranting a separate status from the fabric of surrounding buildings, with a correspondence between the form of the roof type and the meaning of the building use, such as a dome for a planetarium or a unique roof for a civic building.
2. The roof type shall not create additional occupiable space beyond that permitted by the Building Type.
3. The shape of the roof shall be significantly different from those defined in this section 27-105.D.10 Roof Types, i.e. a dome, spire, vault.

27-106 Open Space Types

SECTIONS

- A. Intent.
- B. Applicability.
- C. General Requirements.
- D. Stormwater in Open Space Types.
- E. Plaza.
- F. Green.
- G. Commons.
- H. Park.

(a) Intent.

To provide open space as an amenity that promotes physical and environmental health within the community and to provide access to a variety of active and passive open space types.

(b) Applicability.

The standards outlined apply to open space required per Perimeter Center district (refer to 27-104.B through 27-104.E).

(1) Existing Open Space. Existing open space may be used to meet the minimum requirement; however, the existing open space shall conform to one of the types defined.

(2) Neighboring Open Space. Open space within the distance requirement located on a neighboring parcel may be used to meet the minimum requirement under the following conditions:

- a. **Route.** A clearly defined, publicly accessible pedestrian route shall connect the neighboring space to the entrances of the applicable buildings on the development site.
- b. **Available.** The neighboring space shall be either be open to the public or designated by covenants as available to the occupants and visitors of the new development.

(3) Fee in-lieu. The Community Development Director may accept a fee in-lieu of provision of the open space....

(c) General Requirements.

All open space shall meet the following requirements.

(1) Open Space Types. All open space provided within any Perimeter Center District shall comply with one of the Open Space Types defined by 27-106.E through 27-106.H.

(2) Access. All Open Space Types shall provide public access from a pedestrian route associated with a vehicular right-of-way and/or adjacent building entrances/exits.

(3) Dedicated. Open Space Types shall be designated by easement or, with permission of the City, may be either located within the right-of-way or dedicated by plat as a separate lot.

(4) Fencing. Open Space Types may incorporate fencing provided that the following requirements are met.

- a. **Height.** Fencing shall be a maximum height of 48 inches, unless approved by the Community Development Director for such circumstances as proximity to railroad right-of-way and use around swimming pools, ball fields, and ball courts.
- b. **Level of Opacity.** Fence opacity shall be no greater than 60 percent.
- c. **Type.** Chain-link fencing is not permitted along any street frontage, with the exception of

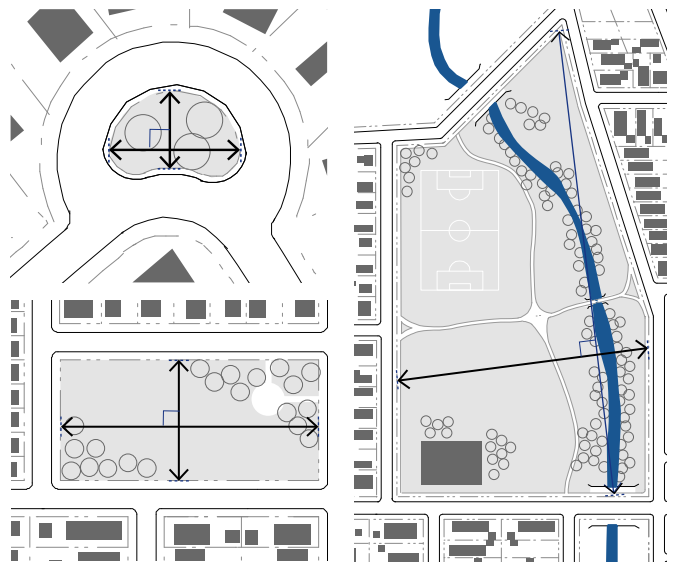


Figure 27-106-1 Measuring Minimum Dimensions

dedicated sports field or court fencing approved by the Community Development Director.

- d. Spacing of Openings.** Openings or gates shall be provided on every street face at a minimum of one per every 200 feet.

(5) Open Water Body. All open water bodies, such as lakes, ponds, pools, creeks, and streams, within an Open Space Type shall be located at least 20 feet from a property line to allow for pedestrian and bicycle access as well as a landscape area surrounding the water body.

(6) Parking Requirements. Parking shall not be required for any Open Space Type, unless a use other than open space is determined by the Community Development Director.

(7) Continuity. New open space shall connect to abutting, or proximate existing or planned trail right-of-way or open space.

(8) Measuring Size.

- a. Size.** The size of the Open Space Type is measured to include all landscape and paving areas associated directly with the Open Space Type.
- b. Minimum Dimension.** The minimum length or width of the Open Space Type, as measured along the longest two straight lines intersecting at a right angle defining the maximum length and width of the lot. Refer to Figure 27-106-1 Measuring Minimum Dimensions.

(9) Minimum Percentage of Street Frontage Required. A minimum percentage of the open space perimeter, as measured along the outer edge of the space, shall be located directly adjacent to a Parkway, Primary Street, or Secondary Street. This requirement provides access and visibility to the open space.

(10) Improvements. As noted in the specific requirements for each Open Space Type (27-106.E through 27-106.H), the following types of site improvements and structures may be permitted on an Open Space Type.

- a. Fully Enclosed Structures Permitted.** Fully enclosed structures may include such uses as small cafes, kiosks, community centers, and restrooms.
 - (1) Maximum Area.** For some civic open space types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the open space area.

- (2) Semi-Enclosed Structures.** Open-air structures, such as gazebos, are permitted in all open space types.

b. Maximum Impervious and Semi-Pervious Surface Permitted. The amounts of impervious and semi-pervious coverage are provided separately for each Open Space Type (27-106.E through 27-106.H) to allow an additional amount of semi-pervious surface, such as permeable paving, above the impervious surfaces permitted, including, but not limited to, sidewalks, paths, and structures as permitted.

c. Maximum Percentage of Open Water Body. The maximum amount of area within an Open Space Type that may be covered by an open water body, including, but not limited to, ponds, lakes, and pools.

(d) Stormwater in Open Space Types.

Stormwater management practices, such as storage and retention facilities, may be integrated into Open Space Types and utilized to meet stormwater requirements for surrounding parcels.

(1) Stormwater Features. Stormwater features in open space may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond or pool as part of the landscape design. Stormwater features shall not be fenced and shall not impede public use of the land they occupy.

(2) Walls. Retaining walls over 36 inches in height are not permitted in any open space accommodating stormwater.

(3) Qualified Professional. A qualified design professional, shall be utilized to incorporate the stormwater features into the design of the open spaces.

#C.1. 27-106 Open Space Types

Green.

DRAFT



(e) Plaza.

The intent of the plaza is to provide a formal Open Space Type of medium scale to serve as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other Open Space Type. Special features, such as fountains and public art installations, are encouraged.

PLAZA GUIDELINES	
Dimensions	
Minimum Size	0.10 acres
Minimum Dimension	80 feet
Minimum Percentage of Street Frontage Required	25%
Improvements	
Fully Enclosed Structures	Permitted; may cover maximum 5% of plaza area
Maximum Impervious Surface + Semi-Pervious Surface	40% + 20%
Maximum Percentage of Open Water	30%



(f) Green.

The intent of the green is to provide informal, medium scale active or passive recreation for building occupants and visitors within walking distance, mainly fronted by streets.

GREEN GUIDELINES	
Dimensions	
Minimum Size	0.50 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	50% for greens less than 1.25 acres; 50% for greens 1.25 or more acres in size
Improvements	
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	20% + 15%
Maximum Percentage of Open Water	30%



(g) Commons.

The intent of the commons is to provide an informal, small to medium scale space for active or passive recreation for a limited area. Commons are typically internal to a block and tend to serve adjacent building occupants.

COMMONS GUIDELINES	
Dimensions	
Minimum Size	0.25 acres
Minimum Dimension	45 feet
Minimum Percentage of Street Frontage Required	0%; requires a minimum of two access points (minimum 20 feet wide)
Improvements	
Fully Enclosed Structures	Not permitted
Maximum Impervious Surface + Semi-Pervious Surface	30% + 10%
Maximum Percentage of Open Water	30%



(h) Park.

The intent of the park is to provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees.

PARK GUIDELINES	
Dimensions	
Minimum Size	2 acres
Minimum Dimension	30 feet; minimum average width of 80 feet
Minimum Percentage of Street Frontage Required	30% for parks less than 5 acres; 20% for parks 5 or more acres in size
Improvements	
Fully Enclosed Structures	Permitted in parks 5 acres or larger in size
Maximum Impervious Surface + Semi-Pervious Surface	20% + 10%
Maximum Percentage of Open Water	30%

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ARTICLE II. - ZONING DISTRICTS

...

Secs. 27-75—27-86. - Reserved.

DIVISION 3. - SPECIAL PURPOSE ZONING DISTRICTS

DIVISION 4. – OVERLAY ZONING DISTRICTS

...

Sec. 27-98. – Perimeter Center Overlay.¹

DIVISION 5. – PERIMETER CENTER DISTRICTS²

ARTICLE IV. - GENERALLY APPLICABLE REGULATIONS

DIVISION 1. - PARKING AND CIRCULATION³

...

Sec. 27-202. - Minimum motor vehicle parking ratios.

Except as otherwise expressly stated, off-street motor vehicle parking spaces must be provided in accordance with the following table:

USES	Minimum Motor Vehicle Parking
RESIDENTIAL	
Household Living	
Detached house	2 spaces per dwelling unit
Attached house	2 spaces per dwelling unit; reduced to one space per dwelling unit for property classified in a PC district
Multi-unit building	1 space per dwelling unit + 1 additional space for 2+ bedroom units + 1 visitor space per 8 units
Multi-unit building (age-restricted 62 years+)	1 space per dwelling unit + 1 visitor space per 8 units
Group Living	
Convent and monastery	5 spaces per 1,000 sq. ft.
Fraternity house or sorority	1 space per bed

¹ Proposed new overlay district provisions presented in separate attached document, which would be located here upon codification.

² Proposed districts presented in separate attached document. New district regulations will be located here upon codification.

³ Includes only those sections with proposed revisions.

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USES	Minimum Motor Vehicle Parking
house	
Nursing home	1 space per 2 beds
Personal care home, registered (1—3 persons)	4 spaces
Personal care home, family (4—6 persons)	4 spaces
Personal care home, group (7—15 persons)	4 spaces
Personal care home, congregate (16 or more)	1 space per 4 clients
Residence hall	0.25 spaces per sleeping room
Shelter, homeless	1 space per 10-person capacity
Supportive living	1 space per 2 living units
Transitional housing facility	1 space per 4 beds
QUASI-PUBLIC AND INSTITUTIONAL	
Ambulance Service	1 space per service vehicle plus 1 space per 2 employees
Club or Lodge, Private	10 spaces per 1,000 sq. ft.
Cultural Exhibit	1 space per 3 fixed seats; 40 spaces per 1,000 sq. ft. in largest assembly room if no fixed seats
Day Care	
Day care facility, adult (6 or fewer persons)	4 spaces
Day care center, adult (7 or more)	5 spaces per 1,000 sq. ft.
Day care facility, child (6 or fewer persons)	4 spaces
Day care center, child (7 or more)	5 spaces per 1,000 sq. ft.
Educational Services	
College or university	10 spaces per classroom
Kindergarten	5 spaces per 1,000 sq. ft.
Research and training facility, college or university affiliated	10 spaces per classroom
School, private elementary or middle	2 spaces per classroom
School, private senior high	5 spaces per classroom
School, specialized non-degree	10 spaces per classroom
School, vocational or trade	10 spaces per classroom
Hospital	1 space per 2 beds
Place of Worship	1 space per 3 fixed seats or 40 spaces per 1,000 sq. ft. in largest assembly room if there are no fixed seats
Utility Facility, Essential	As determined per subsection 27-203(6)
COMMERCIAL	
Adult Use	13.33 spaces per 1,000 sq. ft.
Animal Services	3.3 spaces per 1,000 sq. ft.

USES	Minimum Motor Vehicle Parking
Communication Services (except as noted below)	3.3 spaces per 1,000 sq. ft.
Telecommunication tower or antenna	None
Construction and Building Sales and Services	4 spaces per 1,000 [sq. ft.] of customer-accessible sales area + 3.3 spaces per 1,000 sq. ft. of office floor area + 0.5 spaces per 1,000 [sq. ft.] of additional indoor floor area
Eating and Drinking Establishments	
Restaurant, accessory to allowed office or lodging use	6.67 spaces per 1,000 sq. ft.; reduced to 3.3 spaces per 1,000 sq. ft. for property classified in a PC district ⁴
Restaurant, drive-in or drive-through	10 spaces per 1,000 sq. ft.; minimum 5 spaces
Restaurant, other than drive-through or drive-in	6.67 spaces per 1,000 sq. ft.; reduced to 3.3 spaces per 1,000 sq. ft. for property classified in a PC district
Food truck	None
Other eating or drinking establishment	6.67 spaces per 1,000 sq. ft.; ; reduced to 3.3 spaces per 1,000 sq. ft. for property classified in a PC district
Entertainment and Spectator Sports (except as stated below)	1 space per 3 fixed seats or 40 spaces per 1,000 sq. ft. in largest assembly room if there are no fixed seats
Special events facility	10 spaces per 1,000 sq. ft.
Financial Services	
Banks, credit unions, brokerage and investment services	3.3 spaces per 1,000 sq. ft.; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Convenient cash business	4 spaces per 1,000 sq. ft.
Pawn shop	4 spaces per 1,000 sq. ft.
Food and Beverage Retail Sales	4 spaces per 1,000 sq. ft.; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Funeral and Interment Services	
Cemetery, columbarium, or mausoleum	None (parking allowed on internal roads/drives)
Crematory	0.5 spaces per 1,000 sq. ft.
Funeral home or mortuary	1 space per 3 fixed seats or 40 spaces per 1,000 sq. ft. in largest assembly room if there are no fixed seats
Lodging	1.25 spaces per guest room; reduced to 1 space per guest room for property classified in a PC district
Medical Service	
Home health care service	3.3 spaces per 1,000 sq. ft.
Hospice	1 space per 2 beds
Kidney dialysis center	4 spaces per 1,000 sq. ft.
Medical and dental laboratory	3.3 spaces per 1,000 sq. ft.
Medical office/clinic	4 spaces per 1,000 sq. ft.

⁴ This could be tied to the PC overlay, but by tying it to PC base zoning, we provide added incentive to opt for PC zoning.

#C.1.

USES		Minimum Motor Vehicle Parking
Office or Consumer Service		3.3 spaces per 1,000 sq. ft.; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Parking, Non-accessory		N/A
Personal Improvement Service		4 spaces per 1,000 sq. ft.; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Repair or Laundry Service, Consumer		4 spaces per 1,000 sq. ft.; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Research and Testing Services		3.3 per 1,000 sq. ft.
Retail Sales		4 spaces per 1,000 sq. ft. + 1 space per 1,000 of outdoor display/sales areas; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Sports and Recreation, Participant		
Golf course and clubhouse, private		2 spaces per hole
Health club		4 spaces per 1,000 sq. ft.; reduced to 2.5 spaces per 1,000 sq. ft. for property classified in a PC district
Private park		As determined per subsection 27-203(6)
Recreation center or swimming pool, neighborhood		1 space per 5 members; minimum 10 spaces in R districts; minimum 20 spaces in nonresidential districts
Recreation grounds and facilities		As determined per subsection 27-203(6)
Tennis center, club and facilities		1 space per 5 members; minimum 10 spaces in R districts; minimum 20 spaces in nonresidential districts
Other participant sports and recreation (Indoor)		5 spaces per 1,000 sq. ft.
Other participant sports and recreation (Outdoor)		As determined per subsection 27-203(6)
Vehicle and Equipment, Sales and Service		
Car wash		Vehicle stacking spaces per section 27-211
Gasoline sales		3 spaces per service bay/stall
Vehicle repair, minor		3 spaces per service bay/stall
Vehicle repair, major		3 spaces per service bay/stall
Vehicle sales and rental		1 space per employee + 2 spaces per service bay/stall
Vehicle storage and towing		4 spaces + 1 per employee
INDUSTRIAL		
Manufacturing and Production, Light		0.5 spaces per 1,000 sq. ft.
Wholesaling, Warehousing and Freight Movement		0.5 spaces per 1,000 sq. ft.
AGRICULTURE AND TRANSPORTATION		
Agriculture		
Agricultural produce stand		None
Community garden		None
Crops, production of		None

USES	Minimum Motor Vehicle Parking
TRANSPORTATION	
Heliport	None
Stations and terminals for bus and rail passenger service	As determined per subsection 27-203(6)
Taxi stand and taxi dispatching office	As determined per subsection 27-203(6)

(Ord. No. 2013-10-15, § 1(Exh. A § 27-12.20), 10-14-2013)

...

Sec. 27-204. - Allowed motor vehicle parking reductions.

(a) *Transit-served locations.*

- (1) The minimum off-street motor vehicle parking requirement for nonresidential uses located on lots within 1,500 feet of the pedestrian entrance of a light rail station or bus rapid transit stop is reduced by 5 spaces or 33 percent from the minimums stated in Sec. 27-202, whichever results in a greater reduction. Any authorized reduction in motor vehicle parking spaces must be offset by provision of bicycle parking spaces at a rate of one bicycle space for each 2 reduced motor vehicle parking spaces.
- (2) The minimum off-street motor vehicle parking requirement for dwelling units in multi-unit and mixed-use buildings located on lots within 1,500 feet of the pedestrian entrance of a light rail station or bus rapid transit stop is reduced by 25 percent from the minimums stated in Sec. 27-202. Any authorized reduction in motor vehicle parking spaces must be offset by provision of bicycle parking spaces at a rate of one bicycle space for each 2 reduced motor vehicle parking spaces.

(b) **Motorcycle parking.** In parking lots containing over 20 motor vehicle parking spaces, motorcycle or scooter parking may be substituted for up to five automobile parking spaces or five percent of required motor vehicle parking, whichever is less. For every four motorcycle or scooter parking spaces provided, the automobile parking requirement is reduced by one space. Each motorcycle and scooter space must have a concrete surface and minimum dimensions of four feet by eight feet. This provision applies to existing and proposed parking lots.

(c) **Bicycle parking.** Uses that provide bicycle parking and storage spaces are eligible for a reduction of required motor vehicle parking, in accordance with section 27-205

(d) *Car-share service.*

- (1) For any development, one parking space or up to five percent of the total number of required spaces, whichever is greater, may be reserved for use by car-share vehicles. The number of required motor vehicle parking spaces is reduced by one space for every parking space that is leased by a car-share program for use by a car-share vehicle. Parking for car-share vehicles may be provided in any non-required parking space.
- (2) For any residential or mixed-use development that (a) is required to provide 50 or more parking spaces to serve residential dwelling unit and (b) provides one or more spaces for car-share vehicles, the number of required parking spaces may be reduced by four spaces for each reserved car-share vehicle parking space. No reduction of required visitor parking spaces is allowed.

(e) *Public Parking.*

Nonresidential uses may count parking spaces provided within a public parking lot or public parking garage towards satisfying minimum off-street motor vehicle parking requirements, as follows:

- (1) The nearest pedestrian entrance to the public parking lot or garage must be located within 1,500 feet of the lot on which the subject use is located;
- (2) The parking facility must be open to the general public from at least 6:00 a.m. to 10 p.m.;

- (3) Minimum parking requirements may be reduced by one parking space for every 4 parking spaces within the public parking lot or garage, not to exceed a total reduction of more than 25 spaces.

(f) On-street Parking.

Nonresidential uses may count on-street parking spaces on public street rights-of-way abutting the subject property towards satisfying off-street motor vehicle parking requirements. One on-street parking space credit may be taken for each 20 linear feet of abutting right-of-way where on-street parking is allowed. Only space on the same side of the street as the subject use may be counted, except that the opposite side of the street may be counted if the property on that side of the street does not have the potential for future development. In calculating credit for on-street parking, all fractional spaces are rounded down. **(g) Shared parking.**

- (1) Sharing parking among different users can result in overall reductions in the amount of motor vehicle parking required. Shared parking is encouraged as a means of conserving scarce land resources, reducing stormwater runoff, reducing the heat island effect caused by large paved areas and improving community appearance.
- (2) Shared parking facilities are allowed for mixed-use projects and for multiple uses with different times of peak parking demand, subject to approval by the community development director. Applicants proposing to use shared parking as a means of reducing overall motor vehicle parking requirements must submit:
 - a. The names and addresses of the uses and of the owners or tenants that are sharing the parking;
 - b. The location and number of parking spaces that are being shared;
 - c. A shared parking analysis;
 - d. A legal instrument such as an easement or deed restriction guaranteeing access to the parking for the shared parking users.
- (3) The required shared parking analysis must be based on the latest edition of the Urban land Institute's (ULI) shared parking model or be prepared by registered engineer in the State of Georgia with expertise in parking and transportation. The shared parking analysis must demonstrate that the peak parking demands of the subject uses occur at different times and that the parking area will be large enough for the anticipated demands of both uses.
- (4) Shared parking may be located off site, provided that at least 75 percent of the required number of parking spaces for the subject use must be located on-site. Off-site parking is subject to the regulations of subsection 27-206(c). This provision does not apply when all uses making use of the shared parking are located within the boundaries of the PC Overlay.
- (5) Required residential parking and accessible parking spaces (for persons with disabilities) may not be shared and must be located on site.

(g) Alternative compliance.

The motor vehicle parking ratios of this division are not intended to prevent development and redevelopment or to make development and redevelopment economically impractical. In order

#C.1.

to allow for flexibility in addressing the actual expected parking demand of specific uses, commensurately reduced parking ratios may be approved through the special exception process (see article V, division 6) only if the zoning board of appeals determines that the proposed parking reductions are not likely to cause adverse impacts on traffic circulation and safety or on the surrounding area:

- (1) The applicant submits a parking study, prepared and sealed by a registered professional engineer in the State of Georgia with expertise in parking and transportation demonstrating that the motor vehicle parking ratios of section 27-202 do not accurately reflect the actual parking demand that can reasonably be anticipated for the proposed use; or
- (2) The applicant submits a parking demand management plan demonstrating a comprehensive and long-term approach to reducing on-site parking demand incorporating at least 3 of the following techniques:
 - a. Provision of or cost-participation in shuttle services from rail or bus transit or off-site parking facilities owned or leased by the applicant or employers who are tenants of the applicant's project.
 - b. Subsidy of employee use of high-occupancy motor vehicles such as carpools and vanpools;
 - c. Instituting a parking charge and not permitting such charge to be employer-subsidized;
 - d. Provision of subsidized transit passes;
 - e. Provision for bicycle commuters including but not limited to indoor bike storage and shower and changing facilities;
 - f. Other techniques acceptable to the zoning board of appeals and capable of reducing off-street parking demand at the work site.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-12.40), 10-14-2013)

ARTICLE V. - REVIEW AND APPROVAL PROCEDURES

...

DIVISION 3. - SPECIAL LAND USE PERMITS

...

Sec. 27-359. - Review and approval criteria.

(a) General.

The following review and approval criteria must be used in reviewing and taking action on all special land use permit applications related to allowed land uses:

- (1) Whether the proposed use is consistent with the policies of the comprehensive plan;
- (2) Whether the proposed use complies with the requirements of this zoning ordinance;
- (3) Whether the proposed site provides adequate land area for the proposed use, including provision of all required open space, off-street parking and all other applicable requirements of the subject zoning district;
- (4) Whether the proposed use is compatible with adjacent properties and land uses, including consideration of:
 - a. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust or vibration generated by the proposed use;
 - b. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
 - c. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
 - d. Whether the proposed use will create adverse impacts upon any adjoining land use by reason of the character of vehicles or the volume of traffic generated by the proposed use;
 - e. Whether the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings; and
 - f. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources.
- (5) Whether public services, public facilities and utilities—including motorized and nonmotorized transportation facilities—are adequate to serve the proposed use;

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- (6) Whether adequate means of ingress and egress are proposed, with particular reference to nonmotorized and motorized traffic safety and convenience, traffic flow and control and emergency vehicle access;
- (7) Whether adequate provision has been made for refuse and service areas; and
- (8) Whether the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.

(b) Major Exceptions to Perimeter Center Regulations.

In reviewing and taking action on requests for major exceptions to Perimeter Center Overlay and Perimeter Center zoning district regulations, review and decision-making bodies must consider:

- (1) Whether the major exception, if granted, would result in development that is inconsistent with the stated intent of the regulations;
- (2) Whether the major exception request will result in development that is in keeping with the overall character of the surrounding area; and
- (3) Whether any negative impacts that will result have been mitigated to the maximum practical extent.

DIVISION 7. - ADMINISTRATIVE PERMITS

Sec. 27-436. - Applicability.

The community development director is authorized to approve the following as administrative permits in accordance with the procedures of this division:

- (4) Any use or activity expressly authorized to be approved by administrative permit pursuant to the provisions of this zoning ordinance;
- (5) Reduction of minimum off-street parking and loading ratios by up to one space or ten percent, whichever is greater;
- (6) Minor exceptions to those Perimeter Center Overlay and Perimeter Center zoning district regulations expressly identified in section 27-98(a)(4)a and section 27-104(a)(5)a.⁵;
- (7) Reduction of zoning district setback requirements by up to ten percent;
- (8) Encroachment of building additions not exceeding one story or 18 feet in height into required rear setbacks by up to ten feet;
- (9) Type B home occupations that are solely teaching-related and conducted entirely within the principal dwelling;
- (10) Relatives residences;
- (11) Antennas that project more than ten feet above the height of the structure to which they are attached;

⁵ Transit-based reduction is proposed to become as-of-right.

- (12) Reduction of minimum building spacing requirements for multiple buildings on a single lot by up to 10 percent;
- (13) Increase in the maximum front door threshold height allowed by section 27-147
- (14) Increase in the maximum retaining wall height, as allowed by section 27-269
- (15) Reduction of the minimum retaining wall setback requirement, as allowed by section 27-269; and
- (16) Reduction of the minimum wing wall side setback requirement, as allowed by section 27-270

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.10), 10-14-2013)

Sec. 27-437. - Authority to file.

Applications for approval of administrative permits may be filed by the owner of the subject property or the property owner's authorized agent.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.20), 10-14-2013)

Sec. 27-438. - Application filing.

Administrative permit applications must be filed with the community development director.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.30), 10-14-2013)

Sec. 27-439. - Posted notice.

A sign must be placed in a conspicuous location on the subject property at least 30 days before the date of the community development director's decision on the administrative permit request. This required notice must indicate the earliest date that a decision on the administrative permit will be made and indicate the nature of the request and a contact where additional information can be obtained.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.40), 10-14-2013)

Sec. 27-440. - Community development director's decision.

- (a) The community development director must review each application for an administrative permit and act to approve the application, approve the application with conditions, deny the application or refer the application to the zoning board of appeals for consideration as a special exception (if related to parking) or a variance.
- (b) The community development director may not take final action to approve or deny an administrative permit application until at least 15 days after the date that posted notice was provided. All decisions must be made in writing within 30 days of the date that the application was filed.
- (c) The community development director's decision to approve or deny must be based on the approval criteria of section 27-441

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(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.50), 10-14-2013)

Sec. 27-441. - Review and approval criteria.

Administrative permits may be approved by the community development director only when the community development director determines that any specific approval criteria associated with the authorized administrative permit and the following general approval criteria have been met:

- (1) The grant of the administrative permit will not be detrimental to the public health, safety or welfare of the public or injurious to the property or improvements;
- (2) The requested administrative permit does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other similarly situated properties; and
- (3) The requested administrative permit is consistent with all relevant purpose and intent statements of this zoning ordinance.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.60), 10-14-2013)

Sec. 27-442. - Appeals.

Final decisions of the community development director may be appealed by any person aggrieved by the decision in accordance with the appeal procedures of article V, division 8.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.70), 10-14-2013)

Sec. 27-443. - Transfer of administrative permit.

Approved administrative permits, and any attached conditions, run with the land and are not affected by changes in tenancy or ownership.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.80), 10-14-2013)

Sec. 27-444. - Amending conditions of approval.

A request for changes in conditions of approval attached to an approved administrative permit must be processed as a new administrative permit application in accordance with the procedures of this division.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.90), 10-14-2013)

Sec. 27-445. - Reporting.

The community development director must maintain records of all administrative permits that have been approved or denied and provide a summary of such actions to the city council and planning commission at least four times per calendar year.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-23.100), 10-14-2013)

DIVISION 10. – SITE PLAN REVIEW

Sec. 27-485. - Applicability.

- (a) **General.** Site plan review and approval, in accordance with the procedures of this division, is required before a development permit may be issued within: (1) the boundaries of the Perimeter Center overlay or (2) any Perimeter Center Zoning District.
- (b) **Exemptions.** The community development director is authorized to waive or modify the site plan requirements for proposed construction or changes of use that will result in no exterior changes or site modifications.

Sec. 27-486. - Authority to file.

Applications and site plans may be filed by the owner of the subject property or the property owner's authorized agent.

Sec. 27-487. - Application filing.

Site plans must be filed with the community development director. The site plan must include at least the following information, unless waived by the community development director:

- (1) **Site location map.** Location of site within a half mile context of streets, rail lines, stations, and notable sites.
- (2) **Survey Plat.** Legal description of site, dimensions of property lines, easements, rights-of-way.
- (3) **Boundaries.** Development boundaries and proposed phasing (as applicable).
- (4) **Existing Conditions Plan.** Existing on-site and adjacent off-site structures, streets, utilities, easements, pavement noted either on an aerial photograph or site survey.
- (5) **Existing Natural Conditions Plan.** Existing topography, vegetation, drainageways, floodplain/way, or other unique features either on an aerial photograph or site survey.
- (6) **Site Plan.** A site plan delineating all proposed structures and surfaces, including parking, pavement, patios, landscape, and retaining walls.
- (7) **Building Plans.** Floor plans illustrating compliance with the requirements of section XXX [insert cross-reference].
- (8) **Use Requirements.** A table of uses is required on the Building Plan delineating locations and floor area of proposed uses, illustrating compliance with the regulations of section XXX [insert cross-reference].
- (9) **Building Elevations.** Building elevations of all facades, rendered to illustrate compliance with the requirements of regulations of section XXX [insert cross-reference].
- (10) **Landscape Plan.** Plans illustrating compliance with the regulations of section XXX [insert cross-reference]. All ground plane vegetation shall be illustrated.

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(11) Parking Plan. Parking layout plan, including driveway and drive aisle location and design.

(12) Other Information. Any other information required to demonstrate compliance with applicable regulations, expressly including Perimeter Center Overlay and Perimeter Center zoning district regulations.

Sec. 27-488. - Community development director's decision.

- (a)** The community development director must review each site plan and act to approve the site plan, approve the site plan with conditions, or deny site plan approval.
- (b)** The community development director's decision must be based on the approval criteria of section 27-489.
- (c)** Decisions to deny site plan approval must be accompanied by a written explanation of the reasons for denial.

Sec. 27-489. - Review and approval criteria.

Administrative permits may be approved by the community development director only when the community development director determines that the proposed plan complies with all applicable regulations.

Sec. 27-490. - Appeals.

Final decisions of the community development director may be appealed by any person aggrieved by the decision in accordance with the appeal procedures of article V, division 8.

Sec. 27-491. - Transfer of site plan approval.

Approved site plans, and any attached conditions, run with the land and are not affected by changes in tenancy or ownership.

Sec. 27-492. - Amending conditions of approval.

A request for changes in conditions of approval attached to an approved site plan must be processed as a new site plan application in accordance with the procedures of this division.

ADD TO CHAPTER 16

Sec. 16-237. - Streets.

- (t)** On-Street Parking Space Dimensions. The appropriate dimensions for on-street parking spaces are outlined in [Figure XXX Parking Lot Dimensions](#).

ANGLE (DEGREES)	STALL WIDTH (FEET)	STALL DEPTH (FEET)
0 (parallel)	8	20
45	8.5	17
60	8.5	18
90	8.5	18