

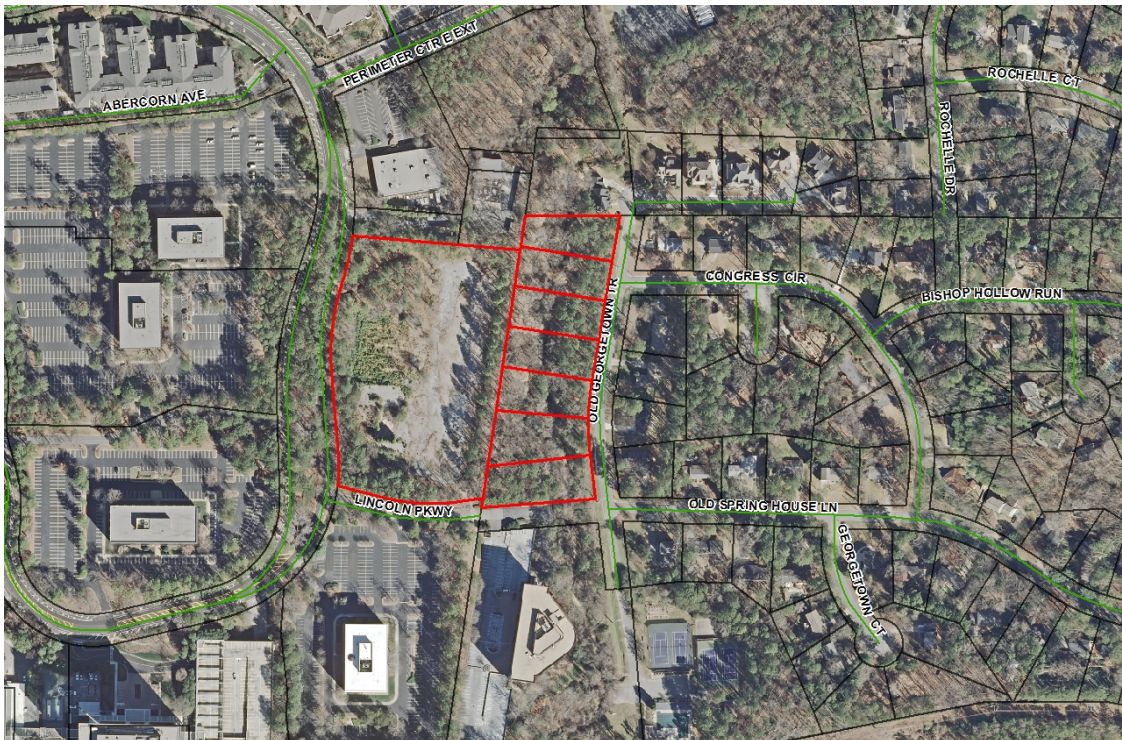
MEMORANDUM

To: Mayor & City Council

From: Steve Foote, AICP

Date: August 24, 2015

Subject: **RZ 15-071:** Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) to Multi-dwelling Residential-85 (RM-85) located at 54 Perimeter Center East, Dunwoody, GA 30346, tax parcel ID 18-347-01-008; and to rezone property currently zoned Single-dwelling Residential-100 (R-100) to Multi-dwelling Residential-85 (RM-85) located at 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Old Georgetown Trail, Dunwoody, GA 30338, tax parcel IDs 18-346-05-052, 053, 054, 055, 056, 057, 058, to allow for construction of an 87-unit, fee simple townhome development.



BACKGROUND

The site is located at 54 Perimeter Center East, Dunwoody, GA 30346 on the eastern side of Perimeter Center East, just north of Lincoln Parkway (private), and 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Old Georgetown Trail, Dunwoody, GA 30338 on the west side of Old Georgetown Trail at the west end of Old Spring House Lane. The property consists of approximately 9.84 acres of land on eight vacant parcels. The applicant is proposing to

develop 7.544 acres and dedicate the remaining 2.3 acres to the City for use as public park space.

The applicant seeks permission to rezone the property at 54 Perimeter Center East from Office-Institution (O-I) District, to Multi-dwelling Residential-85 (RM-85) District and to rezone portions of the properties at 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Georgetown Trail from Single-dwelling Residential-100 (R-100) to Multi-dwelling Residential-85 (RM-85) to construct an 87-unit, fee simple townhome development. As a concurrent request, the applicant also seeks to amend the Comprehensive Plan land use classification for portions of 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Georgetown Trail, through companion application CP 15-071. The applicant had submitted an application to change the land use classification for 54 Perimeter Center East from "Perimeter Center Transitional Sub-Area" to "High-Density Mixed-Use Sub-Area," to allow density greater than 12 units/acre, but that request is no longer needed for the proposed project, which is proposed to be 11.53 units/acre. The applicant has applied to amend the Comprehensive Plan for portions of the 7 parcels along Old Georgetown Trail from "Suburban Neighborhood" Character Area to "Perimeter Center" Character Area – Transitional subarea. The merits of this requirement will be discussed in further detail at the meeting.

DISCUSSION

Building/Construction. According to the conceptual site plan dated June 29, 2015, the applicant proposes to construct fifteen multi-dwelling buildings ranging from three dwelling units per building to nine dwelling units per building. Of the 87 units proposed, 68 will be front entry and 19 of the units will be rear entry. Each dwelling unit is approximately 24 feet in width and range in size from 1,824 square feet to 2,517 square feet. The applicant is proposing three-story units. The maximum height allowed by right in an RM District is 35 feet and 48 feet in height is allowed with approval of DeKalb Fire rescue service. For comparison, 70 feet in height is allowed in O-I, which is the current zoning designation of the property. The applicant submitted a front and side elevation drawing labeled, "Bedford II," for the units that will back up to the buffer between the development and Old Georgetown Trail. The total lot coverage of the site is proposed to be approximately 61%. Lot coverage is allowed to be 70% by right. Approximately 39% of the subject property will be preserved open space. All buildings are proposed to have four sided brick construction.

Parking/Transportation. Each unit will have a two car garages and two parking spaces in the driveway. 14 guest spaces will be provided, for a total of 362 spaces, which meets Code. The applicant has applied for a variance from Sec. 27-108(b)(1)(b) to reduce the driveway depth from 20 feet to 12 feet, but the applicant will be requesting a withdrawal at the August 6 ZBA meeting. One primary entrance for the development is provided from Perimeter Center East. A new left turn lane is proposed for improved access. The project is gated, which will be reviewed by staff for proper stacking and design.

Open Space/Common Areas. A common area, building, and pool are included as amenities on the site plan. As part of the City's vision for a connected trail system, the applicant is proposing to dedicate and construct a twelve foot concrete path that runs parallel to the eastern lot line of 54 Perimeter Center East. This path would eventually become part of the trail that extends from Brook Run Park through the Georgetown area. The applicant is proposing to dedicate approximately 2.3 acres of land located on the seven lots along Old Georgetown Trail to the City for use as public park space. The applicant has applied for a stream buffer variance for those seven properties for the construction of retaining walls associated with the recreational concrete path. The variance will not be necessary, per Sec. 16-79(12) which exempts multi-use trails and related improvements.

Landscape/Tree Preservation. Staff recommends the applicant retain as many mature trees as possible along both sides of the path to preserve the natural corridor. A Tree Preservation Plan, Tree Protection Plan and Tree Replacement Plan, all dated June 29, 2015 and updated July 27, 2015, have been submitted to determine the impact on the existing canopy and illustrate the applicant's plans for tree replacement and density. An Illustrative Master Plan, dated July 21, 2015 has also been submitted.

Direction	Zoning	Use	Current Land Use
N	O-Ic	Commercial	Office
S	O-I	Commercial	Office
E	R-100	Single-dwelling Residential	Vacant
W	O-I	Commercial	Office

Dunwoody's residential zoning districts are primarily intended to create, maintain and promote a variety of housing and living opportunities for individual households and to help ensure consistency with the comprehensive plan. When the zoning ordinance refers to "RM" zoning districts, it is referring to the multi-dwelling zoning districts: RM-150, RM-100, RM-85, RM-75 and RM-HD. The primary purposes of the RM, multi-dwelling zoning districts are as follows:

- To accommodate the development of multi-dwelling residential development in areas designated for such development by the comprehensive plan;
- To accommodate infill development that is in keeping with the physical character of existing neighborhoods; and
- To accommodate uses and structures designed to serve the housing, recreational, educational, religious and social needs of the neighborhood.

The following variances were approved by the Zoning Board of Appeals at their August 6, 2015 meeting:

- 27-58(c): To reduce the front yard setback from 35' to 0' to allow units to front directly upon Perimeter Center East;
- 27-58(c): To reduce the side yard setback (interior) on the northern boundary from 20' to 10';
- 27-58(c): To reduce the side yard setback (street) on the southern boundary from 35' to 10';
- 27-142(3): To reduce side-to-rear building separation requirement from 40' to 27';
- 16-237(s)(4): To reduce the number of required access points from two to one.

The following variances were withdrawn without prejudice at the August 6, 2015 meeting.

- 27-142(2): To reduce rear-to-rear building separation requirement from 60' to 28';
- 27-208(b)(1)(b): To reduce the required driveway depth from 20' to a minimum of 12'.

The applicant also applied for variance from Sec. 16-78 to encroach the city's stream buffer, which was withdrawn without prejudice.

In particular, the request for the reduction in the number of access points was supported by staff because the one access point is in compliance with Fire Code; the applicant is accommodating a future second entrance via a drive isle and access easement adjacent to the private road, Lincoln Parkway; the threshold to require a second entrance is prompted by a development of more than 75 units, and the proposed development is near the low end of that threshold. The configuration of the single drive and proposed future drive is preferable from a safety and access management perspective to the addition of two curb cuts along Perimeter Center East that would be too close and would not offer any additional transportation benefit.

The City Engineer reviewed the Flood Study and Hydrology Study that the applicant submitted on August 13, 2015 to address storm water management. The study indicates that the base flood elevation will not increase as a result of the proposed development described in the submittal. The measures taken by the applicant to address storm water management were found by the City Engineer to be consistent with the requirements of the City's development code and the Georgia Storm Water Management Manual.

ANALYSIS

Comprehensive Plan Analysis

The Comprehensive Plan is created from public input and lays out the community's vision for how to grow and develop today, and in the future. The Dunwoody Comprehensive Plan is organized primarily by regions, delineated as 'character areas'. The subject parcel is located in the 'Perimeter Center Character Area,' summarized on the attached excerpt from the Comprehensive Plan. The intent of this area is to create a "livable" regional center with first-class office, retail, and high-end restaurants in a pedestrian- and bicycle-oriented environment that serves as a regional example of high quality design standards.

The Perimeter Center Character Area adopted the three distinct sub-areas that were identified in the 2000 LCI study—transitional, high-density, and transit village—in order to guide development and design standards effectively as the commercial center moves towards residential neighborhoods. The development should demonstrate conformance with the development principles of the applicable sub-area. The character area calls for high quality design standards and building materials and best practices on energy efficiency, where possible.

Review and Approval Criteria

In accordance with Georgia and local law, the following review and approval criteria shall be used in reviewing the respective amendment applications:

Section 27-335. Review and approval criteria.

- a. *Zoning Map Amendments.* The following review and approval criteria must be used in reviewing and taking action on all zoning map amendments:
 1. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan;

The proposal is consistent with the spirit of the Comprehensive Plan, except in regards to the 7 lots along Old Georgetown Trail. The Plan puts those lots in the Suburban Neighborhood Character Area, and calls for, “stable, owner-occupied single family residential area that is characterized by a traditional suburban pattern of development with accessible sidewalks, extensive landscaping, and access to parks and functional greenspace, places of worship and schools.

2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties;
Yes, the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties. The adjacent property to the east is zoned R-100. The project will dedicate over 2 acres of land to be used as a functional green space. Furthermore, townhomes are an appropriate transitional use between the high-intensity commercial uses and very low-intensity single family residential use.
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;
The property at 54 Perimeter Center East has a reasonable economic use as currently zoned, O-1; however, it has sat vacant for years with that zoning designation. The seven parcels on Old Georgetown Trail are largely unbuildable due to a stream that runs through the middle of the lots.
4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;
The zoning proposal will not adversely affect the existing use or usability of adjacent or nearby property. Conversely, the rezoning of the seven lots supports the city's goal of providing a continuous pedestrian trail through the area and will enhance property values in the neighborhood.
5. Whether there are other existing or changing conditions affecting the use and development of the property that provide supporting grounds for either approval or disapproval of the zoning proposal;
While the Perimeter Center Zoning Code, in the drafting phase now, will not be effective to be applied to this project, the applicant has made efforts to comply with portions of the proposed code; therefore, this project, as proposed would not be out of context substantially with future development enforced under the pending regulations. Gated developments are prohibited in the proposed text, so the proposal to gate the project is not supported by the text.
6. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources; and
The zoning proposal will not adversely affect historic buildings, sites, districts, or archaeological resources.
7. Whether the zoning proposal will result in a use that will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

The development is not expected to cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The report from DeKalb County School District, dated May 28, 2015, projects the development will contribute 8 students to area schools. That report was based on an 81-unit development. DeKalb County Schools has been notified that six units have been added to the plan and given the opportunity to provide comment. No updated comment has been received to-date.

RECOMMENDATION

Community Council

At their Special Called May meeting, the Community Council heard the applicant's request to rezone the property from O-I to RM-85. After some discussion with the applicant and staff related to the nature of the project and the proposed use of the subject property specifically, a motion was made to recommend approval of the request with the following conditions, and the motion was voted and passed (4 – 0).

1. The acceleration of the second access point is encouraged; and
2. The issue of density be left to the Planning and Zoning Department.

Planning Commission

At their regularly scheduled July meeting, the Planning Commission heard the applicant's request to rezone the properties from O-I and R-100 to RM-85. After some discussion with the applicant and staff related to the nature of the project and the proposed use of the subject property specifically, a motion was made to recommend approval of the request with the conditions as presented by staff in addition to the following condition. The motion was voted and passed (6 – 1).

1. Rentals shall be limited to 8 units maximum for the complex. The HOA for the complex will furnish a yearly report to the Community Development Director as to which units are subleased to tenants rather than owner occupied.

Staff Recommendation

Based on the above analysis and findings, staff has determined that the requested amendments to the official zoning map meet the requirements of Chapter 27, §27-335. Therefore, staff recommends the application be **approved** with the following exhibit(s) and condition(s):

Exhibit A: Conceptual Site Plan, dated June 29, 2015

Exhibit B: Illustrative Master Plan, dated July 21, 2015

Exhibit C: Tree Protection Plan, dated June 29, 2015, updated July 27, 2015

Exhibit D: Tree Location Plan, dated June 29, 2015, updated July 27, 2015

Exhibit E: Tree Replacement Plan, dated June 29, 2015

Exhibit F: Typical Lot Planting Plan, dated June 29, 2015, updated July 27, 2015

Exhibit G: Building Elevations and Renderings (three pages) dated July 14, 2015 and undated

Exhibit H: Site Section (undated)

1. Development shall be in substantial compliance with Exhibits A, B, C, D, E, F, G, and H.
2. The Owner shall provide an access easement to the property boundary at the stub road shown on the site plan to allow for a future tie-in to Lincoln Parkway East and shall record the easement prior to issuance of a land development permit.
3. Street furniture shall be in compliance with PCIDs standards and shall include a recycling receptacle. The recycling receptacle shall be maintained by the property owner if DeKalb County Sanitation does not service recycling receptacles.
4. Identical elevations shall be separated by a minimum of three other units.
5. Asphalt shingle roofing shall be a minimum three-dimensional Architectural type.
6. Developer shall construct the 12' wide pedestrian path as depicted on the plans and shall dedicate or record an easement for the path and associated maintenance to the City of Dunwoody.
7. East of the "Lower Retaining Wall," only those trees necessary for the construction of the 12' path, associated retaining walls and compensatory grading in the floodplain related to same may be removed.
8. Property owner shall dedicate the approximately 2.3 acres to the City of Dunwoody, without charge, prior to the issuance of any Certificate of Occupancy.
9. Vegetation on the approximately 2.3 acres identified for conveyance to the City of Dunwoody will remain 'undisturbed' by the developer.
10. The portions of the subject properties to be rezoned shall be subdivided and recombined with the property to the west and the properties to be dedicated to the City shall be combined into one parcel. The subdivisions shall be conducted in compliance with the zoning and subdivision requirements and procedures in effect at the time the subdivision application is made and shall take place within 60 days of the completion of site development improvements.
11. Rentals shall be limited to a maximum of 10 percent of the total units.
12. The applicant shall design their site and/or implement measures to prevent an increase in the adjacent floodplain's base flood elevation.

Attachments

- Ordinance and Exhibits
- Official Rezoning Map
- Storm Water Review by City Engineer, dated August 19, 2015
- Hydrology/ Flood Study, dated August 13, 2015
- 7-14-15 PC Meeting Minutes, 5-27-15 CC Meeting Minutes, 8-6-15 ZBA Minutes
- Division I – Residential Zoning Districts; Division II – Mixed Use and Nonresidential Zoning Districts
- Comprehensive Plan excerpts
- DeKalb County School District Report
- Location Maps

#13.



- Floor Plans 38 ft deep units
- Floor Plans 44 ft deep units
- Application packet

41 Perimeter Center East, Suite 250
Dunwoody, Georgia 30346
P (678) 382-6700 F (678) 382-6701
dunwoodyga.gov

**City of Dunwoody
Official Zoning Map**

Map Publication Date:
August 24, 2015

Legend

- Street
 □ Parcel
 □ City Limit

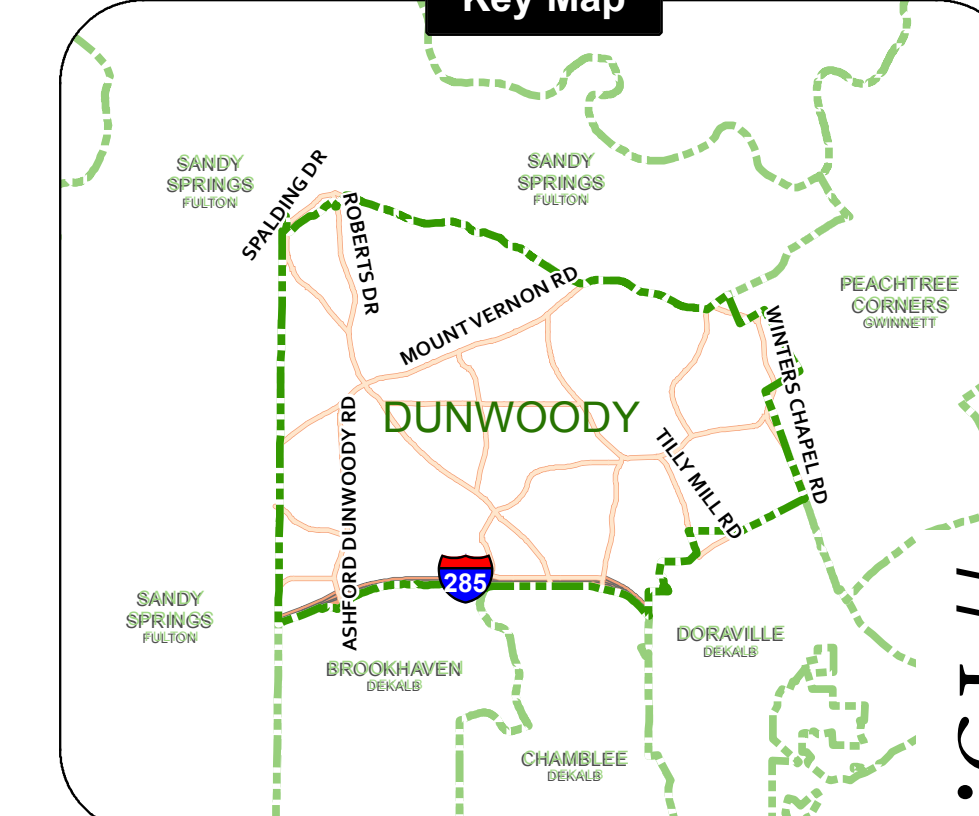
Zoning Districts

-
- Legend for the land use map:
- Local Commercial (C-1)
 - Local Commercial (C-1c)
 - General Commercial (C-2)
 - Commercial-Residential Mixed-Use (CR-1)
 - Industrial (M)
 - Neighborhood Shopping (NS)
 - Office-Distribution (O-D)
 - Office-Institution (O-I)
 - Office-Institution-Transitional (O-I-T)
 - Office-Institution (O-Ic)
 - Office-Commercial Residential (OCR)
 - Office-Commercial Residential (OCRc)
 - Planned Development (PD)
 - Single-dwelling Residential (R-100)
 - Single-dwelling Residential (R-150)
 - Single-dwelling Residential (R-50)
 - Single-dwelling Residential (R-60)
 - Single-dwelling Residential (R-75)
 - Single-dwelling Residential (R-85)
 - Single-dwelling Residential (R-A5)
 - Single-dwelling Residential (R-A8)
 - Residential Community Development (R-CD)
 - Single-family Cluster Residential (R-CH)
 - RA
 - Multi-dwelling Residential (RM-100)
 - Multi-dwelling Residential (RM-150)
 - Multi-dwelling Residential (RM-75)
 - Multi-dwelling Residential (RM-85)
 - Multi-dwelling Residential (RM-HD)

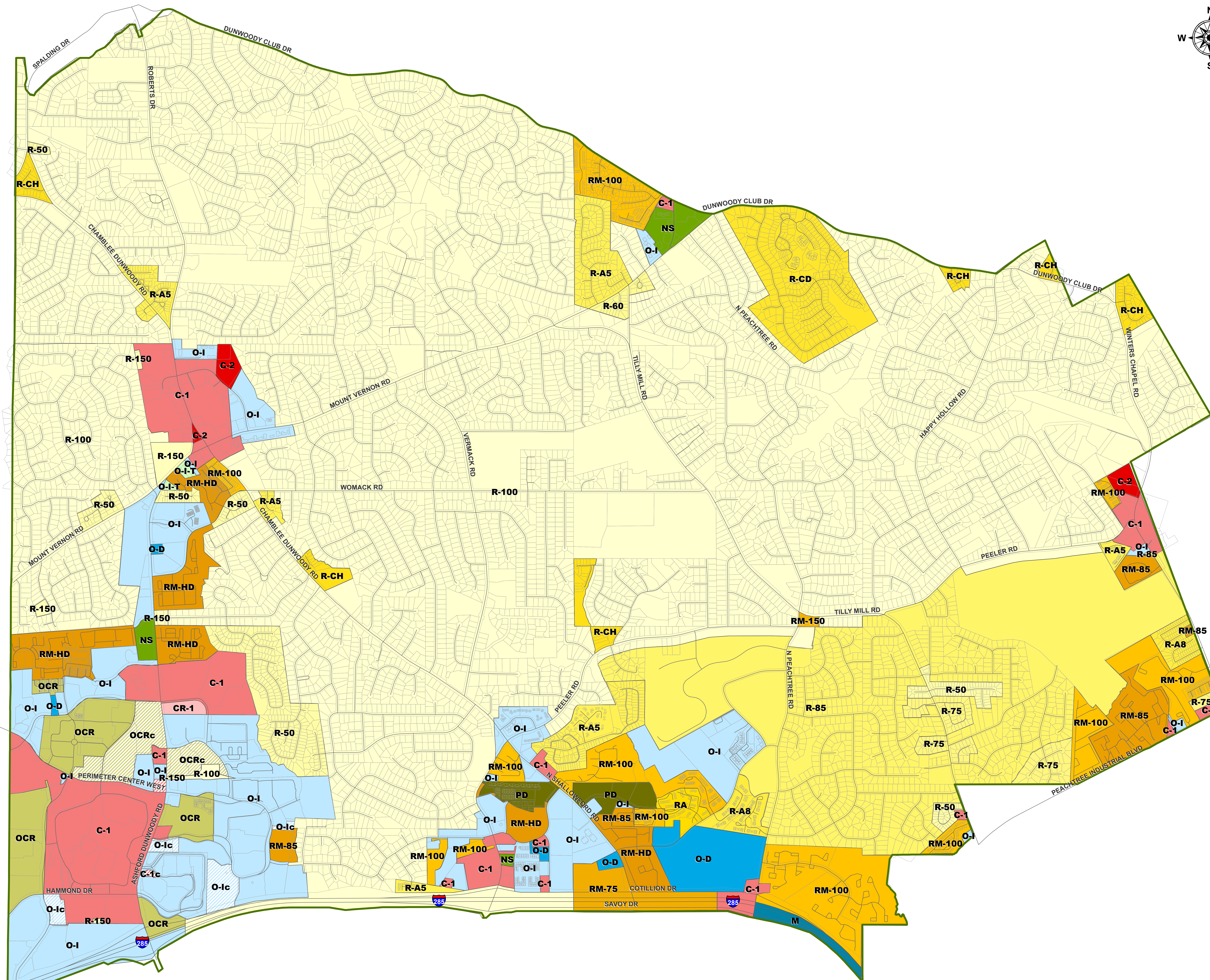
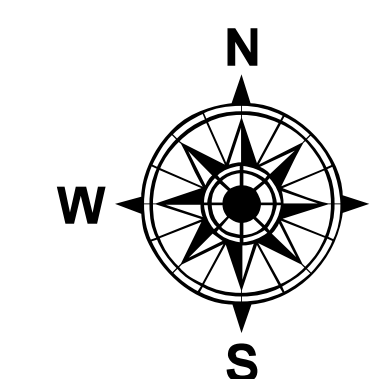
Michael G. Davis,
Mayor

Sharon Lowery,
City Clerk

Key Map



#13.



A horizontal scale bar with tick marks at 0, 0.5, and 1. The unit 'Mile' is written at the end of the bar.

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Zoning

This map does not serve as the official record of zoning.

City of Dunwoody Zoning Files take precedence over any errors or omissions that are observed on this map.

Data Source

City of Dunwoody, DeKalb County

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TO: Steve Foote, AICP, Community Development Director

FROM: Rich Edinger, PE, CFM, City Engineer 

DATE: August 19, 2015

RE: Townsend at Perimeter
 Acadia Homes and Neighborhoods
 Review of Flood Study and Hydrology Study Submittals and Response

We have reviewed the above referenced submittals and the applicant has addressed our comments. The study that has been submitted indicates that the base flood elevation will not increase as a result of the proposed development as described.

The measures taken to address stormwater management include a CrystalStream Technologies water quality vault and an underground chamber system to address the channel protection requirements of the development code. The study shows that installing a traditional detention pond will lag the peak outflows from the site and actually increase the peak flows in North Fork of Nancy Creek, and would subsequently increase the base flood elevation in the floodplain. Accordingly, the applicant is not proposing to construct a detention pond with this project.

At this level of project detail, the engineer's approach to stormwater management is consistent with the requirements of the City's development code and the Georgia Storm Water Management Manual.

site planning ■ landscape architecture ■ civil engineering ■ land surveying ■ water resources

August 13, 2015

Mr. Rich Edinger
City of Dunwoody
41 Perimeter Center East
Suite 250
Dunwoody, Ga 30346

Subject: 54 Perimeter Center East – Hydrology/Flood Study

Dear Mr. Edinger,

This Letter Report outlines the revisions made to the Hydrology/Flood Study that was previously submitted for the proposed townhome development at 54 Perimeter Center East, otherwise known as Townsend at Perimeter. These revisions are meant to address concerns that City of Dunwoody Staff made to the City Council in an August 7th letter.

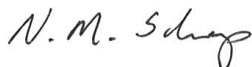
The initial concern as stated in the first comment was with regard to full construction plans not being submitted with the hydrology report. Full construction plans are under development and will be submitted as soon as possible following the rezoning hearing. Any additional comments that the City Engineer may have following plan submittal will be addressed during the land disturbance permitting process.

The second comment pertains to the amount of area being captured and treated for channel protection. Changes to the storm drainage layout as well as moving the detention pipes and water quality unit will allow a much greater area to be conveyed and treated for water quality and channel protection. Only small areas (proposed city trail and sidewalk along Perimeter Center East) with little or no impervious surfaces will be left untreated. Similarly, comment three asked for the TSS site development tool. This has been included in the report in Appendix B as well as explained in further detail on page 3-8.

The final comment was with regard to a previously reported flow increase. This was a reflection of not adding the existing drainage area to the model at the appropriate HEC-HMS model location. The existing and proposed conditions have been added to the flow comparison as well as to the HEC-RAS model. The resultant to no-rise to the floodplain elevation as well as no increase in the peak flow to NFNC either at the site or downstream location.

Should you have any questions, please feel free to contact me at 678-684-6248 or nschaap@pecatl.com.

Sincerely,
Planners and Engineers Collaborative



Neil Schaap, P.E., CFM

Enclosure: Revised Hydrology and Flood Study

Flood Study and Hydrology Report
Of

Townsend at Perimeter
54 Perimeter Center East
Dunwoody, Ga

Prepared For:

Acadia Homes and Neighborhoods

2100 Powers Ferry Road
Suite 300
Atlanta, Georgia

PEC Project #05129.00D



350 Research Court, Peachtree Corners, GA 30092 ■ Phone: (770) 451-2741 ■ Fax: (770) 451-3915
www.pecatl.com

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LIST OF ABBREVIATIONS

BMP	best management practice
LF	linear feet
CFS	cubic feet per second
TSS	total suspended solids
WQ	water quality
GSWMM	Georgia Stormwater Management Manual
SWCB	single wing catch basin
DWCB	double wing catch basin
RCP	reinforced concrete pipe
HEC-RAS	Hydrologic Engineering Center - River Analysis System (software)
HEC-HMS	Hydrologic Engineering Center – Hydrologic Modeling System (software)
USACE	United States Army Corps of Engineers

1 SECTION 1

1.1 EXECUTIVE SUMMARY

Acadia Homes and Neighborhoods is proposing an 87-unit townhome neighborhood at 54 Perimeter Center East. The purpose of this report is to outline post developed stormwater quality and quantity runoff treatment approaches for the proposed development per the City of Dunwoody municipal ordinances.

Water Quality

Water Quality for the site will be provided by utilizing a proprietary water quality device to remove 80% of the Total Suspended Solids (TSS) from the runoff. The proprietary device will be located near the low point of the site in order to maximize drainage area that will be able to be treated. The device will be sized to treat flows from the first 1.2" of rainfall on site per the Georgia Stormwater Management Manual (GSWMM). The device will also be sized to bypass flows from storm events with greater intensity without compromising the performance of the water quality device. The target pollutants for removal are TSS as well as trash / debris, however some removal of additional pollutants such as Fecal Coliform, bacteria/pathogens, nutrients and heavy metals is expected as well.

Channel Protection

Channel Protection will be provided by capturing the volume of runoff from the 1-Year Storm Event and slowly releasing it over the following 24 to 48 hours. This is intended to slow velocities in downstream waterways that would otherwise cause streambank erosion. The channel protection for this site will be achieved by installing large diameter underground pipes with an outlet control structure to regulate outflow.

Detention

The site discharges direction into North Fork Nancy Creek and its adjacent floodplain. Due to the size of the watershed, it is anticipated that by providing detention, the peak flow rate of North Fork Nancy Creek would increase. According to Section 2.1.9 of the GSWMM "If water quantity control (detention) structures are indiscriminately placed in a watershed and changes to the flow timing are not considered, the structural control may actually increase the peak discharge downstream".

Therefore, the impact on timing of a detention system will be analyzed in this report. The Current Effective HEC-HMS flood model will be obtained by the City of Dunwoody and utilized to determine the peaking time and runoff quantity of the following scenarios A) The existing conditions, B) Proposed conditions without detention and C) Proposed conditions if detention were provided.

Floodplain

Minor modifications to the right overbank floodplain are proposed. A cut and fill volume analysis will be performed to ensure that an overall net cut will occur within the floodplain. Additionally, the Current Effective HEC-RAS model provided by the City of Dunwoody will be utilized to determine the impact of the proposed development on the regulatory 100-Year Special Flood Hazard Area (SFHA). The site will be graded so that a vertical rise in the 100-Year flood elevation will not occur.

2 SECTION 2

2.1 INTRODUCTION

The proposed townhome project is located at 54 Perimeter Center East. The site was once the location of an existing two story office building. The building has since been demolished. The building slab and parking lot remain. Currently, runoff is collected in an existing pipe network and allowed to discharge untreated into Nancy Creek.

The site is bounded on the north and south by existing office buildings, to the west by Perimeter Center East road and the east by the North Fork Nancy Creek. It is unclear of any of the surrounding developments contain stormwater treatment systems.

2.2 DRAINAGE BASIN CHARACTERISTICS

The site can be divided into two basins. One basin that drains west to east directly into North Fork Nancy Creek (NFNC) and the other along the frontage of Perimeter Center East. Both eventually drain to NFNC. NFNC runs north to south along the eastern property line. There is studied floodplain (Zone AE) on the left and right overbanks of the creek. The 25' state stream buffer as well as property along the eastern bank will remain wooded and undeveloped, and with the exception of minor grading, the majority of the floodplain will also remain undeveloped.

The existing site itself is currently graded. A two-story office building had previously resided on the property. The building and parking areas is demolished, however much of the subbase material remains. There is some limited storm infrastructure onsite that captures surface flows and directs them to a headwall towards the middle of site along the floodplain of NFNC. The headwall contains some energy dissipating 'teeth', however flows have cut a defined channel approximately 5-6' deep that leads to NFNC, approximately 105 lf away.

The proposed development will retain the same drainage path and discharge point as existing. The study point will be taken at the southeastern corner of the site where NFNC leaves the property. The proposed conditions map is divided into areas based on whether or not the area flows towards a treatment device (roofs, driveways, etc.) or bypasses treatment (floodplain, buffer area, etc.) and flows directly to the study point.

The surrounding properties are developed with curb and gutter with individual stormwater systems, therefore very little runoff enters the site from offsite.

Tables 2-1 and 2-2 on the following page show the existing and proposed drainage areas. Larger exhibits are located in the appendix.

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Figure 2-1. Existing Conditions Drainage Map

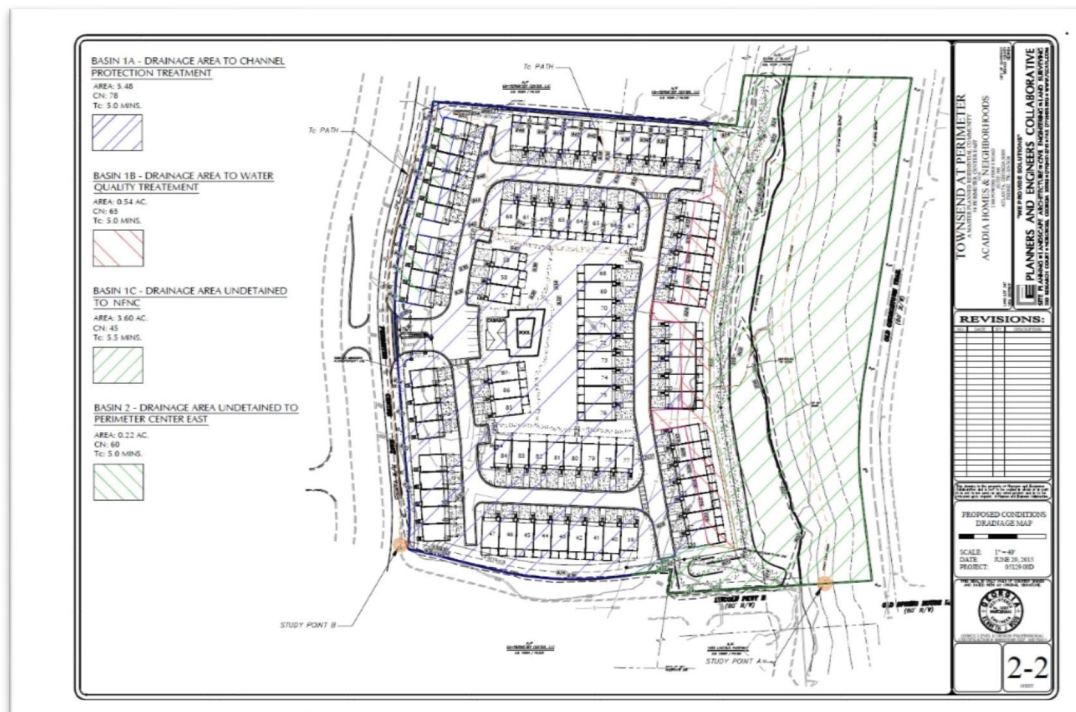


Figure 2-2. Proposed Conditions Drainage Map

2.3 CURVE NUMBERS:

Curve Numbers are numerical values placed on drainage areas that predict infiltration and direct runoff from rainfall events. Land use and hydrologic soil groups (HSG) are required to calculate composite curve numbers. Hydrologic soil groups for the watershed were determined using the latest National Resource Conservation Service (NRCS) soils information obtained from the NRCS Soil Data Mart (<http://soildatamart.nrcs.usda.gov/>) According to the NRCS soils maps, the soil classification for the site is Urban Land (Ud) and Cartecay Silt Loam (Ca). Ca soils belongs to HSG A, whereas Ud is unassigned. Further investigation into the geotechnical boring report indicates the predominant presence of sand throughout the site. Therefore, HSG A will be used of all areas onsite. Table 2-1 below describes the individual drainage areas included in this model. The drainage areas were determined using field run topography.

Table 2-1. Drainage Area Summary

Drainage Area	ID	Drainage Area (ac.)	Impervious Area (ac.) CN - 98	Gravel Area (ac.) CN - 76	Pasture Poor Cover (ac.) CN - 68	Landscaped Area (ac.) CN - 39	Woods Area (ac.) CN - 45	Composite Curve Number
Existing Conditions	DA 1	8.95	1.47	2.32	1.16	-	4.00	65
Existing Conditions	DA 2	0.89	0.08	-	0.81	-	-	71
Existing Conditions	Total	9.84	1.55	2.32	1.97	-	4.00	65.3
Proposed Conditions To CP Treatment	DA 1A	5.48	3.74	-	-	1.74	-	79
Proposed Conditions To WQ Treatment	DA 1B	0.54	0.24	-	-	0.30	-	65
Proposed Conditions Bypass - NFNC	DA 1C	3.60	0.07	-	-	0.70	2.83	45
Proposed Conditions Bypass – Perimeter Center	DA 2	0.22	0.08	-	-	0.14	-	60
Proposed Conditions	Total	9.84	4.13	-	-	2.88	2.83	65.5

Table 2-2 shows the CN assignments for each land use. The printed NRCS soil series map and CN calculations are located in the appendix A.

Table 2-2. Curve Number (CN) Assignments					
TR-55 Equivalent		Curve Number			
Description	Percent Impervious	HSG A	HSG B	HSG C	HSG D
Urban districts commercial and business	85	89	92	94	95
Urban districts industrial	72	81	88	91	93
Urban districts industrial	72	81	88	91	93
Urban districts commercial and business	85	89	92	94	95
Urban districts commercial and business	85	89	92	94	95
Residential district 2 acre	12	46	65	77	82
Residential district 1/2 acre	25	54	70	80	85
Residential district 1/4 acre	38	61	75	83	87
Residential district 1/8 acre or less	65	77	85	90	92
Open space – Good condition	-	39	61	74	80
Open space fair condition(excluding impervious area)	-	49	69	79	84
Paved parking lots, roofs, driveways, sidewalks - excluding right-of-way	100	98	98	98	98
Open space - Good condition	-	39	61	74	80
Woods – Good condition	-	30	55	70	77
Woods – Poor Condition	-	45	66	77	83

2.4 TIME OF CONCENTRATION:

The Time of Concentration (Tc) for each basin was determined using the TR-55 methodology. Full calculations are located in Appendix B. Tc flow paths are delineated on the drainage maps located in Appendix A. Table 2-3 below provides a summary for each drainage area. Per the Georgia Stormwater Management Manual (GSWMM), a minimum of 5.0 minutes will be used for a Tc that has been calculated less than 5.0 minutes.

Table 2-3. Time of Concentration Calculations		
Drainage Area	ID	Time of Concentration (min.)
Existing Conditions	DA 1	12.1
Existing Conditions	DA 2	6.0
Proposed Conditions To CP Treatment	DA 1A	5.0 (4.53)
Proposed Conditions To WQ Treatment	DA 1B	5.0 (4.15)
Proposed Conditions Bypass - NFNC	DA 1C	5.50
Proposed Conditions Bypass – Perimeter Center	DA 2	5.0 (4.97)

2.5 FLOW SUMMARY:

The SCS method was used to determine peak flow rates for each drainage area using Hydraflow Hydrographs software. A 24-hour Type II rainfall distribution was used in conjunction with rainfall totals found in Appendix A-2 of the GSWMM (Rainfall Table for City of Atlanta). The peak runoff totals for the 1-100-yr storm events is listed below. Hydrographs are located in Appendix C.

Table 2-4. Existing Conditions Flow Summary			
Storm Event	Rainfall (in.)	Existing DA 1 (cfs)	Existing DA 2 (cfs)
1-Yr	3.36	7.53	1.41
2-Yr	4.08	12.88	2.13
5-Yr	4.80	18.85	2.90
10-Yr	5.52	25.26	3.70
25-Yr	6.48	34.42	4.81
50-Yr	7.20	41.62	5.66
100-Yr	7.92	49.02	6.53

Table 2-4. Flow Summary						
Storm Event	Rainfall (in.)	Proposed DA 1A (cfs)	Proposed DA 1B (cfs)	Proposed DA 1C (cfs)	Proposed Total DA 1 (cfs)	Proposed Total DA 2 (cfs)
1-Yr	3.36	14.22	0.63	0.03	0.94	0.15
2-Yr	4.08	19.86	1.05	0.20	1.53	0.30
5-Yr	4.80	25.71	1.52	1.21	5.95	0.47
10-Yr	5.52	31.68	2.02	2.84	14.18	0.65
25-Yr	6.48	39.79	2.72	5.58	29.43	0.92
50-Yr	7.20	45.96	3.28	7.93	47.86	1.13
100-Yr	7.92	52.15	3.84	10.55	63.17	1.34

4 SECTION 4

4.1 CHANNEL PROTECTION

Channel Protection will be provided for the site by capturing the volume of runoff from the 1-Year Storm Event and slowly releasing it over the following 24 to 48 hours. This will be accomplished by using two 96" diameter underground pipes located towards the rear of the site.

The calculated Channel Protection volume for the site is 25,073 cu. ft. Calculations are located in Appendix B. Each pipe length will need to be 230 lf. The pipes will be perforated and surrounded by 12" of gravel with a 40% void ratio. An outlet structure with a 2.25" diameter orifice installed at the bottom will drain the channel protection volume over a period of 24 hours.

Table 4-5. Channel Protection Pipe Stage Storage

Stage (Elevation)	Storage (cu.ft.)
921	0
922	1,810
923	4,610
924	7,840
925	11,715
926	15,355
927	19,340
928	22,830
929	26,280
930	28,650
930.5	29,611

5 SECTION 5

5.1 DETENTION

The site discharges directly into North Fork Nancy Creek (HUC 0313001) and its adjacent floodplain. Due to the size of the watershed, by not providing detention, the peak flow rate of North Fork Nancy Creek will actually decrease. According to Section 2.1.9 of the GSWMM "If water quantity control (detention) structures are indiscriminately placed in a watershed and changes to the flow timing are not considered, the structural control may actually increase the peak discharge downstream".

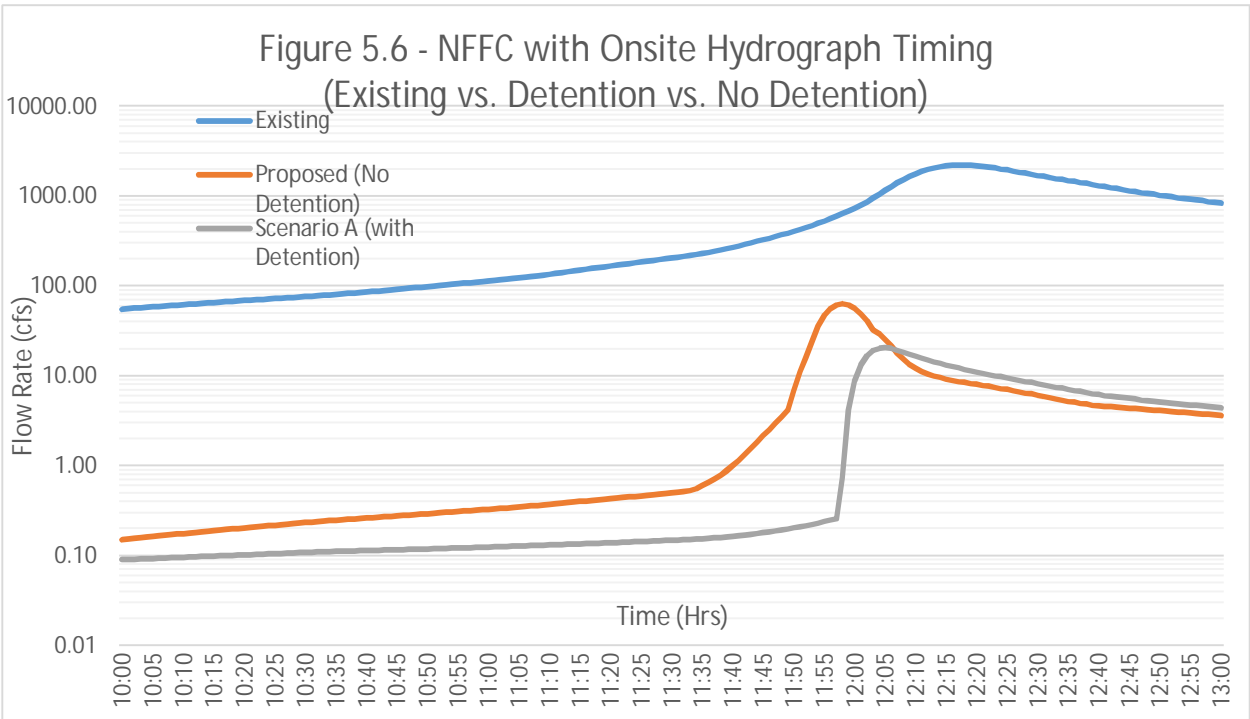
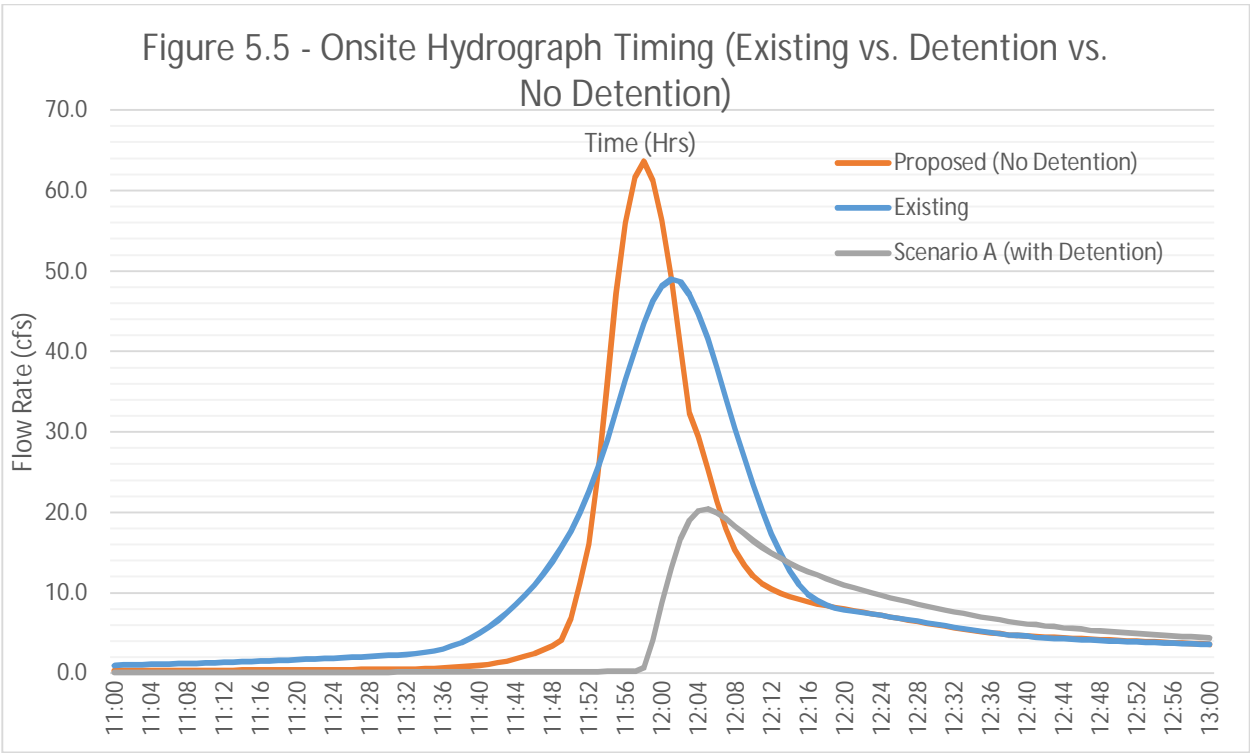
The basin hydrographs were obtained from the HEC-HMS model. Junction J239A in the HEC-HMS model corresponds to River Station RS 6880.80 in the HEC-RAS model, which is just upstream of the site approximately 80' +/- . Runoff leaves the site in an existing channel and enters NFNC just downstream of River Station 6407.04 in the HEC-RAS model. Flow rates in the following section are adjusted in the Corrected Effective and Proposed Flood Models to account for the changes in onsite flow.

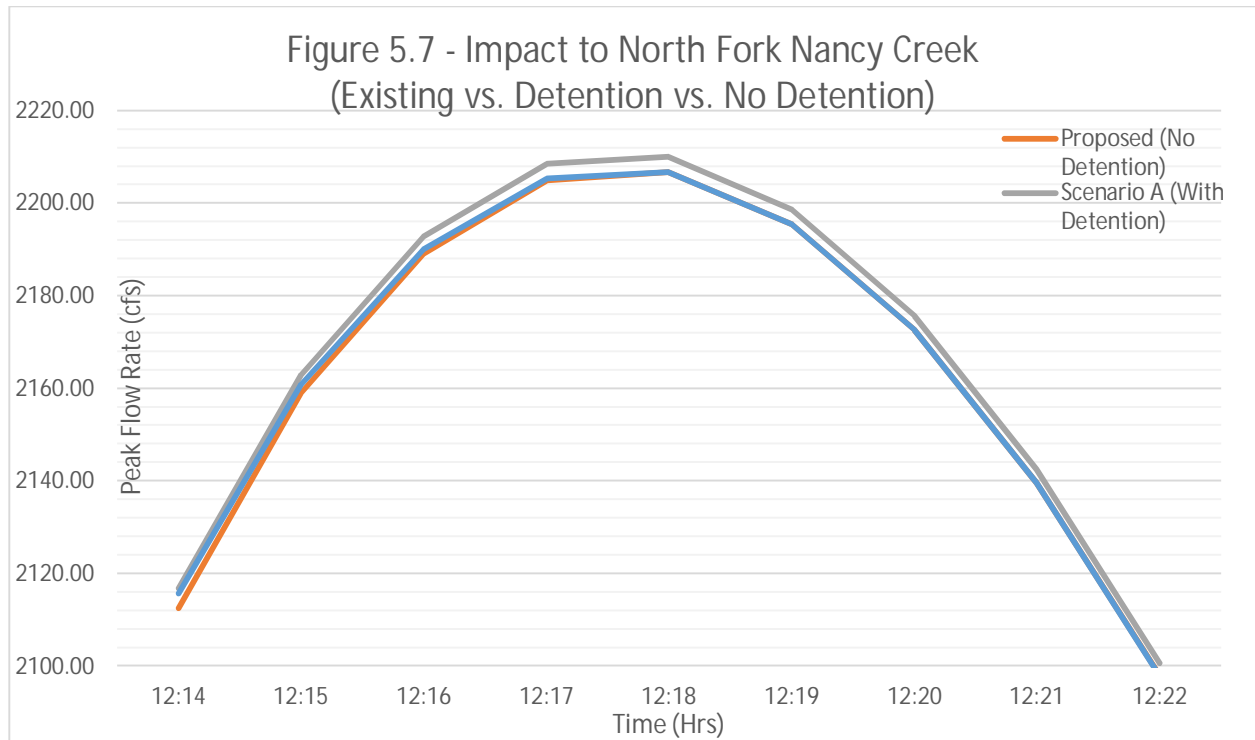
Table 5-1 below shows a summary of flows from both DA 1 and DA 2 as well as the impact that changes to DA 1 has on NFNC. Note that DA 2 enters NFNC at a downstream location and the impact to NFNC is discussed in Section 7 of this report.

Table 5-1. NFNC – Existing and Proposed Flow Summary					
Basin ID	NFNC 100-Yr Flow Rate (cfs) RS 6880.80	Existing onsite 100-Yr Flow Rate (cfs)	NFNC - Combined Existing 100-Yr Flow Rate (cfs) RS 6407.04	Proposed Onsite 100-Yr Flow Rate (cfs)	NFNC - Combined Proposed 100-Yr Flow Rate (cfs) RS 6407.04
DA 1	2198.2	49.0	2206.7	63.2	2206.6
DA 2	N/A	6.5	N/A	1.3	N/A

A second scenario was run (Scenario A) which addressed the impact to the site if detention were provided for the site. Table 5-2 below compares the proposed flows with Scenario A flows.

Table 5-2. North Fork Nancy Creek – Proposed and Scenario A Flow Summary					
Basin ID	NFNC 100-Yr Flow Rate (cfs) RS 6880.80	Proposed Onsite 100-Yr Flow Rate (cfs)	NFNC - Combined Proposed 100-Yr Flow Rate (cfs) RS 6407.04	Scenario A Onsite 100-Yr Flow Rate (cfs)	NFNC - Combined Scenario A 100-Yr Flow Rate (cfs) RS 6407.04
DA 1	2198.2	63.2	2206.6	20.43	2210.0
DA 2	N/A	1.3	N/A	1.3	N/A





6 SECTION 6

6.1 FLOODPLAIN

The site contains floodplain Zone AE within the site from North Fork Nancy Creek (FIRM Panel 13089C0012J, dated 5/16/13). Minor modifications to the right overbank floodplain are proposed. The existing 100-year Special Flood Hazard Area (SFHA) was overlaid on the grading plan and a cut and fill volume analysis was performed to ensure that an overall net cut will occur within the floodplain. Table 6-1 below shows the results of this analysis.

Table 6-1. Cut-Fill Analysis		
Cut within Floodplain (cu.yd.)	Fill within Floodplain (cu.yd.)	Net (Cut) (cu.yd.)
570.0	412.6	157.4

Additionally, a HEC-RAS model was created with the proposed conditions to ensure that no-rise in the floodplain or floodway would occur. The Current Effective model was obtained by the City of Dunwoody through an open records request. A Duplicate Effective model was created and ran to ensure the integrity of the received data. The results were the same. The next step in the process was to incorporate more accurate field-run data for the site into the model. Cross Sections 1009 and 1060 are located onsite and had minor adjustments to the right overbank. Section 1008 is upstream of the site. Section 1010 is downstream of the site. No modifications to upstream or downstream cross sections were made. This model is named the Corrected Effective model. Additionally, flows to Cross Section 1060 (RS 6407.04) were modified to add the existing flows contributing to that Cross Section. Finally, Proposed Conditions model was created by adding the proposed contours into the model as well as revising flow rates at Cross Section 1060 to reflect the proposed conditions. Table 6-2 below summarizes the cross sections above, through and below the project site. Full HEC-RAS outputs and cross sections are located in Appendix D.

Table 6-2. 100-Yr Flow Rates					
Cross-Section ID	Station	100-Yr Flow Rate (cfs) (Current Effective)	100-Yr Flow Rate (cfs) (Duplicate Effective)	100-Yr Flow Rate (cfs) (Corrected Effective)	100-Yr Flow Rate (cfs) (Proposed Conditions)
1008	6880.80	2198.2	2198.2	2198.2	2198.2
1009	6632.89	2198.2	2198.2	2198.2	2198.2
1060	6407.04	2198.2	2198.2	2206.7	2206.6
1010	6029.21	2198.2	2198.2	2206.7	2206.6

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Table 6-2. 100-Yr Summary

Cross-Section ID	Station	100-Yr Elevation (Current Effective)	100-Yr Elevation (Duplicate Effective)	100-Yr Elevation (Corrected Effective)	100-Yr Elevation (Proposed Conditions)
1008	6880.80	907.80	907.80	907.79	907.77
1009	6632.89	906.72	906.72	906.64	906.64
1060	6407.04	905.32	905.32	905.38	905.38
1010	6029.21	905.29	905.29	905.33	905.33

Existing and Proposed Flood Map is located on the following page and in Appendix A.

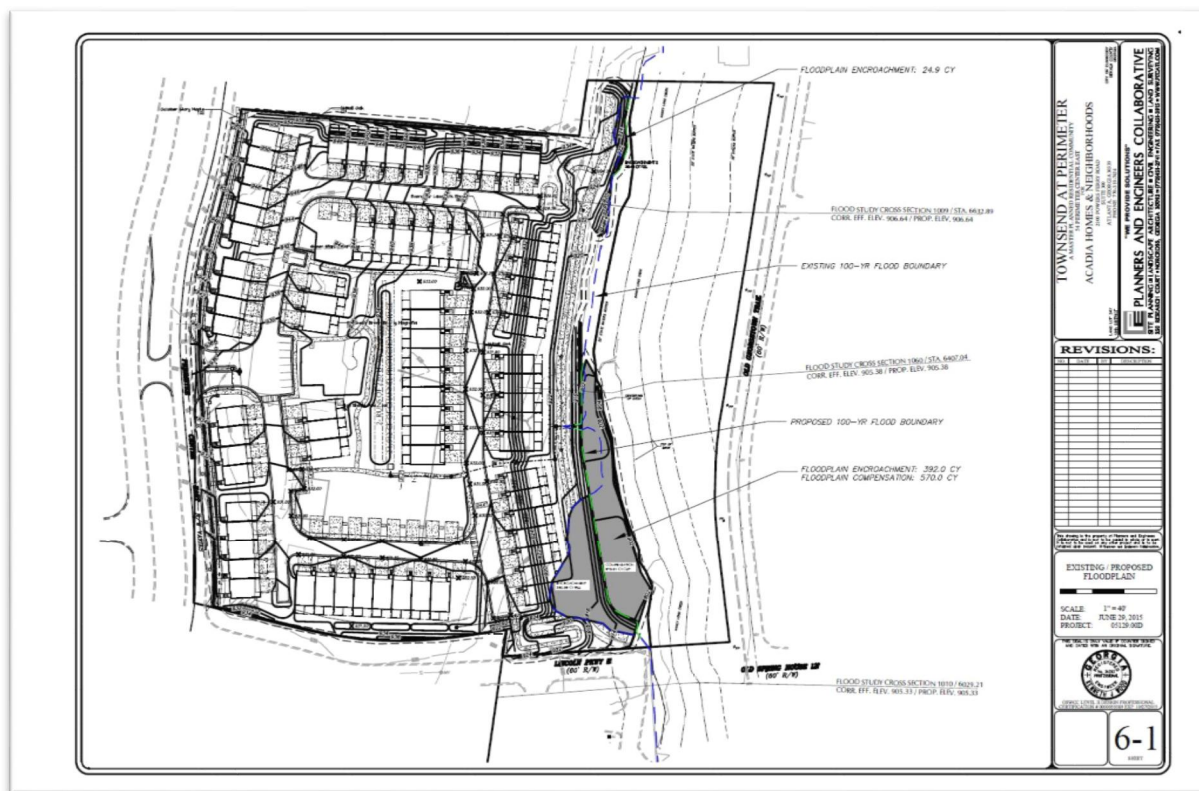


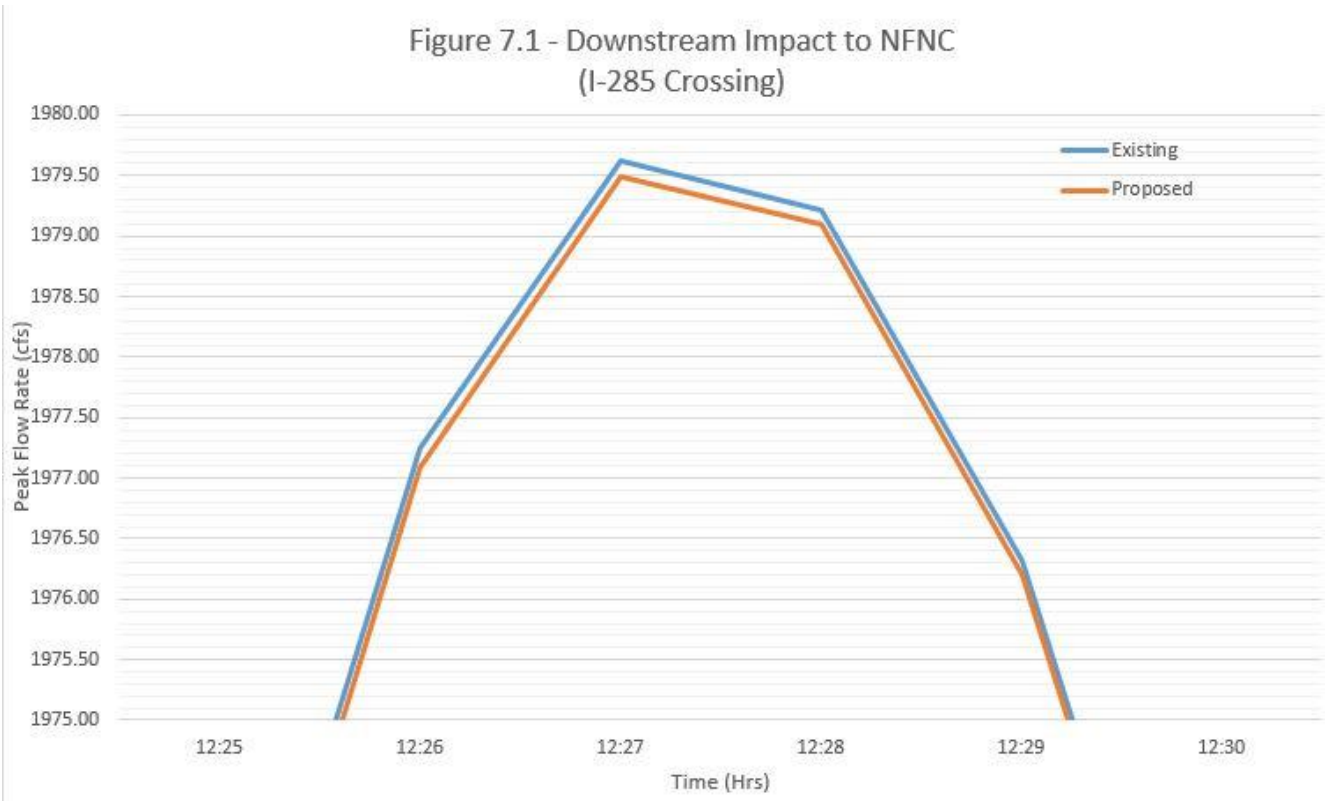
Figure 6-1. Existing - Proposed Flood Map

7 SECTION 7

7.1 DOWNSTREAM CONDITIONS

The 10% downstream study point is taken a point approximately 650 lf downstream of the site. At this point flows from DA 2 join NFNC. It is also the point where NFNC flows under I-285 through two 10'x7' box culverts. The condition of these culverts is not known, however PEC does not anticipate a negative impact from the proposed development. This point corresponds to Junction J100A of the HEC-HMS model and RS 5434.65 of the HEC-RAS model.

Table 7-1. Flow Summary at Downstream Point			
Storm Event	Rainfall (in.)	Existing At I-285 Crossing (cfs)	Proposed Flows At I-285 Crossing (cfs)
100-Yr	7.92	1979.65	1979.49

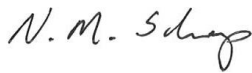


8 SECTION 8

8.1 NO-RISE STATEMENT

No-Rise Statement (8-13-15)

This statement is to certify that I am duly qualified engineer licensed to practice in the State of Georgia. It is to further certify that the technical data enclosed in this report supports the fact that the proposed townhome development known as Townsend at Perimeter and located at 54 Perimeter Center East will not impact the base flood elevations, floodway elevations, and floodway widths of the North Fork Nancy Creek at published cross sections in the Flood Insurance Study for, the City of Dunwoody, FIRM Panel 13089C0012J dated May 16, 2013 and will not impact the base flood elevations, floodway elevations and floodway widths at the unpublished cross sections in the area of the proposed development.



Neil M. Schaap, P.E., CFM
Water Resources Director
Planners and Engineers Collaborative, Inc.
350 Research Court
Peachtree Corners, Ga 30092

Limitations of Work

This document was prepared solely for Acadia Homes and Neighborhoods in accordance with professional standards at the time the services were performed and in accordance with the work authorization between Acadia Homes and Neighborhoods and Planners and Engineers Collaborative. This document is governed by the specific scope of work authorized by Acadia Homes and Neighborhoods; it is not intended to be relied upon by any other party except for regulatory authorities contemplated by the scope of work. We have relied on information or instructions provided by Acadia Homes and Neighborhoods and other parties and, unless otherwise expressly indicated, have made no independent investigation as to the validity, completeness, or accuracy of such information.

Townsend at Perimeter

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References

United States Department of Agriculture, *Urban Hydrologic for Small Watersheds*, Natural Resources Conservation Service, Conservation Engineering Division, Technical Release 55, June 1986.

Hydraflow Hydrographs V. 10, 2013

Atlanta Regional Commission, *Georgia Stormwater Management Manual*, Volume 2: Technical Handbook, First Edition – August 2001.

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9 APPENDICES

9.1 APPENDIX A: DRAINAGE MAPS / FLOOD MAPS

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9.2 APPENDIX B: CALCULATIONS

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9.3 APPENDIX C: HYDROGRAPHS

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9.4 APPENDIX D: HEC-RAS RESULTS

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9.5 APPENDIX E: HEC-HMS RESULTS

**CITY OF DUNWOODY
JULY 14, 2015
PLANNING COMMISSION MINUTES**

The Planning Commission of the City of Dunwoody held a Meeting on July 14, 2015 at 7:00 PM. The meeting was held in the City of Dunwoody City Hall, 41 Perimeter Center East, Dunwoody, Georgia 30346. Present for the meeting were the following:

Voting Members: Bob Dallas, Chair
 Bill Grossman, Vice-Chair
 Kirk Anders, Commission Member
 Rick Callihan, Commission Member
 Renate Herod, Commission Member
 Paul Player, Commission Member
 Heyward Wescott, Commission Member

Also Present: Rebecca Keefer, City Planner
 Andrew Russell, Planning Coordinator

A. CALL TO ORDER

B. ROLL CALL

C. MINUTES

1. Approval of Meeting Minutes from June 9, 2015 Planning Commission Meeting.

Heyward Wescott motioned to approve. Paul Player seconded.

The motion was voted and passed (7 – 0).

D. ORGANIZATIONAL AND PROCEDURAL ITEMS

E. UNFINISHED BUSINESS

2. 1. CP 15-071: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks an amendment to the City of Dunwoody Comprehensive Land Use Plan to modify density allowances and/or classifications, to allow for construction of an 87-unit, fee simple townhome development. The subject property is located at 54 Perimeter Center East, Dunwoody, GA 30346, tax parcel ID 18-347-01-008; and 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Old Georgetown Trail, tax parcel IDs 18-346-05-052, 053, 054, 055, 056, 057, 058. (Moved from Item E. 2.)

Bob Dallas introduced the item and opened the public hearing.

Rebecca Keefer presented on behalf of staff and recommended approval with conditions.

Den Webb, representative of the applicant, presented on behalf of the application. Den presented a new site plan into the record. Den clarified

that the plan calls for 87 units on approximately 7.5 acres. Den stated that there is no intention on behalf of the applicant to connect traffic from Lincoln Parkway to Old Spring House Lane.

Barbara Ardell, resident, 4444 Old Georgetown Trail, voiced concerns over increased traffic through the neighborhood if vehicle access is created connecting Lincoln Parkway to Old Spring House Lane.

Renate Herod asked questions of the applicant over the appropriateness of the proposed density being closer to the high end, 12 density units, of what the transitional sub-area calls for, rather than the lower end, 8 density units per acre. Renate asked questions of staff over the presence of townhomes in the City of Dunwoody in general and in the Perimeter Center area.

Aaron Baird, resident of the neighborhood, spoke and stated he would prefer that a lot of the trees that provide buffering from the site be maintained. Aaron voiced concerns over the proposed retaining wall causing issues with the flood plane, and whether the flood plane would be shifted as a result of the development.

Katie Ganjil, resident, 4361 Old Georgetown Trail, spoke over concerns that the development will have negative effects on the flood plane and flooding in the area.

Jeff Coghill, resident of the Heathwood Subdivision spoke, and asked staff how rentals will be limited to 10%. The Commission responded that a condition limiting rentals to 10% would be enforced through the rezoning conditions and the HOA.

Barry Etheridge, Engineer for the developer, spoke in response to the Commission's questions over flood plane management. Barry stated that the shape of the flood plane is being shifted around the proposed retaining wall, and that it would not affect flooding.

Paul Player motioned to approve with conditions as presented by staff. Heyward Wescott seconded.

The motion was voted and passed (6 - 1). Renate Herod dissented.

1. 2. RZ 15-071: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) to Multi-dwelling Residential-85 (RM-85) located at 54 Perimeter Center East, Dunwoody, GA 30346, tax parcel ID 18-347-01-008; and to rezone property currently zoned Single-dwelling Residential-100 (R-100) to Multi-dwelling Residential-85 (RM-85) located at 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Old Georgetown Trail, tax parcel IDs 18-346-05-052, 053, 054, 055, 056, 057, 058, to allow for construction of an 87-unit, fee simple townhome development. (Moved from Item E. 1.)

Neville Allison spoke on behalf of the application. Neville stated that the development will be four-sided brick.

Laurie Kennedy, 1596 Rochelle Court, spoke in opposition to the development.

Barbara Ardell asked the applicant what the expected sales prices of the units are.

Karen Coghill, resident of 1492 Devonshire Court, spoke in opposition to the application over the loss of greenspace.

Den stated that the starting price points are \$500,000 for the units with the expectation to go up. Den stated that this will preserve green space.

Kirk Anders asked what the cost of the trail would be and whether the funds could be put in escrow until the development is built.

Rebecca Keefer stated that fee in lieu is an option in regards to the path, that the plan is for the applicant to pay to construct it and then deed it to the City, and that options will be explored during the review phase of the development if the rezoning is approved. Rebecca stated that the intent is that the proposed trail would connect to a new park to the north of the project, to be called Perimeter Center East Park.

Rick Callihan asked about fencing around the proposed development and curb cuts along Perimeter Center East. Den stated that the project would be gated and that there would be one curb cut to align with the road. Rick asked questions over density calculations. Rick asked the applicant questions over the price points of the applicant's previous developments.

Bill Grossman asked Den Webb whether the applicant would be willing to build the bridge over the trail that will connect to the trail. Bill asked questions over the Comprehensive Plan calling for 4-8 and 10-12 density units per acre, and asked for clarification from staff.

Den stated a bridge across the stream is not a part of the application.

Bill Grossman motioned to approve with conditions as presented by staff and a condition that rentals be limited to 8 units maximum and that the HOA will furnish a yearly report to the Community Development Director as to which units are subleased to tenants rather than owner occupied. Heyward Wescott seconded.

The motion was voted and passed (6 - 1). Renate Herod dissented.

F. NEW BUSINESS

G. OTHER BUSINESS

H. PUBLIC COMMENT

Carrie Coghill spoke and asked whether it could be published when parts of planned multi-use trails are ready for public use.

Amanda Nowak, resident who lives on Old Georgetown Trail asked questions to the Commission regarding the rezoning process.

Bob Dallas stated that the applications still have to go to the City Council for approval.

Rebecca Keefer stated that the August City Council meetings will be held on August 10 and August 24.

I. COMMISSION COMMENT

The Commission thanked Councilmembers Lynn Deutsch, Terry Nall, Jim Riticher, and Mayor Mike Davis for their attendance tonight.

J. ADJOURN

Approved by:

Chair

Attest:

Secretary

**CITY OF DUNWOODY
MAY 27, 2015
COMMUNITY COUNCIL MINUTES**

The Community Council of the City of Dunwoody held a Meeting on May 27, 2015 at 6:00 PM. The meeting was held in the City of Dunwoody City Hall, 41 Perimeter Center East, Suite 103, Dunwoody, Georgia 30346. Present for the meeting were the following:

Voting Members: Norb Leahy, Chair
 Deborah Shendelman
 Richard Grove
 Brian Sims

Also Present: Rebecca Keefer, City Planner
 Andrew Russell, Planning Coordinator

A. CALL TO ORDER

B. ROLL CALL

All members were present.

C. MINUTES

Sims motioned to approve. Richard Grove seconded.

The motion was voted and passed (4 - 0)

1. Approval of Minutes from the April 9, 2015 Community Council Meeting.

D. ORGANIZATIONAL AND PROCEDURAL ITEMS

E. UNFINISHED BUSINESS

F. NEW BUSINESS

1. RZ 15-071: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks permission to rezone property currently zoned Office-Institution (O-I) District to Multi-dwelling Residential-85 (RM-85) to allow for construction of an 81-unit, fee simple townhome development. The subject property is located at 54 Perimeter Center East, Dunwoody, GA 30346. The tax parcel is 18-347-01-008.

Norb Leahy introduced the item.

**Rebecca Keefer presented on behalf of staff for both items F1 and F2.
Rebecca responded to the Council's questions regarding density.**

Den Webb, representative of the applicant, presented. Den responded to questions from the Council.

Deborah G. Shendelman asked questions of the applicant over density and

the proposed single access point.

The Council asked the applicant questions related to the development and the units. Richard Grove asked questions of the applicant over whether there would be elevators in any units.

Norb Leahy motioned to approve with the following conditions:

1. The acceleration of the second access point is encouraged.
2. The issue of density be left to the Planning and Zoning Department.

Brian Sims seconded.

The motion was voted and passed (4 - 0)

2. CP 15-071: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks an amendment to the City of Dunwoody Land Use Plan to modify density allowances by revising figure four of the Perimeter Center LCI Framework Plan and/or the provisions of the Perimeter Center Transitional Sub-area, to allow for construction of an 81-unit, fee simple townhome development. The subject property is located at 54 Perimeter Center East, Dunwoody, GA 30346. The tax parcel is 18-347-01-008.

The discussion and vote for item F2 was incorporated in item F1.

3. RZ 15-072: Pursuant to the City of Dunwoody Zoning Ordinance, applicant Atlanta Office Investment, LLC, c/o KDC AH Investments One, LP, seeks permission to rezone property currently zoned Office-Institution (O-I) District to Planned Development (PD) to allow for construction of a mixed-use commercial/retail/restaurant PD development. The subject property is located at 245 Perimeter Center Parkway, Dunwoody, GA 30346. The tax parcel is 18-329-04-003.

Norb Leahy introduced the item.

Rebecca Keefer presented on behalf of staff.

David Kirk, representative of the applicant, presented on behalf of the application. David presented on the development, interconnectivity, pedestrian pathways, open spaces and traffic reduction measures. David stated that the traffic study will be submitted to GRTA sometime around June 6. David stated that the applicant is in the process of refining their Overall Development Plan (ODP), which the submittal of is a requirement of a PD rezoning. David responded to questions from the Council and stated that provisions for electric cars will be provided for to meet the demand for such.

Bill Halter, Cooper Cary, architect on the project stated that all facades along the street frontage will be consistent, including the exterior parking garage walls.

Deborah G. Shendelman asked questions of the applicant over provisions

for electric cars.

Alex Chambers stated this will be a multi-functional hub for State Farm that will encompass nearly everything in their day-to-day operations.

Norb Leahy motioned to approve. Richard Grove seconded.

The motion was voted and passed (4 - 0)

- G. OTHER BUSINESS
- H. PUBLIC COMMENT
- I. COMMUNITY COUNCIL COMMENT
- J. ADJOURN

**CITY OF DUNWOODY
AUGUST 6, 2015
ZONING BOARD OF APPEALS MINUTES**

The Zoning Board of Appeals of the City of Dunwoody held a Meeting on August 6, 2015 at 6:00 PM. The meeting was held in the City of Dunwoody City Hall, 41 Perimeter Center East, Dunwoody, Georgia 30346. Present for the meeting were the following:

Voting Members: Ardy Bastien, Chair
Kristen Wescott, Vice-Chair
Claire Botsch, Board Member
Stacey Harris, Board Member
Bill McCahan, Board Member
Gerri Penn, Board Member
Joe Tuttle, Board Member

Also Present: Steve Foote, Community Development Director
Rebecca Keefer, City Planner
Andrew Russell, Planning Coordinator
Joseph E. Leonard, Legal Counsel

A. CALL TO ORDER

B. ROLL CALL

C. MINUTES

Kristen Wescott motioned to approve with Gerri Penn's corrections. Joe Tuttle seconded.

The motion was voted and passed (6 - 0). (Claire Botsch abstained)

D. ORGANIZATIONAL AND PROCEDURAL ITEMS

Rebecca Keefer recommended the Board hear item

E. UNFINISHED BUSINESS

1. ZBA 15-062: Applicant Apollo Sign and Light/AT&T, on behalf of Akin Properties, LLC, owner of 2488 Mount Vernon Road, Dunwoody, GA 30338, seeks the following sign variances from Chapter 20 - Signs. a.) Variance from Section 20-51 – Prohibited Signs, to bring into compliance an existing roof sign; and b.) Variance from Section 20-62 – Illumination, to install two face-lit wall signs. The tax parcel number is 06-339-05-001.

- *Open Public Hearing:* Ardy Bastien introduced the item and opened the public hearing.
- *Presentation by staff:* Rebecca Keefer presented on behalf of staff and stated that the applicant intends to ask for a deferral to the September meeting.

Rebecca recommended the Board defer the application until the regularly scheduled September meeting.

- *Presentation by Applicant:* Delores Crowell spoke on behalf of the applicant, asked that the item be deferred to the September meeting, and explained the reason behind asking for a the one-month deferral. Delores stated the applicant's representative who was supposed to be here to present could not attend.

Kristen Wescott motioned to defer until the regularly scheduled September meeting. Bill McCahan seconded.

The motion was voted and passed (7 - 0).

2. ZBA 15-072: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks variances from the following regulations: a.) Sec. 27-58(c) to reduce the front yard setback from 35' to 0'; b.) Sec. 27-58(c) to reduce side yard interior setback from 20' to 10'; c.) Sec. 27-58(c) to reduce side yard street setback from 35' to 10'; d.) Sec. 27-142(2) to reduce rear-to-rear building separation requirement from 60' to 28'; e.) Sec. 27-142(3) to reduce side-to-rear building separation from 40' to 27'; f.) Sec. 27-108(b)(1)(b) to reduce required driveway depth from 20' to 12'; g.) Sec. 16-237(s)(4) to reduce number of required access points from two to one. The subject property is located at 54 Perimeter Center East, Dunwoody, GA 30346. The tax parcel is 18-347-01-008.

- *Open Public Hearing:* Ardy Bastien introduced the item along with item ZBA 15-082, and opened the public hearing for both items.
- *Presentation by staff:* Rebecca Keefer presented on behalf of staff and stated that the applicant intends to withdraw requests for variances d.), f.) and ZBA 15-082. Rebecca recommended the Board approve requests a.), b.), c.), e.) and g.). Rebecca stated that while the project has changed since it was first heard on July 2nd, the locations of the site plan for which the variances are requested on the subject property, 54 Perimeter Center East, has not.
- *Presentation by Applicant:* Den Webb, spoke on behalf of the application. Den requested to withdraw items d. and f., and variance request ZBA 15-082. Den stated that all land on the properties east of the western 25' State stream buffer line will be dedicated to the City for use as public park space. Den stated that the applicant is offering an easement for a second future tie in that will connect to Lincoln Parkway where the stub rub is proposed.
- *Public Comments Open:*
Opposed: None spoke in opposition to the application.
In Favor: None spoke in favor of the application.

The Board asked questions of staff and the applicant related to the City's plans for the trail that will connect with the portion of the trail planned that will be part of the development, and over roadway dedication.

Rebecca stated that conceptually, the City wants to connect this proposed trails to the city's existing and planned trails in Georgetown. Rebecca stated there are

engineering and floodplain constraints standing in the way of this proposed trail section being connected to the Georgetown Trails, that it is possible and attractive to the City to pursue the connectivity of that trail system.

Bill McCahan motioned to accept the withdrawal of variance requests d.), f.) and ZBA 15-082. Claire Botsch seconded.

The motion was voted and passed (7 - 0).

Gerri Penn motioned to approve variance requests a.), b.), c.), e.) and g.) with the condition that the dimensions of the variance requests shall not exceed those identified in the site plan dated June 29, 2015.

The motion was voted and passed (7 - 0).

3. ZBA 15-082: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR V Perimeter LLC, seeks a variance from Chapter 16, Section 16-78 to encroach the city's stream buffer. The subject properties are located at 54 Perimeter Center East, Dunwoody, GA 30346, tax parcel 18-347-01-008; and 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Old Georgetown Trail, tax parcels 18-346-05-052, 053, 054, 055, 056, 057, 058. **(Moved from Item F.2.)**

ZBA 15-082 was heard in conjunction with Item E.2.

F. NEW BUSINESS

1. ZBA 15-081: Redding Road, LLC, owner of 1328 Manget Way, Dunwoody, GA 30338, seeks a variance from Chapter 27, Section 27-147 to reduce the contextual setback requirements to construct a new house. The tax parcel number is 18-363-01-068.

- *Open Public Hearing:* Ardy Bastien introduced the item and opened the public hearing for both items.
- *Presentation by staff:* Rebecca Keefer presented on behalf of staff and recommended approval.

Presentation by Applicant: Tim Brown, representative of Berkshire Hathaway, spoke on behalf of the applicant. Tim responded to questions from the Board. Tim Brown stated that himself and others involved with the project now were not involved when the property was purchased. Tim responded that he has not met with any of the neighbors.

- *Public Comments Open:*
Opposed: Maeroff, owner of 1336 Manget Way located adjacent to the subject parcel to the east, spoke in opposition to the application. Norman voiced concerns over the proposed closeness of the house to the street would cause it to be out of context with the uniformity of the houses fronting Manget Way.
In Favor: None spoke in favor of the application.

The Board discussed and asked questions of staff and the applicant.

Kristen Wescott motioned to approve. Bill McCahan seconded.

The motion was voted and passed (5 - 2). (Stacey Harris and Gerri Penn dissented)

2. ~~ZBA 15-082: Pursuant to the City of Dunwoody Zoning Ordinance, applicant, Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP on behalf of CR-V Perimeter LLC, seeks a variance from Chapter 16, Section 16-78 to encroach the city's stream buffer. The subject properties are located at 54 Perimeter Center East, Dunwoody, GA 30346, tax parcel ID 18-347-01-008; and 4340, 4348, 4356, 4364, 4372, 4380 and 4388 Old Georgetown Trail, tax parcel IDs 18-346-05-052, 053, 054, 055, 056, 057, 058. (Moved to Item E.3.)~~

G. OTHER BUSINESS

H. PUBLIC COMMENT

I. BOARD COMMENT

Kristen Wescott requested that the Board receive a single .pdf of each site plan, and asked for staff to rotate the position of all .pdf pages so that they are uniform in the packets.

Kristen voiced concerns over the City's contextual setback regulations, that it poses a burden on the redevelopment of the community, and will lead to continued variances from that section.

Gerri Penn asked staff questions over the iPads, and requested that staff provide larger format images of site plans.

J. ADJOURN

DIVISION 1. - RESIDENTIAL ZONING DISTRICTS

Sec. 27-56. - General.

- (a) The districts. The city's residential zoning districts are listed below. When this zoning ordinance refers to "residential" zoning districts, it is referring to these districts.

	Zoning District	Map Symbol
Detached Single-dwelling	Single-dwelling Residential-150	R-150
	Single-dwelling Residential-100	R-100
	Single-dwelling Residential-85	R-85
	Single-dwelling Residential-75	R-75
	Single-dwelling Residential-60	R-60
	Single-dwelling Residential-50	R-50
Attached Single-dwelling	Single-dwelling Residential-A5	RA-5
	Single-dwelling Residential-A8	RA-8
Multi-dwelling	Multi-dwelling Residential-150	RM-150
	Multi-dwelling Residential-100	RM-100
	Multi-dwelling Residential-85	RM-85
	Multi-dwelling Residential-75	RM-75
	Multi-dwelling Residential-HD	RM-HD

-
- (b) Purposes.

- (1) General. Dunwoody's residential zoning districts are primarily intended to create, maintain and promote a variety of housing and living opportunities for individual households and to help ensure consistency with the comprehensive plan. While the districts primarily accommodate residential use types, some nonresidential uses are also allowed, as indicated in the use table of section 27-57.
- (2) Single-dwelling (R) districts. When this zoning ordinance refers to "R" zoning districts, it is referring to the single-dwelling zoning districts: R-150, R-100, R-85, R-75, R-60, R-50, RA-5 and RA-8. The primary purposes of the R districts are as follows:
 - a. To help protect the established character of existing neighborhoods;
 - b. To accommodate infill development that is in keeping with character of existing neighborhoods; and
 - c. To accommodate uses and structures designed to serve the housing, recreational, educational, religious and social needs of the neighborhood.
- (3) Multi-dwelling (RM) districts. When this zoning ordinance refers to "RM" zoning districts, it is referring to the multi-dwelling zoning districts: RM-150, RM-100, RM-85, RM-75 and RM-HD. The primary purposes of the RM, multi-dwelling zoning districts are as follows:
 - a. To accommodate the development of multi-dwelling residential development in areas designated for such development by the comprehensive plan;
 - b. To accommodate infill development that is in keeping with the physical character of existing neighborhoods; and
 - c. To accommodate uses and structures designed to serve the housing, recreational, educational, religious and social needs of the neighborhood.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-4.10), 10-14-2013)

Sec. 27-57. - Uses allowed.

The following table identifies uses allowed in residential zoning districts. See subsection 27-111(4) for information about how to interpret the use table.

	DISTRICTS			
USES	R-150 R-100 R-85 R-75 R-60 R-50	RA-5 RA-8	RM-150 RM-100 RM-85 RM-75 RM-HD	Supplemental Regulations
P = use permitted as of right / A = administrative permit req'd / E = special exception req'd / S = special land use permit req'd				

RESIDENTIAL				
Household Living				
Detached house	P	P	P	27-147
Attached house	-	P	P	27-132
Multi-unit building	-	-	P	27-142
Group Living				
Convent or monastery	S	S	S	
Fraternity or sorority	-	-	P	
Nursing home	-	-	P	
Personal care home, family (1—4 persons)	S	S	S-	
Personal care home, group (5—7 persons)	S	S	S	
Personal care home, community (8+ persons)	-	-	S	
Child caring institution (1—6 persons)	-	-	P	
Community living arrangement (1—4 persons)	P	P	P	
Shelter, homeless	-	-	S	27-140
Supportive living	-	-	P	
Transitional housing facility	-	-	S	27-140
QUASI-PUBLIC AND INSTIUTIONAL				
Day Care				
Day care facility, adult (6 or fewer persons)	S	S	P	27-137

#13.

Day care facility, adult (7 or more)	-	-	P	27-137
Day care facility, child (6 or fewer persons)	S	S	P	27-137
Day care facility, child (7 or more)	-	-	P	27-137
Educational Services				
Kindergarten	-	-	P	27-141
Schools, private elementary, middle or senior high	S	S	S	27-148
Place of Worship	S	S	S	27-146
Utility Facility, Essential	E	E	E	27-151
COMMERCIAL				
Communication Services				
Telecommunication antenna, co-located	P	P	P	27-150
Telecommunication tower	-	-	S	27-150
Funeral and Interment Services				
Cemetery, columbarium, or mausoleum	S	S	S	
Lodging				
Bed and breakfast	S	S	S	27-133
Sports and Recreation, Participant				
Neighborhood recreation club	S	S	S	
AGRICULTURE				
Agriculture				

Community garden	P	P	P	27-135
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(Ord. No. 2013-10-15, § 1(Exh. A § 27-4.20), 10-14-2013; Ord. No. 2015-01-05, § 1, 1-26-2015)

Sec. 27-58. - Lot and building regulations.

- (a) General. This section establishes basic lot and building regulations that apply in residential zoning districts. These regulations offer certainty for property owners, developers and neighbors about the limits of what is allowed; they are not to be construed as a guarantee that stated minimums and maximums can be achieved on every lot. Other factors, such as topography, the presence of protected resources, off-street parking and other factors may work to further limit actual building and development potential.
- (b) Single-dwelling districts. The lot and building regulations of the following table apply to all principal and accessory uses allowed in single-dwelling residential districts, unless otherwise expressly stated in this zoning ordinance. Article VII, division 1, identifies exceptions to these regulations and rules for measuring compliance (see also Figure 4-1).

	Regulation	SINGLE-DWELLING DISTRICTS							
		R-150	R-100	R-85	R-75	R-60	R-50	RA-5	RA-8
L1	Minimum Lot Area (sq. ft.)	43,560	15,000	12,000	10,000	8,000	6,000	NA[1]	NA[1]
L2	Minimum Lot Frontage (ft.) [2]	150	100	85	75	60	50	100[3]	100[3]
	Maximum Density (dwelling units per acre)	NA	NA	NA	NA	NA	NA	5	8
	Minimum Building/Structure Setbacks (ft.) [4]								
S1	Street, Front and Side	45[5]	35[5]	35[5]	30[5]	30[5]	5[6]	5[6]	5[6]
S2	Side, Interior	20	10	8.5	7.5	7.5	7.5	15	15
S3	Side, Interior (accessory buildings/structures)	10	10	10	10	10	10	10[7]	10[7]
S4	Rear	40	40	40	40	40	30	30	30

S5	Rear (accessory buildings/structures)	10	10	10	10	10	10	10	10
C	Maximum Lot Coverage (percent) [8]								
	Lot area = 43,560 sq. ft. or more	25	25	25	25	25	25	25	25
	Lot area = 30,000 to 43,559 sq. ft.	30	30	30	30	30	30	30	30
	Lot area = 20,000 to 29,999 sq. ft.	35	35	35	35	35	35	35	35
	Lot area = 19,999 sq. ft. or less	40	40	40	40	40	40	50	50
	Maximum Building Height (ft.)								
	Principal Building	35	35	35	35	35	35	35	35
	Accessory Buildings/Structures	20	20	20	20	20	20	20	20

[1] Detached houses in RA-5 and RA-8 districts are subject to the lot and building regulations of the R-50 district.

[2] Minimum lot frontage on cul-de-sac lots is 35 feet. Minimum lot width at the required street setback must equal the required minimum frontage requirement for non-cul-de-sac lot (e.g., 100 feet in R-100).

[3] Minimum lot frontage applies to attached house projects, not individual dwelling units within the project.

[4] Corner lots are subject to street setbacks along all street frontages and to interior side setbacks along all other lot lines.

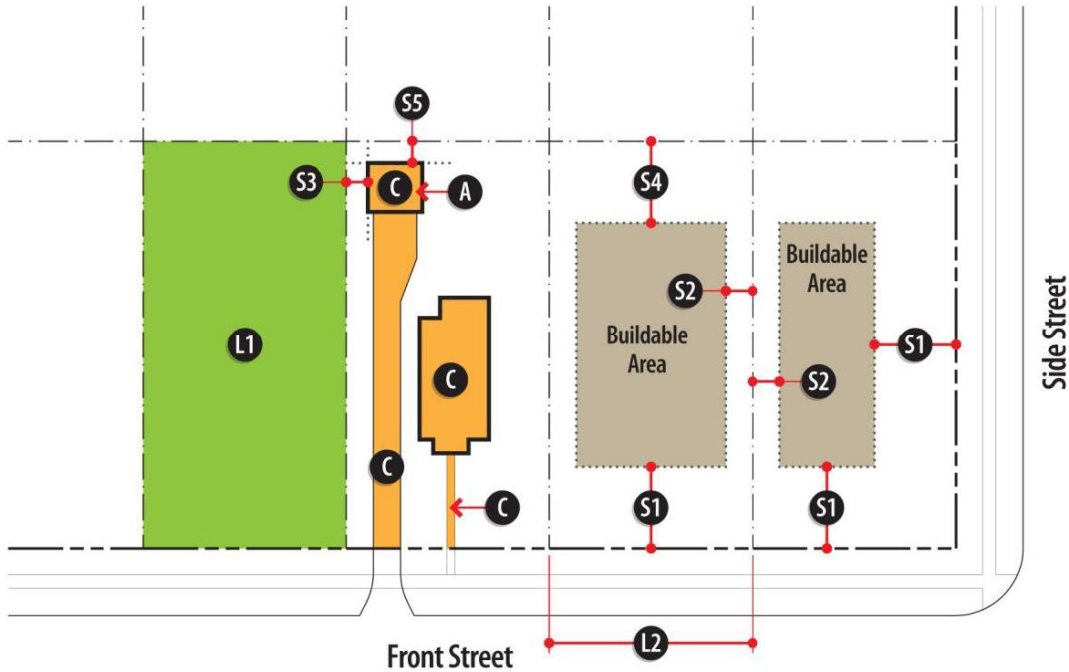
[5] Add five feet for minimum setbacks from arterial streets.

[6] Street-facing garage facades must be setback at least 20 feet from back of curb or back of sidewalk, whichever is greater.

[7] Interior side setback applies only to end units in attached house projects. No interior side setback required for units in attached projects with common or abutting walls. See also the attached house building separation requirements of section 27-132.

[8] Maximum lot coverage for institutional uses; including, but not limited to, educational services, places of worship, and neighborhood recreation club shall not exceed 60 percent.

Figure 4-1: Lot and Building Regulations Diagram, Single-Dwelling Residential Districts



- (c) Multi-dwelling districts. The lot and building regulations of the following table apply to all principal and accessory uses allowed in multi-dwelling residential districts, unless otherwise expressly stated in this zoning ordinance. Article VII, division 1, identifies exceptions to these regulations and rules for measuring compliance (see also Figure 4-2).

	Regulation	MULTI-DWELLING DISTRICTS				
		RM-150	RM-100	RM-85	RM-75	RM-HD
L1	Minimum Lot Area (sq. ft.)					
	Detached house	6,000	6,000	6,000	6,000	6,000
	Attached house	NA	NA	NA	NA	NA
	2-unit Multi-unit building	9,000	9,000	9,000	9,000	9,000
	3-unit Multi-unit building	12,000	12,000	12,000	12,000	12,000
	4+ unit Multi-unit building	87,120	87,120	87,120	87,120	87,120
	Maximum Density [1] (dwelling units per acre)	6	12	14	18	30
L2	Minimum Lot Frontage (ft.)					

	Detached houses [2]	60	60	60	60	60
	Attached house	100[3]	100[3]	100[3]	100[3]	100[3]
	Two-unit building	75	75	75	75	75
	Three-unit building	85	85	85	85	85
	Multi-dwelling (4+ unit) buildings	150	100	100	100	100
	Minimum Building/Structure Setbacks (ft.) [4]					
	Detached and attached houses, 2-unit and 3-unit buildings					
S1	Street, front	30	30	30	30	30
S2	Street, side[5]	15	15	15	15	15
S3	Side, interior	7.5	7.5	7.5	7.5	7.5
S4	Side, interior (accessory buildings/structures)	10	10	10	10	10
S5	Rear	30	30	30	30	30
S6	Rear (accessory buildings/structures)	10	10	10	10	10
C	Maximum Lot Coverage (percent) [8]	35	35	35	35	65
	Multi-unit (4+ unit) buildings					
S1	Street, front and side	35	35	35	35	35
S3	Side, interior	20[6]	20[6]	20[6]	20[6]	20[6]
S4	Side, Interior (accessory buildings/structures)	7.5	7.5	7.5	7.5	7.5
S5	Rear [7]	40[6]	40[6]	40[6]	40[6]	40[6]
S6	Rear (accessory buildings/structures) [7]	10	10	10	10	10

C	Maximum Lot Coverage (percent)	35	35	35	35	65
	Maximum Building Height (ft.)					
	Detached house, two-unit or three-unit building	35	35	35	35	35
	Multi-dwelling (4+ unit) building					
	As of right	35	35	35	35	35
	With approval of fire rescue service	48	48	48	48	60
	Accessory buildings/structures	20	20	20	20	20

[1] Applies only to attached house projects and multi-unit buildings with 4 or more dwelling units.

[2] Minimum lot frontage for detached houses on cul-de-sac lots is 35 feet. Minimum lot width at the required street setback must equal the required minimum frontage requirement for non-cul-de-sac lot (e.g., 60 feet in RM-150).

[3] Minimum lot frontage applies to attached house projects, not to individual dwelling units or lots within the project.

[4] See also the building spacing regulations of section 27-132 and section 27-142.

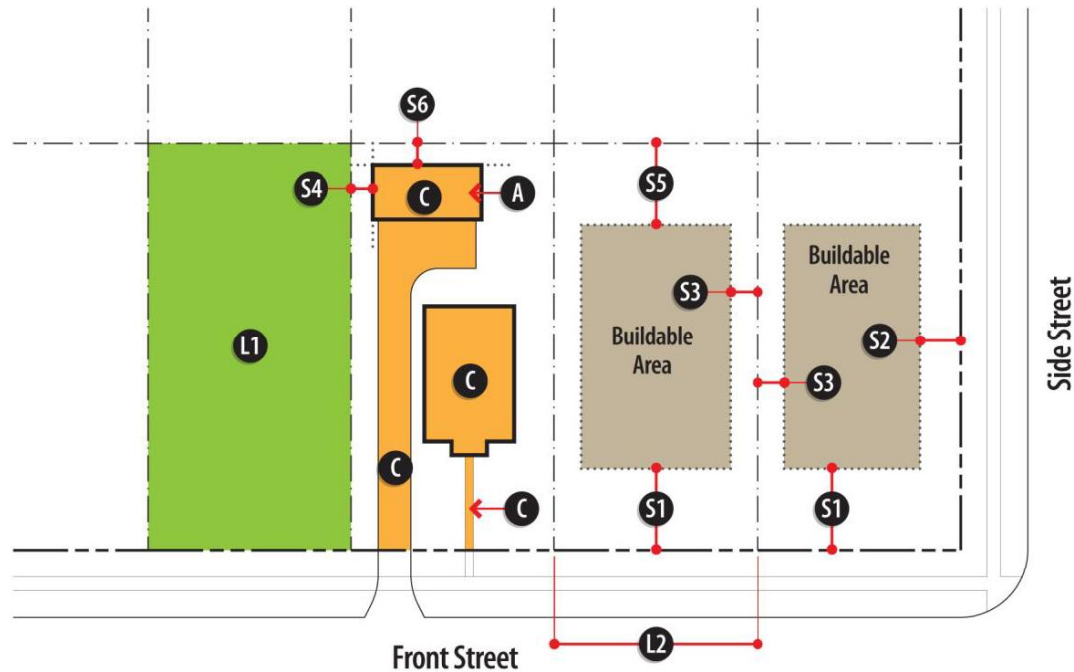
[5] In attached house projects, interior side setbacks apply only to end units. No interior side setback is required between units with common or abutting walls.

[6] Minimum interior side and rear setback is 50 feet for multi-unit residential buildings on lots abutting single-dwelling (R) residential zoning districts.

[7] Corner lots are subject to street setbacks along all street frontages and interior side setbacks along all other lot lines.

[8] Maximum lot coverage for institutional uses, including, but not limited to, educational services, places of worship, and neighborhood recreation club, and for permitted multi-unit buildings, including town homes and similar uses shall not exceed 70 percent.

Figure 4-2: Lot and Building Regulations Diagram, Multi-Dwelling Residential Districts



(Ord. No. 2013-10-15, § 1(Exh. A § 27-4.30), 10-14-2013; Ord. No. 2015-01-05, § 1, 1-26-2015)

Sec. 27-59. - Other regulations.

Uses and development in residential zoning districts may be subject to other regulations and standards, including the following.

- (1) Nonconformities. See article VI, division 4.
- (2) Accessory uses and structures. See article III, division 3.
- (3) Parking. See article IV, division 1.
- (4) Landscaping and screening. See article IV, division 2.
- (5) Signs. See chapter 20 of the Municipal Code.
- (6) Temporary uses. See article III, division 4.
- (7) Outdoor lighting. See article IV, division 3.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-4.40), 10-14-2013)

Secs. 27-60—27-70. - Reserved.

DIVISION 2. - NONRESIDENTIAL AND MIXED-USE ZONING DISTRICTS

Sec. 27-71. - General.

(a) The districts. The city's nonresidential and mixed-use zoning districts are listed below.

	Zoning District	Map Symbol
Office	Office-Institution	O-I
	Office-Institution-Transitional	O-I-T
	Office-Distribution	O-D
	Office-Commercial-Residential	OCR
Commercial	Neighborhood Shopping	NS
	Local Commercial	C-1
	Commercial-Residential Mixed-Use	CR-1
	General Commercial	C-2
Industrial	Industrial	M

(b) Purposes.

- (1) General. The nonresidential and mixed-use districts are generally intended to promote consistency with the comprehensive plan and provide opportunities for shopping, employment, entertainment and living.
- (2) Office-institution and office-institution-transitional. The primary purposes of the O-I and O-I-T districts are as follows:
 - a. To provide convenient locations for office and institutional uses;
 - b. To provide locations for the development of cultural, recreational, educational and health service facilities; and

- c. To limit building heights to two stories in O-I-T zoned areas adjacent to single-dwelling residential districts.
- (3) Office-distribution. The primary purpose of the O-D district is to provide convenient locations for office and distribution establishments.
- (4) Office-commercial-residential. The primary purposes of the OCR district are as follows:
 - a. To provide for economic development within the city through redevelopment of parcels of land that have been used in the past for commercial and light industrial uses but that have become obsolete and now offer an opportunity for establishing new moderate-intensity mixed-use developments consisting of a combination of office, commercial and residential uses;
 - b. To promote redevelopment and new development in an environment that is pedestrian-oriented and that provides employment, shopping, entertainment and living opportunities in close proximity thereby reduces auto dependency; and
 - c. To encourage the conversion of vacant commercial and industrial buildings into mixed-use projects.
- (5) Neighborhood shopping. The primary purposes of the NS district are as follows:
 - a. To provide convenient neighborhood retail shopping and service areas within the city;
 - b. To provide for the development of new neighborhood shopping districts;
 - c. To help ensure that the size and scale of neighborhood shopping centers and individual uses within shopping centers are compatible with the scale and character of surrounding neighborhoods; and
 - d. To accommodate uses designed to serve the convenience shopping and service needs of the immediate neighborhood.
- (6) Local commercial. The primary purposes of the C-1 district are as follows:
 - a. To provide convenient local retail shopping and service areas within the city;
 - b. To provide for the development of new local commercial districts; and
 - c. To accommodate uses designed to serve the convenience shopping and service needs of groups of neighborhoods.
- (7) Commercial-residential mixed-use. The primary purposes of the CR-1 district are as follows:
 - a. To provide convenient local retail shopping and service areas within a mixed-use (commercial-residential) setting;
 - b. To provide for the development of new commercial-residential mixed-use districts; and
 - c. To promote development patterns that accommodate residential, employment and entertainment within a walkable, mixed-use environment.
- (8) General commercial. The primary purposes of the C-2 district are as follows:
 - a. To provide convenient general business and commercial service areas within the city;
 - b. To provide for the development of new general commercial districts; and
 - c. To accommodate uses designed to serve the general business and commercial service needs of the city.
- (9) Industrial. The primary purposes of the M district are as follows:
 - a. To provide areas for the establishment of businesses engaged in the manufacturing, processing, creating, repairing, renovating, painting, cleaning, or assembling of goods, merchandise, or equipment;

- b. To help ensure that establishments operate so as to not create adverse noise and other impacts on nearby residential, office, commercial and mixed-use districts; and
- c. To help ensure that M districts are located in areas with access to major arterials and freeways.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-5.10), 10-14-2013)

Sec. 27-72. - Uses allowed.

The following table identifies uses allowed in nonresidential and mixed-use zoning districts. See [subsection] 27-111(4) for information about how to interpret the use table.

USES	DISTRICTS									Supplemental Regulations
	O-I	O-I-T	O-D	OCR	NS	C-1	CR-1	C-2	M	
P = use permitted as of right / A = administrative permit req'd / E = special exception req'd / S = special land use permit req'd										
RESIDENTIAL										
Household Living										
Detached house	-	P	-	-	-	-	-	-	-	27-147
Multi-unit building	-	-	-	S	-	-	S	-	-	
Mixed-use building, vertical	-	-	-	P	-	-	P	-	-	
Group Living										
Convent and monastery	P	P	-	P	-	-	-	-	-	27-146
Fraternity house, sorority house or residence hall	P	-	-	-	-	-	-	-	-	
Nursing home	P	P	-	-	-	-	-	-	P	
Personal care home, family (1—4 persons)	-	-	P	-	P	P	P	P	-	

Personal care home, group (5—7 persons)	-	-	P	-	P	P	P	P	-	
Personal care home, community (8+ persons)	P	P	P	-	P	P	P	P	-	27-145
Child caring institution (1—6 persons)	P	P	P	-	P	P	P	P	-	
Child caring institution (7—15 persons)	P	P	P	-	P	P	P	P	-	
Child caring institution (16 or more)	P	S	P	-	P	P	P	P	-	
Community living arrangement (1—4 persons)				P		P	P			
Shelter, homeless	S	S	-	-	-	P	P	P	-	27-140
Transitional housing facility	S	S	-	-	-	P	P	P	-	27-140
QUASI-PUBLIC AND INSTITUTIONAL										
Ambulance Service	-	-	-	-	-	P	P	P	P	
Club or Lodge, Private	P	P	P	-	-	P	P	P	P	
Cultural Exhibit	P	P	P	-	-	P	P	P	-	
Day care facility, adult (6 or fewer persons)	-	-	P	-	-	-	-	-	-	27-137
Day care center, adult (7 or more)	P	P	P	P	P	P	P	P	-	
Day care facility, child (6 or fewer persons)	-	-	P	-	-	-	-	-	-	
Day care center, child (7 or more)	P	P	P	P	P	P	P	P		
Educational Services										
College or university	P	P	P	-	-	-	-	-	-	

Kindergarten	-	-	P	P	P	P	P	P	-	27-141
Research and training facility, college or university affiliated	P	P	P	-	-	-	-	-	P	
School, private elementary, middle or senior high	P	P	P	P	-	P	P	P	P	27-148
School, specialized non-degree	P	P	P	P	-	P	P	P	P	
School, vocational or trade	P	P	P	-	-	P	P	P	P	
Hospital	P	-	-	-	-	-	-	-	-	
Place of Worship	P	P	P	P	P	P	P	P	P	27-146
Utility Facility, Essential	E	E	P	E	E	P	P	P	P	27-151
COMMERCIAL										
Adult Use										
Adult service facility	-	-	-	-	-	-	-	P	P	
Body art service								P	P	
Sexually oriented business	P	-	-	P	-	-	-	P	P	27-149
Animal Services										
Animal care/boarding	-	-	-	S	S	P	P	P	P	27-131
Animal grooming	-	-	-	P	P	P	P	P	P	27-131
Animal hospital/veterinary clinic	-	-	-	P	P	P	P	P	P	27-131
Communication Services										
Radio and television broadcasting stations	P	P	P	-	-	P	P	P	P	

Recording studios	P	P	P	-	-	P	P	P	P	
Telecommunication tower	A	-	A	-	S	A	A	A	A	27-150
Telecommunication antenna, co-located	P	P	P	P	P	P	P	P	P	27-150
Construction and Building Sales and Services										
Building or construction contractor	-	-	-	-	-	-	-	P	P	
Commercial greenhouse or plant nursery	-	-	-	-	-	-	-	P	P	
Electrical, plumbing and heating supplies and services	-	-	-	-	-	P	P	-	P	
Lumber, hardware or other building materials establishment	-	-	-	-	-	P	P	P	P	
Eating and Drinking Establishments										
Restaurant, accessory to allowed office or lodging use	P	-	-	P	-	P	P	P	P	
Restaurant, drive-in or drive-through	-	-	-	-	-	P	S	P	P	
Food truck	P	P	P	P	P	P	P	P	P	27-138
Other eating or drinking establishment	-	-	-	P	P	P	P	P	-	
Entertainment and Spectator Sports										
Auditorium or stadium	-	-	-	-	-	-	-	P	P	
Drive-in theater	-	-	-	-	-	-	-	P		
Movie theater	-	-	-	P	-	-	-	P	-	
Special events facility	-	P	-	-	-	P	P	P	-	
Financial Services										

Banks, credit unions, brokerage and investment services	P	P	P	P	P	P	P	P	P	
Convenient cash business	-	-	-	-	-	-	-	P	-	27-136
Pawn shop	-	-	-	-	-	-	-	P	-	27-144
Food and Beverage Retail Sales										
Liquor store (as principal use)	-	-	-	-	-	P	P	P	P	
Liquor store (accessory to lodging or 3+ story office)	-	-	P	P	-	-	-	-	-	
Other food and beverage retail sales	-	-	P	P	P	P	P	P	P	
Funeral and Interment Services										
Cemetery, columbarium, or mausoleum	P	P	P	-	-	-	-	-	-	
Crematory	-	-	-	-	-	-	-	-	S	
Funeral home or mortuary	P	-	-	-	-	P	P	P	P	
Lodging	P	-	P	P	-	P	P	P	P	
Medical Service										
Home health care service	P	P	-	-	-	-	-	-	-	
Hospice	P	P	-	-	-	-	-	-	-	
Kidney dialysis center	P	P	-	-	-	-	-	-	-	
Medical and dental laboratory	P	P	-	P	-	P	P	-	P	
Medical office/clinic	P	P	P	P	P	P	P	P	P	
Office or Consumer Service	P	P	P	P	P	P	P	P	P	

Parking, Non-accessory	S	-	P	-	-	P	P	P	P	27-143
Personal Improvement Service										
Barber shop, beauty shop, nail salon, day spa, estheticians	P	-	-	P	P	P	P	P	P	
Other personal improvement service	-	-	-	-	-	P	P	P	P	
Repair or Laundry Service, Consumer										
Laundromat, self-service	-	-	-	P	P	P	P	P	-	
Laundry or dry cleaning drop-off/pick-up	P	-	-	P	P	P	P	P	P	
Other consumer repair or laundry service	-	-	-	P	P	P	P	P	P	
Research and Testing Services	P	-	P	P	-	-	-	P	P	
Retail Sales										
Retail sales of goods produced on the premises	-	-	-	-	-	-	-	-	P	
Shopping Center	-	-	-	P	P	P	P	P	-	
Other retail sales	-	-	P	P	P	P	P	P	-	
Sports and Recreation, Participant										
Golf course and clubhouse, private	P	P	P	-	-	-	-	P	P	
Health club	-	-	P	P	P	P	P	P	P	
Private park	P	P	P	-	-	-	-	-	-	
Recreation center or swimming pool, neighborhood	P	P	P	-	-	-	-	-	P	

Recreation grounds and facilities	-	-	P	-	-	-	-	P	-	
Tennis center, club and facilities	P	P	P	P	-	P	P	P	-	
Other participant sports and recreation (Indoor)	P	-	-	P	-	P	P	P	-	
Other participant sports and recreation (Outdoor)	-	-	-	-	-	-	-	P		
Vehicle and Equipment, Sales and Service										
Car wash	-	-	-	-	-	P	-	P	P	27-134
Gasoline sales	-	-	-	-	-	P	-	P	P	27-139
Vehicle repair, minor	-	-	-	-	-	P	-	P	P	27-153
Vehicle repair, major	-	-	-	-	-	-	-	P	P	27-152
Vehicle sales and rental	-	-	-	-	-	S	S	P	P	27-154
Vehicle storage and towing	-	-	-	-	-	-	-	P	P	27-155
INDUSTRIAL										
Manufacturing and Production, Light	-	-	-	-	-	-	-	P	P	
Wholesaling, Warehousing and Freight Movement										
Warehousing and storage	-	-	P	-	-	-	-	-	-	
Self-storage warehouse	-	-	P	-	-	-	-	-	P	
Storage yard and truck terminal	-	-	-	-	-	-	-	-	S	
AGRICULTURE AND TRANSPORTATION										
Agriculture										

Agricultural produce stand	-	-	-	-	-	-	-	-	P	
Community garden	P	P	P	P	P	P	P	P	P	27-135
Crops, production of	-	-	-	-	-	-	-	-	P	
Transportation										
Heliport	S	-	S	-	-	S	S	-	P	
Stations and terminals for bus and rail passenger service	S	-	-	-	-	-	-	-	-	
Taxi stand and taxi dispatching office	-	-	-	-	-	P	P	-	P	

(Ord. No. 2013-10-15, § 1(Exh. A § 27-5.20), 10-14-2013; Ord. No. 2015-01-05, § 1, 1-26-2015)

Sec. 27-73. - Lot and building regulations.

- (a) This section establishes basic lot and building regulations that apply in nonresidential and mixed-use zoning districts. These regulations offer certainty for property owners, developers and neighbors about the limits of what is allowed; they are not to be construed as a guarantee that stated minimums and maximums can be achieved on every lot. Other factors, such as topography, the presence of protected resources, off-street parking and other factors may work to further limit actual building and development potential.
- (b) The lot and building standards of the following table apply to all principal and accessory uses allowed in nonresidential and mixed-use districts, unless otherwise expressly stated in this zoning ordinance. Article VII, division 1, identifies exceptions to these regulations and rules for measuring compliance (see also Figure 5-1).

	Regulation	O-I	O-I-T	O-D	OCR	NS	C-1	CR-1	C-2	M
L1	Minimum Lot Area (sq. ft.)	20,000	20,000[1]	43,560	87,120	20,000	20,000	20,000	30,000	30,000
L2	Minimum Lot Frontage (ft.)	100	100	150	100	100	100	100	100	100
	Maximum Density (dwelling units)	NA	NA	NA	30	NA	NA	80	NA	NA

	per acre)									
	Minimum Building/Structure Setbacks (ft.)									
S 1	Street, front and side	50	40	75	0	50	50	0	50	75
S 2	Side, interior	20	20	20	20	20	20	20[2]	20	20
S 3	Rear	30	30	30	40	30	30	30	30	30
C	Maximum Lot Coverage (%)	80	80	80	80	80	80	80	80	80
	Maximum Building Height (stories/ft.)	5/70[3]	2/35	2/35[4]	2/35[4]	2/25	2/35[4]	3/45[4]	2/35[4]	5/70[3]
	Maximum Building Floor Area (sq. ft.)	NA	NA	NA	NA	50,000[5]	NA	NA	NA	NA

[1] Attached house developments are subject to a minimum lot area requirement of 4,000 square feet per dwelling unit.

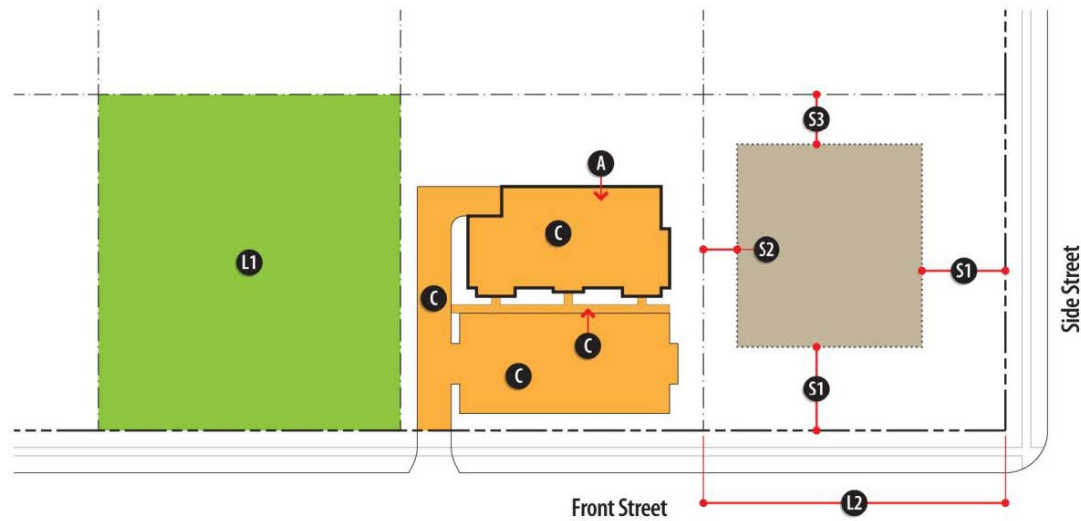
[2] No interior side setback required abutting C-1, CR-1 or C-2-zoned lots.

[3] Buildings may exceed three stories in height only if approved by fire and rescue services. Buildings in excess of five stories or 70 feet in height may be approved only through the special land use permit procedures of article V, division 3. Multi-unit residential and vertical mixed-use buildings that abut any attached single-dwelling residential district may not exceed 40 feet in height. Multi-unit residential buildings and vertical mixed-use buildings that abut any detached single-dwelling residential district may not exceed 35 feet in height.

[4] Buildings in excess stated height limits may be approved through the special land use permit procedures of article V, division 3. Buildings may exceed three stories in height only if approved by fire and rescue services.

[5] No individual building may exceed 50,000 sq. ft. (GSF). No multi-tenant center may exceed 100,000 sq. ft.

Figure 5-1: Lot and Building Regulations Diagram, Nonresidential and Mixed-use Districts



(Ord. No. 2013-10-15, § 1(Exh. A § 27-5.30), 10-14-2013; Ord. No. 2015-01-05, § 1, 1-26-2015)

Sec. 27-74. - Other regulations.

Uses and development in nonresidential and mixed-use zoning districts may be subject to other regulations and standards, including the following.

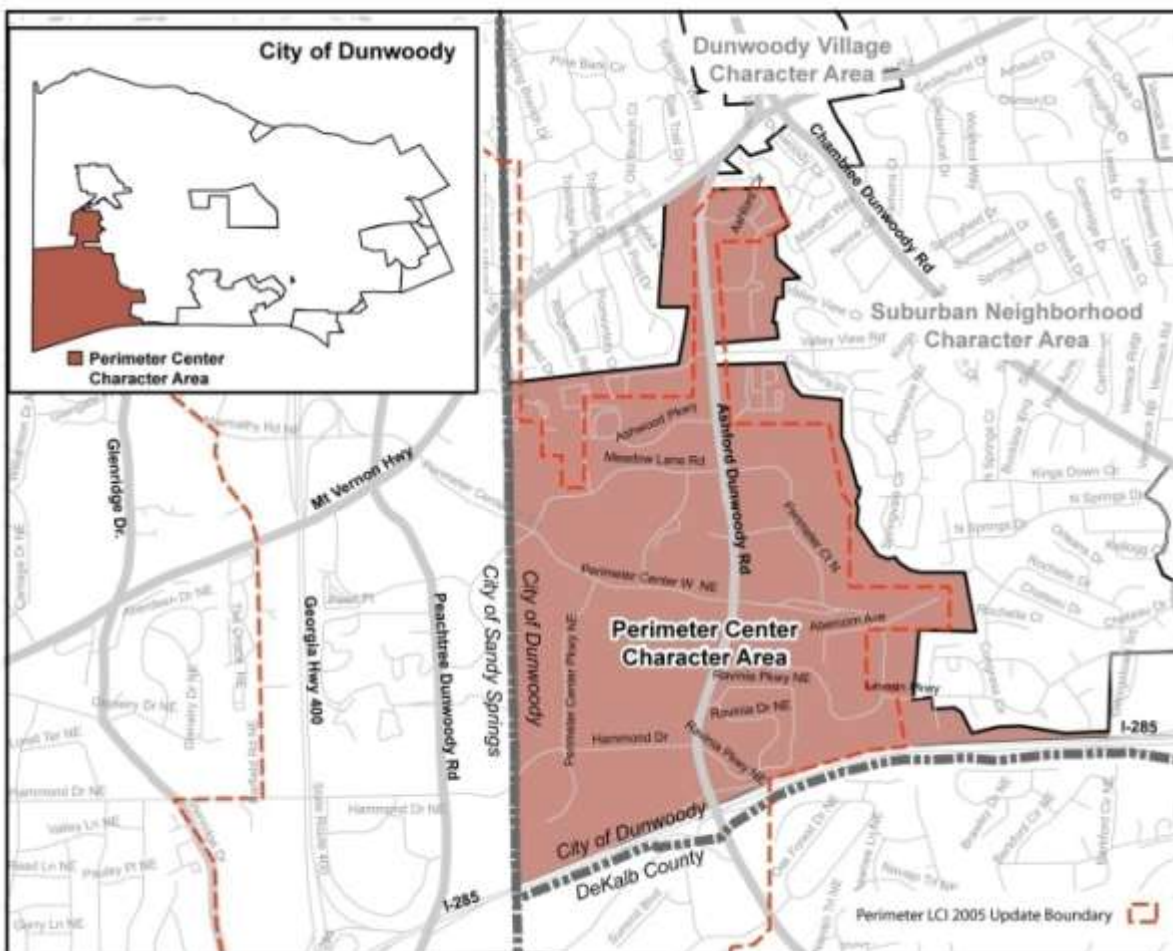
- (1) Nonconformities. See article VI, division 4.
- (2) Accessory uses and structures. See article III, division 3.
- (3) Parking. See article IV, division 1.
- (4) Landscaping and screening. See article IV, division 2.
- (5) Signs. See chapter 20 of the Municipal Code.
- (6) Outdoor storage. See section 27-286.
- (7) Temporary uses. See article III, division 4.
- (8) Outdoor lighting. See article IV, division 3.

(Ord. No. 2013-10-15, § 1(Exh. A § 27-5.40), 10-14-2013)

Secs. 27-75—27-85. - Reserved.



Perimeter Center



Vision/Intent

To create a “livable” regional center with first-class office, retail and high-end restaurants in a pedestrian and bicycle-oriented environment that serves as a regional example of high quality design standards. The City of Dunwoody works in partnership with the Perimeter Community Improvement Districts (PCIDs) to implement and compliment the framework plan and projects identified in the Perimeter Center Livable Centers Initiative study (LCI) and its current and future updates.

By 2030, the area successfully adds public gathering space and pocket parks, continues to create transportation alternatives, mitigates congestion, and reduces remaining excessive surface parking. The area creates the conditions of possible true “live-work” environment. All future development continues to emphasize high quality design standards and building



materials and incorporates the current national best practices on energy efficiency, where possible.

The City of Dunwoody recognizes the value of creating mixed-use, transit-oriented development within walking distance of public transit stations. However, the City has concerns about the impact of such development on the City's infrastructure and schools. To ensure proper controls on residential growth in the PCID, the City recommends zoning changes to require Special Land Use Permits (SLUP) for future high-density housing projects.

Future Development

The boundary of the Character Area designation extends slightly beyond the boundary of the PCIDs/LCI study area to include either existing commercial or to provide a transition where the Character Area abuts adjacent Suburban Character. The locator map also shows where the PCIDs/LCI boundary extends both west into Sandy Springs and into unincorporated DeKalb County, south of I-285.

The first section identifies the City's intent for the area outside the PCIDs; the subsequent section incorporates components which lie within the City of Dunwoody boundaries.

Outside the Perimeter CIDs/LCI:

Development within the Perimeter Center Character Area that abuts the Suburban Character area should demonstrate conformance with the principles of a transitional area. Unless accompanied by an exceptional buffering and usable open space provisions, density should be no greater than 4-8 units to the acre and commercial should be very low intensity (under 20,000 square feet).



1999 parking lot conditions in the Perimeter Center area



2009 conditions above (outparcel development); the City envisions continuing the trend of converting existing surface parking to better uses, ideally including pocket park and green space

Within the Perimeter CIDs/LCI study area: In 2000, the Perimeter CIDs engaged in a Livable Cities Initiative study to craft a vision and strategy for the Fulton and DeKalb Perimeter Community Improvement Districts. This process resulted in a future land use plan that divided the CIDs into defined, development sub-areas -- **Transitional, High-Density, and Transit Village** -- indicated below. Where located within the Dunwoody City limits, new development should conform to the intent of these areas, as described below. In 2005, the Perimeter CIDs went through a process to update a LCI and document potential growth strategies for each area. The City will partner with the PCIDs for a future update and amend this Comprehensive Plan, if appropriate.

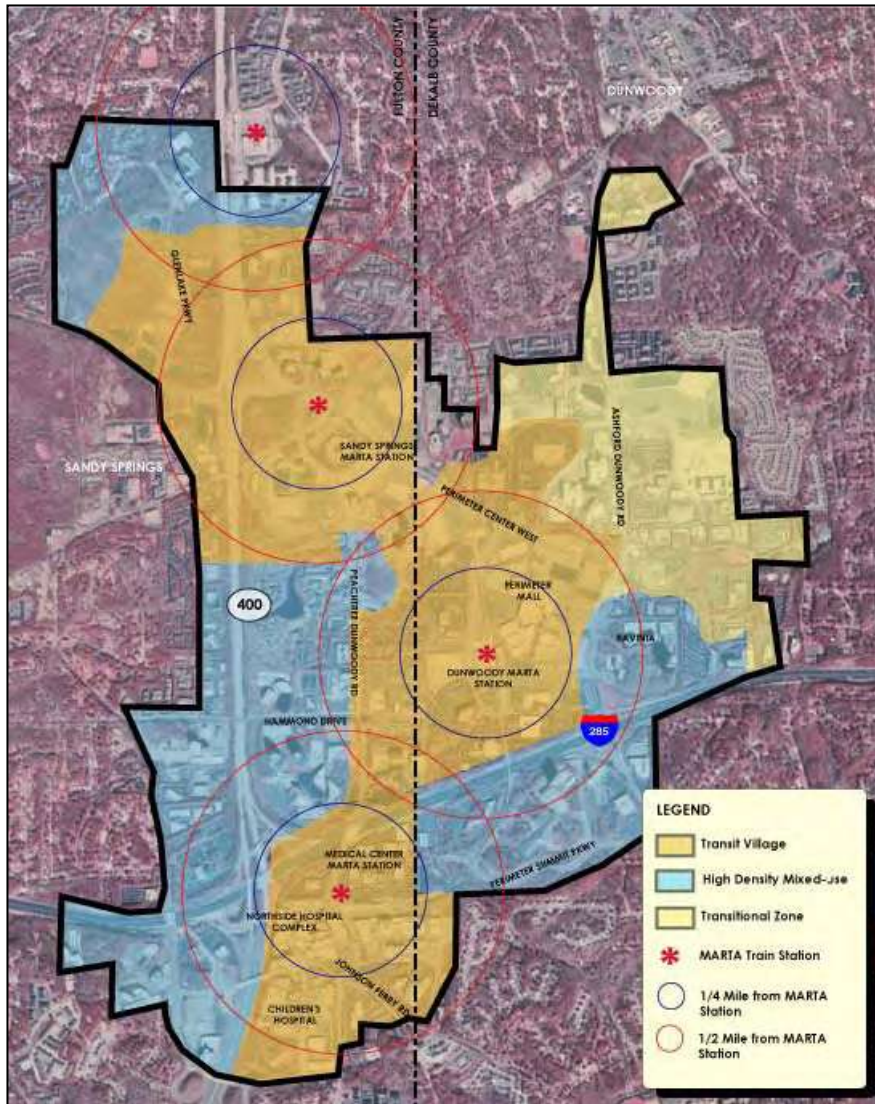


FIGURE 4: Perimeter Center LCI Framework Plan: development types

A Community Improvement District (CID)

is an authorized self-taxing district dedicated to infrastructure improvements within its boundaries. The PCIDs are governed by two boards – one each for Fulton and DeKalb. The PCIDs spent or leveraged public funds to invest \$55 million in Dunwoody alone; over \$7 million from ARC's LCI program was directed to the PCIDs. This makes it one of the most, if not the most, successful CIDs in the region. The PCIDs' mission focuses exclusively on transportation improvements:

To work continuously to develop efficient transportation services, with an emphasis on access, mobility, diversification and modernization.

Zoned when the area was under unincorporated DeKalb County jurisdiction, several of the parcels located within the City's character area remain undeveloped. As actual market values adjust in the post-recession climate, the City anticipates opportunities to establish development



regulations to provide appropriate recreation and open space amenities for the public, especially where open space potential is identified within the Perimeter LCI “Transit Village” and “Transitional” section described further below.

Perimeter Center - Transit Village:

Transit Village Sub-Area:

Defined by a half-mile radius around the existing MARTA Stations, the Transit Village area will develop as an urban district promoting a mix of residential, commercial and institutional uses. This decision is based on the location of major transit infrastructure which provides opportunities for alternative transportation.

The desire is to generate a “Town Center” near Perimeter Mall to reinforce business development and a sense of identity for the area emerged. The plan argues the vision for the Perimeter Mall “Transit Village” can serve as the “prototype spearheading development at other MARTA Stations.”

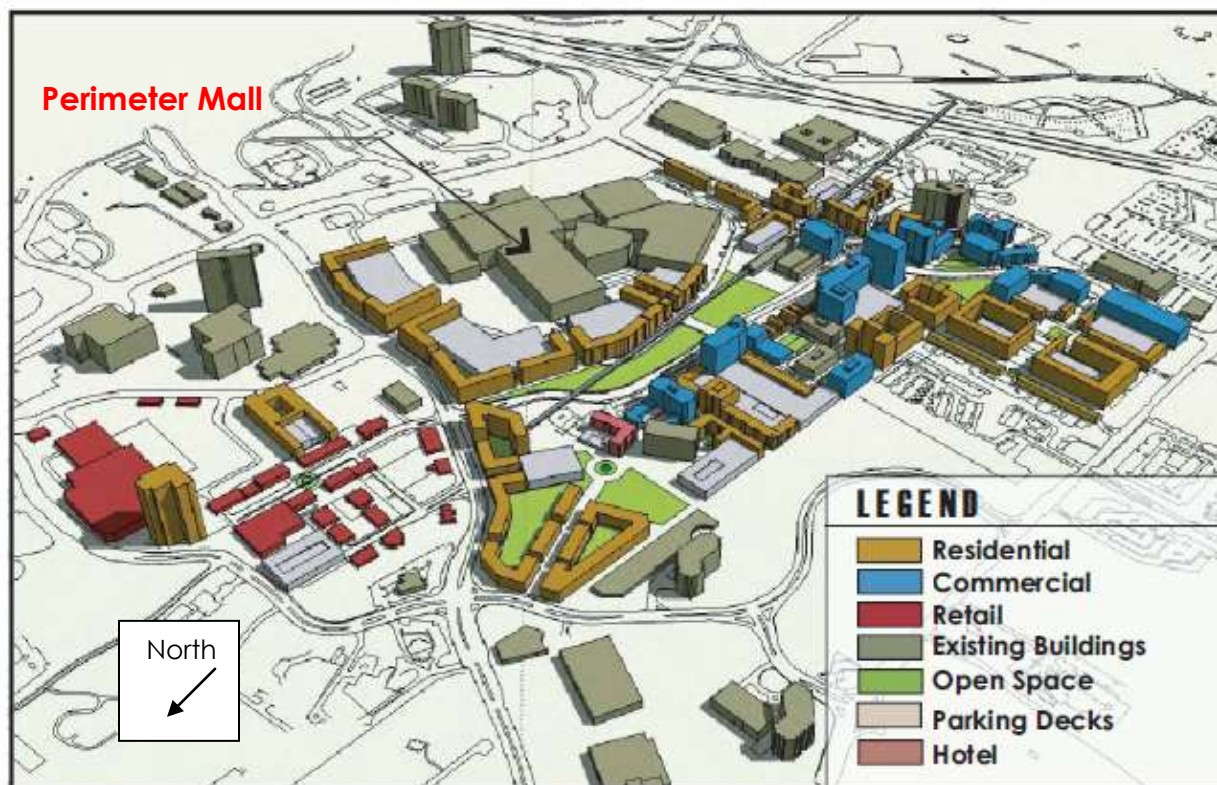


FIGURE 5: Plan-view Perimeter Center Parkway Build-Out with Linear Park and Green Space



FIGURE 6: Transit Village Vision: *Perimeter Focus: Envisioning a New Atlanta Center Update* (LCI 2005) [EDITOR'S NOTE: Cannot change the name of official documents.]

High-Density Mixed-Use sub-area:

This development sub-area currently has a concentration of commercial uses, mostly due to accessibility from I-285. The Ravinia complex on the north side of I-285 includes an upscale hotel (Crown Plaza) and two high-rise office towers. The parcels north of Ravinia are a part of the Perimeter Center East commercial properties, owned by Equity Office Properties. These buildings vary from low-density offices built in the 1970s (such as 77 Perimeter Center West) to high-rise buildings (including the former Philips regional headquarters) fronting I-285. The City envisions continuing commercial development along with encouraging compatible uses to balance office expansion.

Notable, the interchange at Ashford Dunwoody Road is one of the major transportation bottleneck locations in the Perimeter area. Current road patterns require all of the traffic on Ravinia Drive and Perimeter Center East to converge on to Ashford Dunwoody Road. Given the commercial nature of the developments on both these roads, morning and afternoon rush hour



times create huge congestion issues south of Perimeter Center West. Similar issues are created south of I-285 at Ashford Dunwoody Road, where vehicular traffic from offices at Perimeter Summit and Lake Hearn backs up during peak hours. The recent interchange improvements at Ashford Dunwoody Road are aimed at reducing congestion on Ashford Dunwoody Road, on both sides of I-285.

Additionally, the PCIDs completed the Perimeter Center Parkway Bridge (flyover) in 2007. This bridge provides much needed vehicular, pedestrian and bicycle accessibility connecting the Dunwoody MARTA Station to Perimeter Summit. The parkway improvements were achieved through a collaborative partnership between the Atlanta Regional Commission's Livable Centers Initiative, Georgia's Fast Forward bond program and DeKalb County.

The City also envisions realizing the goal of **expanding the open space** from the trails behind the Ravinia Towers to additional areas in the future. A public plaza would also be appropriate at Perimeter Summit, to serve the large number of residents and employees that will be using the complex. Public art such as sculptures or fountains could enhance these open spaces. This would anticipate a conversion of excess parking into usable pocket parks. A pocket park is defined as a small area – 2,500 sq. ft. to 1 acre – of open space for active or passive recreation within a development.

In 2009, the PCIDs broke ground on the nearly \$18 million half-diamond interchange at Hammond Drive and GA 400.

Construction will include building entrance and exit ramps from Hammond Drive to GA 400 and replace the four-lane Hammond overpass with a nine-lane, higher bridge to meet current and future traffic volumes. This will provide alternative access to the area. The project had been planned for more than 15 years.

Perimeter Center Transitional Sub-Area:

Geared specifically towards protecting the single-family communities that become vulnerable to density pressures given high land prices, this sub-area actively discourages incompatible infill and loss of neighborhood character. The City of Dunwoody intends to establish a "buffer zone" where transitional regulations can be put in place to offer contextual sensitivity. The plan envisions low and medium density office and some residential. The City of Dunwoody considers up to 8 units maximum to the acre "low density" and up to 12 units to the acre "medium density."

Two areas of potential open space, as indicated on the development opportunities map below, are identified. They include surface parking that could be converted into more appropriate uses, including usable open space amenities.

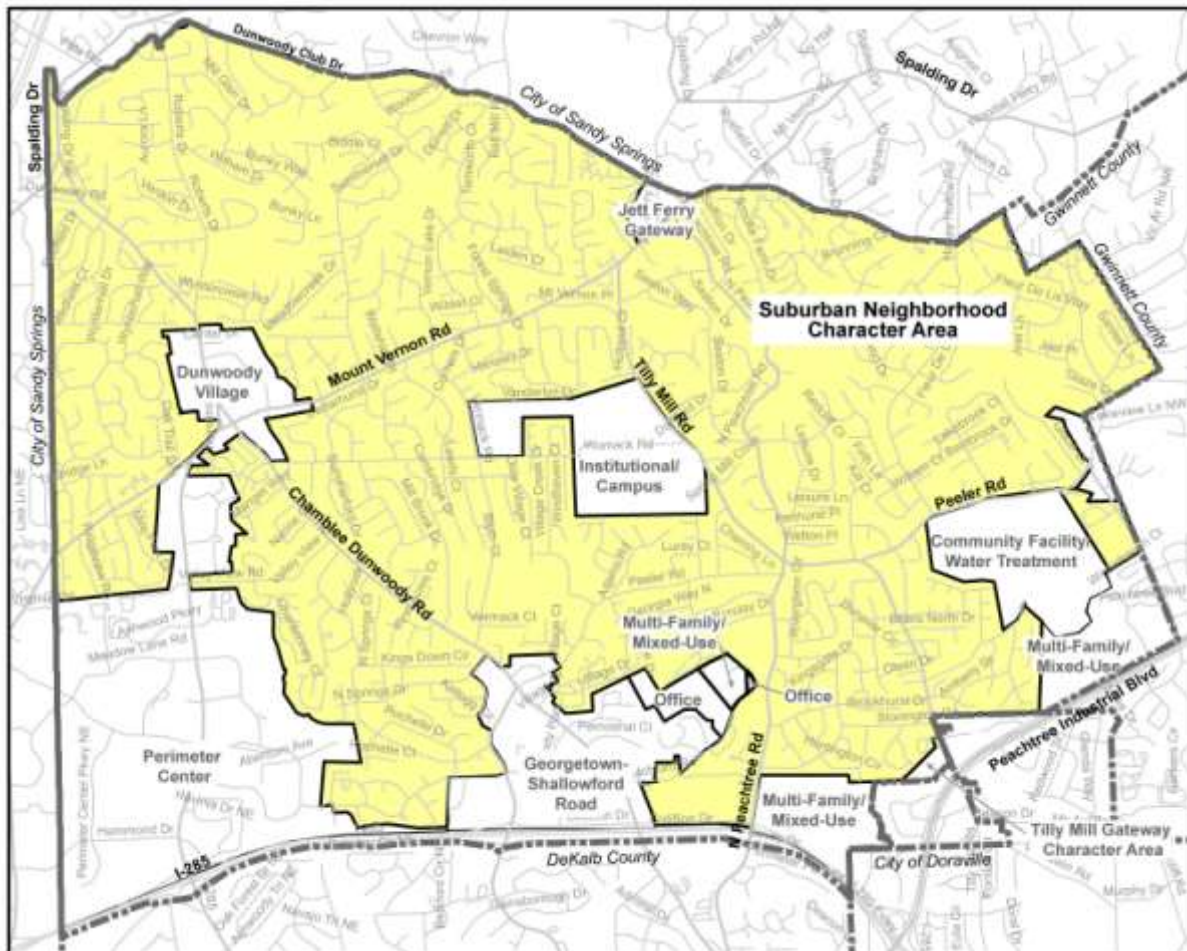


Perimeter Center Character Area Goals

- Land Use
 - New residential development will include amenities and provide public functional green space
 - New residential development will address school capacity issues and applicants will work with Board of Education and City for better resolution of school issues
 - Reduce surface parking and promote livable centers in the immediate areas surrounding MARTA station
 - Encourage hotel and convention development near MARTA in order to foster commerce along the mass transportation route
 - Achieve a lifelong-community for residents who can age in place with safe access to medical, recreational and other necessary services
- Transportation and Circulation
 - Create bicycle, pedestrian and potential golf cart options to connect with the rest of the City of Dunwoody
 - Work with the Perimeter Transportation Management Association (TMA) to actively reduce automobile dependency and emerge as a leader in alternative transportation for the region
 - Promote/establish new connectivity
- Intergovernmental Coordination
 - Work to strengthen Board of Education relationship for creative solutions to school capacity
 - Work with the PCIDs' boards to implement vision
 - Coordinate with the City of Sandy Springs for LCI Updates and implementation
 - Coordinate with the Atlanta Regional Commission (ARC) for implementation of future LCI study updates
 - Coordinate with MARTA regarding Bus Rapid Transit (BRT) (or other regional service) and urban design surrounding all transit stations



Suburban Neighborhood



Vision/Intent

Stable, owner-occupied single-family residential area that is characterized by a traditional suburban pattern of development with accessible sidewalks, extensive landscaping, and access to parks and functional greenspace, places of worship and schools.

Future Development

- **Height:** Up to 2 story typical although high quality, 3 story attached residential units (townhomes) may be appropriate if and only if featuring high quality architectural treatment and only where existing townhomes currently allowed by past zoning



- **Form:** Traditional homes with quality building materials, high quality design, streetscaping, and pedestrian and bicycle amenities
- **Uses:** Single-family residential, public gathering spaces, places of worship, office-residential or neighborhood scale commercial at key intersections (less than 10,000 square feet); townhomes only where existing townhomes currently allowed by zoning
- **Density:** Maximum residential density up to 4 units to the acre

Goals

- Encourage paths, connectivity, and sidewalks
- Identify potential trail easements



**DeKalb County School District
Zoning Review Comments**

Analysis Date: 5/28/2015

Submitted to: Andrew Russell **Case #:** RZ-15-071

Name of Development: Townsend at Perimeter
Location: 54 Perimeter Center East

Description: Rezoning for the proposed development of 81 townhomes.

Impact of Development: The proposed rezoning, if approved, will add approximately 8 student all attending local schools (4 at Dunwoody ES, 1 at Peachtree Charter MS and 3 at Dunwoody HS. This will increase overcrowding at all schools, all of which are projected to be at between 6% and 23% over capacity in October of 2015 and are projected to grow in enrollment and overcrowding in the coming years. This development will have a negative yet minor effect on all three schools.

	Dunwoody ES	Peachtree MS	Dunwoody HS	Other DSCD Schools	Private Schools	Total
Current Condition of Schools						
Capacity	973	1,212	1,403			
Portables (Capacity)	1	12	4			
Enrollment (Oct. 2015)	1,034	1,485	1,700			
Seats Available (Oct. 2015)	-61	-273	-297			
Utilization (% in Oct. 2015)	106.3%	122.5%	121.2%			
New students from development	4	1	3	0	0	8

New Enrollment	1,038	1,486	1,703
New Seats Available	-65	-274	-300
New Utilization	106.7%	122.6%	121.4%

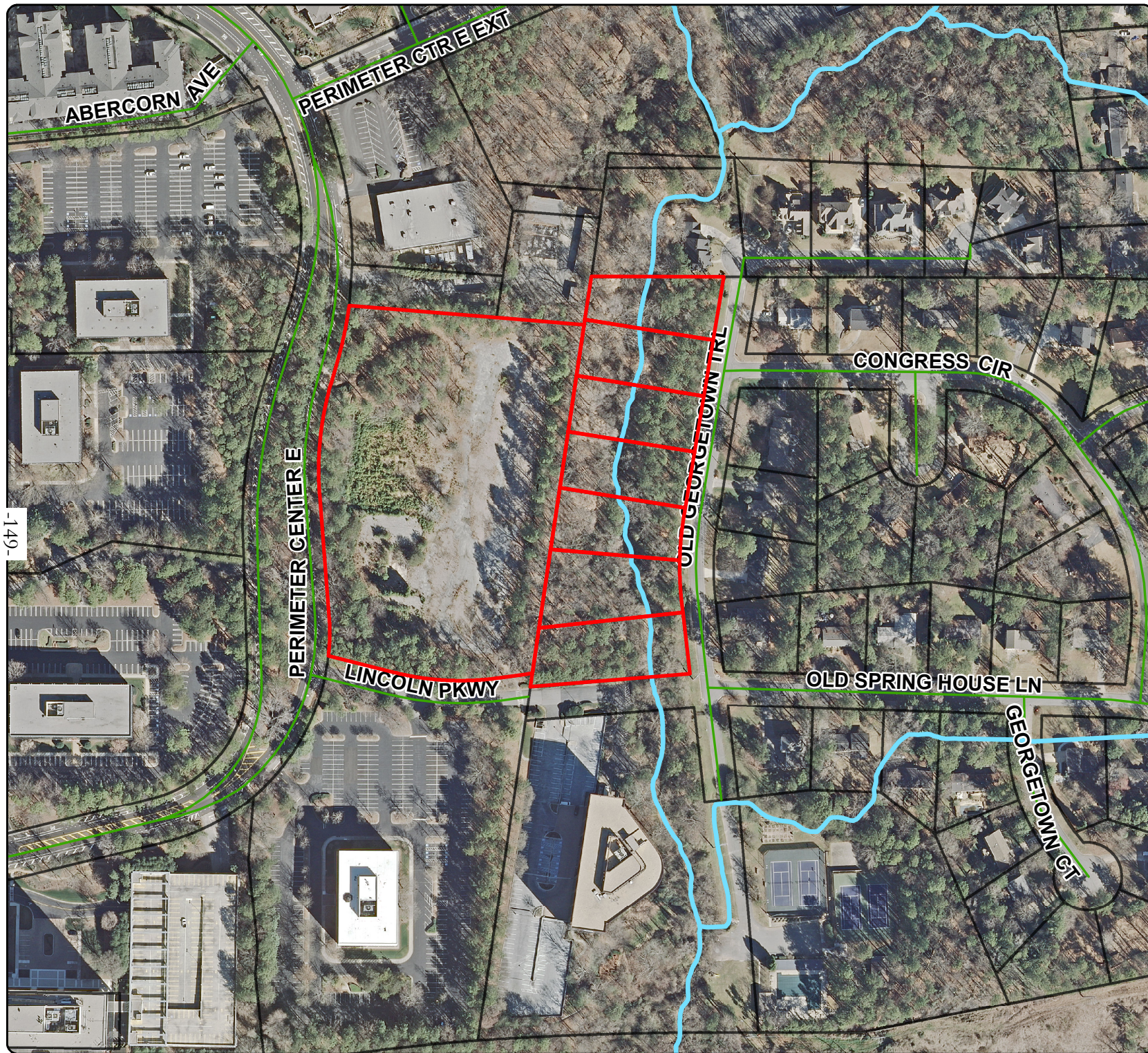
	Attend Home School	Attend other DCSD School	Private School	Total
Yield Rates				
Elementary	0.0446	0.0015	0.0010	0.0471
Middle	0.0136	0.0005	0.0020	0.0161
High	0.0330	0.0015	0.0040	0.0384
Total	0.0912	0.0034	0.0070	0.1016

Student Calculations

Proposed Units **81**

	Attend Home School	Attend other DCSD School	Private School	Total
Units x Yield				
Elementary	3.61	0.12	0.08	3.81
Middle	1.10	0.04	0.16	1.30
High	2.67	0.12	0.32	3.11
Total	7.38	0.28	0.56	8.22

	Attend Home School	Attend other DCSD School	Private School	Total
Anticipated Students				
Dunwoody ES	4	0	0	4
Peachtree MS	1	0	0	1
Dunwoody HS	3	0	0	3
Total	8	0	0	8



Dunwoody*
*Smart people - Smart city

Community Development

41 Perimeter Center East | Dunwoody, Georgia
Suite 250 | 30346-1902

678-382-6800 ~ www.dunwoodyga.gov

**54 Perimeter Center East
and 4340, 4348, 4356,
4364, 4372, 4380, 4388
Old Georgetown Trail**

**RZ 15-071
Aerial Map
July 2015**

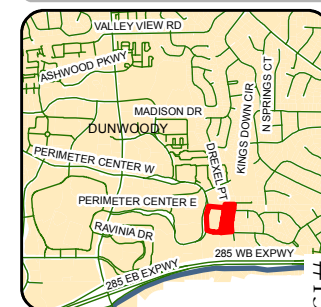
Legend

-  Parcel
-  Street Centerline
-  Stream



Scale:

1 in = 234 ft






#13.

Disclaimer: All data is provided as is, with all faults, without warranty of any kind, either expressed or implied. This map is the property of the City of Dunwoody, Georgia and its assigns. All rights reserved.



54 Perimeter Center East and 4340, 4348, 4356, 4364, 4372, 4380, 4388 Old Georgetown Trail

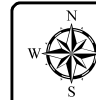
**RZ 15-071
Topo Map
July 2015**

Legend

-  Parcel
-  Street Centerline
-  Stream

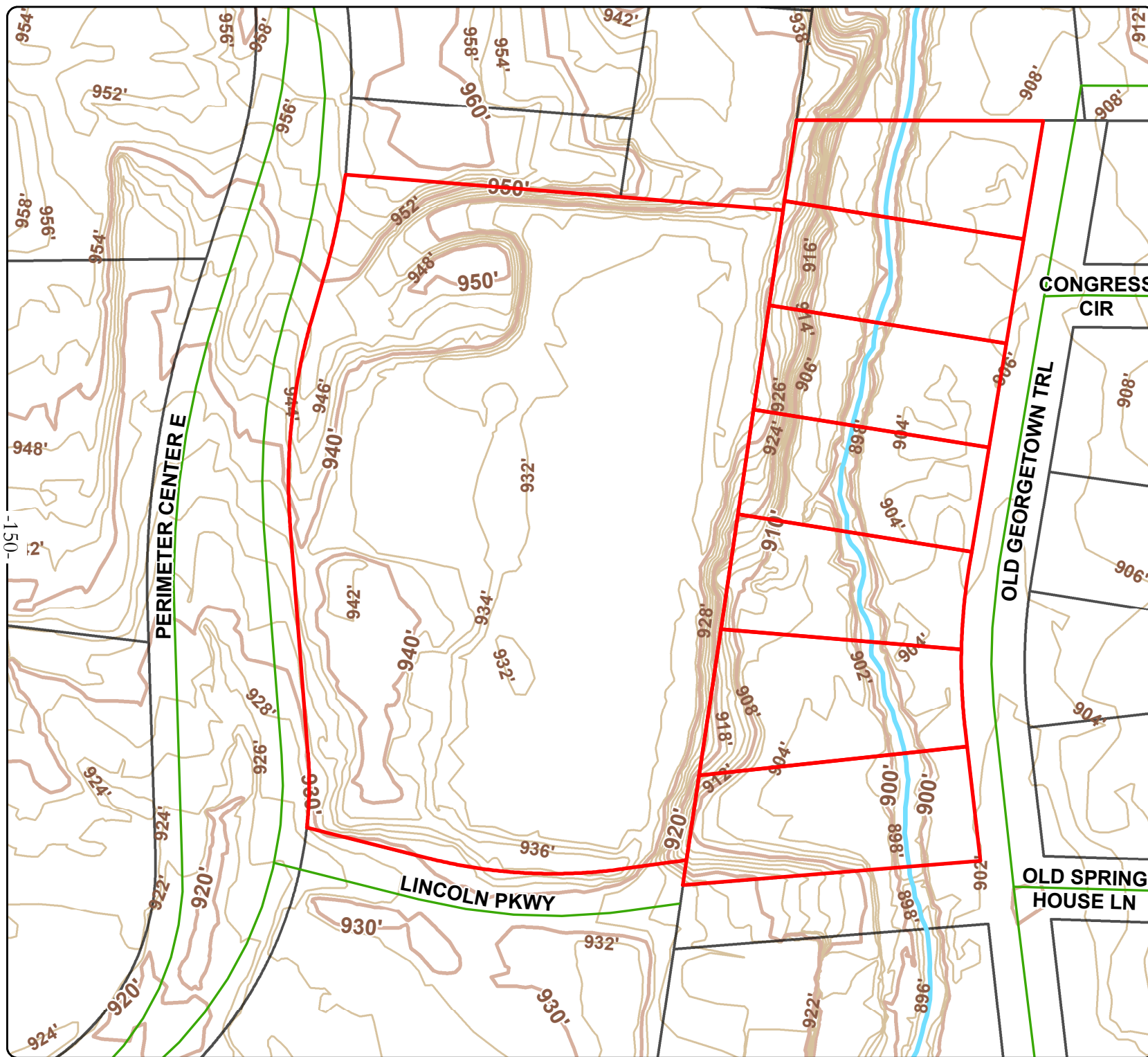
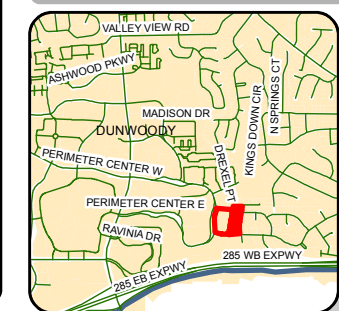
Topography

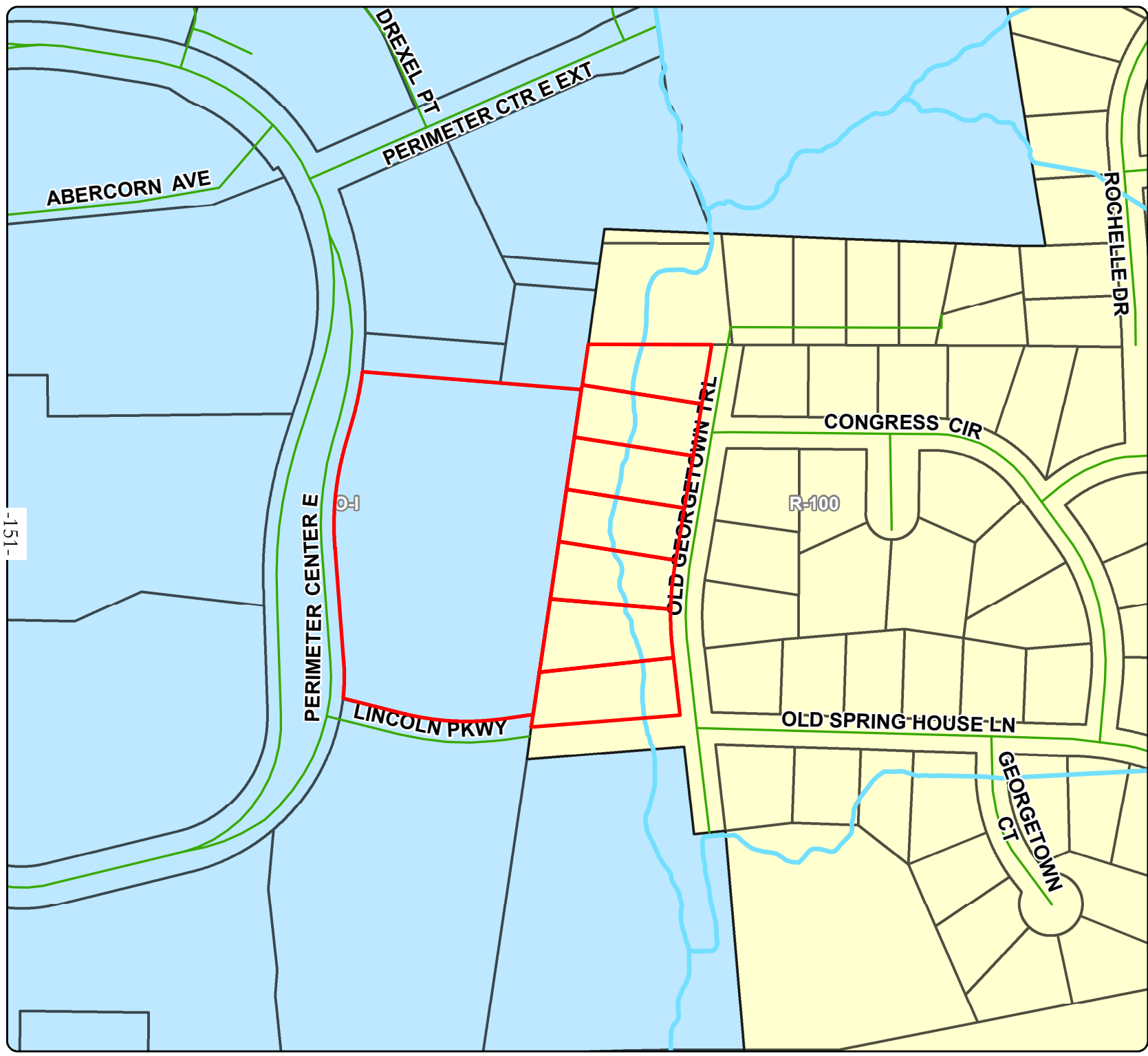
-  10'
-  2'



Scale:

1 in = 126 ft





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*Smart people - Smart city
Community Development
41 Perimeter Center East | Dunwoody, Georgia
Suite 250 | 30346-1902
678-382-6800 ~ www.dunwoodyga.gov

**54 Perimeter Center East
and 4340, 4348, 4356,
4364, 4372, 4380, 4388
Old Georgetown Trail**
RZ 15-071
Zoning Map
July 2015

Legend

- Parcel
- Street Centerline
- Zoning District**
- Local Commercial
- General Commercial
- Commercial-Residential Mixed-Use
- Industrial
- Neighborhood Shopping
- Office-Distribution
- Office-Institution-Transitional
- Office-Institution
- Office-Commercial Residential
- Planned Development
- Detached Single-dwelling Residential
- Attached Single-dwelling Residential
- Residential Community Development
- Single-family Cluster Residential
- Multi-dwelling Residential

Scale:
1 in = 250 ft



**54 Perimeter Center East
 and 4340, 4348, 4356,
 4364, 4372, 4380, 4388
 Old Georgetown Trail**

**RZ 15-071
 Subdivisions Map
 July 2015**

Legend

Parcel

Street Centerline

Subdivision

CHATEAU WOODS

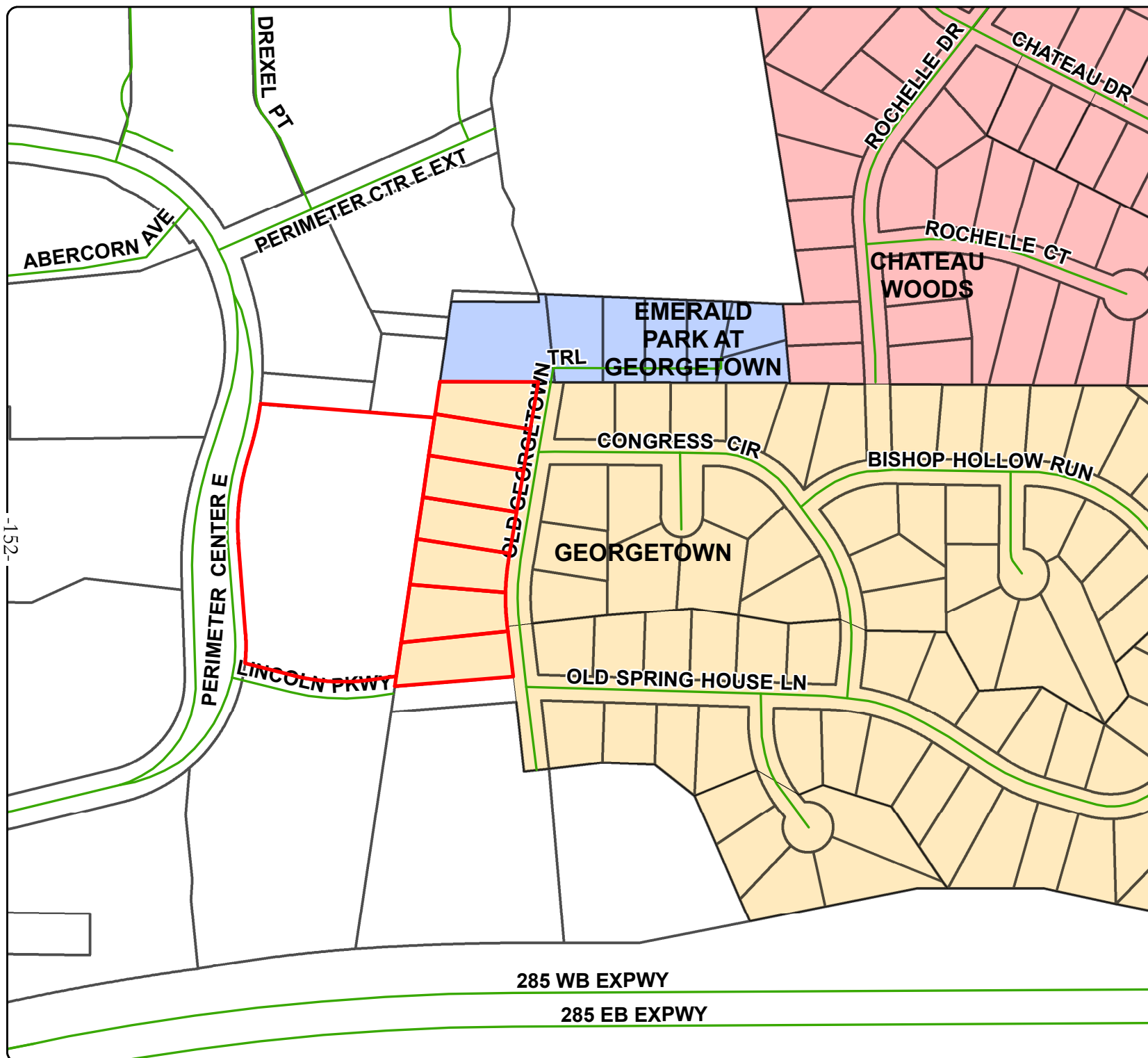
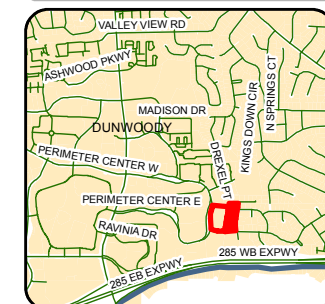
EMERALD PARK AT GEORGETOWN

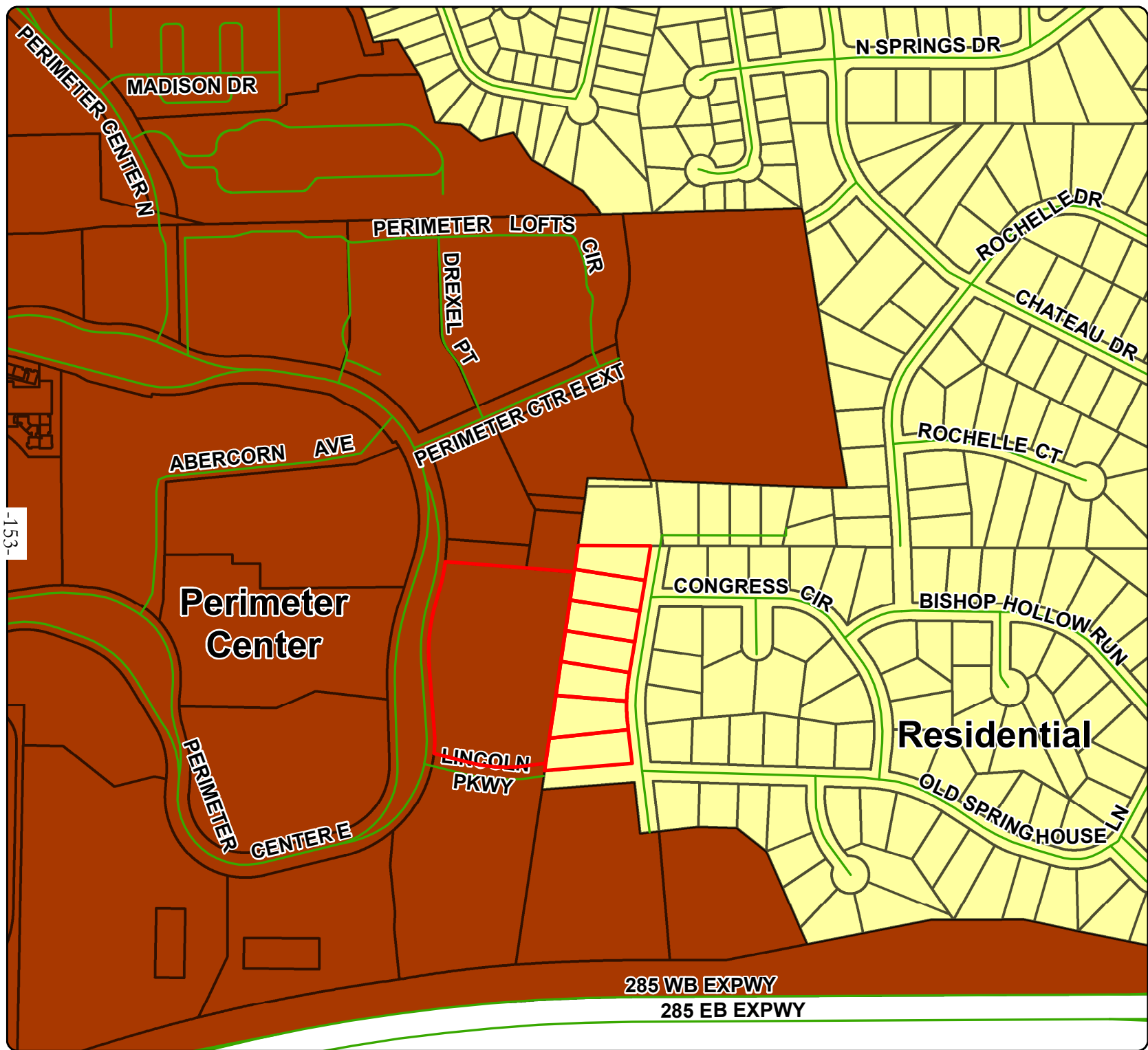
GEORGETOWN



Scale:

1 in = 318 ft





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**54 Perimeter Center East
 and 4340, 4348, 4356,
 4364, 4372, 4380, 4388
 Old Georgetown Trail**
RZ 15-071
Future Land Use Map
 July 2015

Legend

- Parcel
- Street Centerline
- Character Area**
 - Perimeter Center
 - Community Facility/Water Treatment
 - Dunwoody Village
 - Georgetown-Shallowford Road
 - Institutional/Campus
 - Office
 - Jett Ferry Gateway
 - Tilly Mill Gateway
 - Winters Chapel Redevelopment Area
 - Multi-Family/Mixed-Use
 - Residential

Scale:
 1 in = 425 ft



Disclaimer: All data is provided as is, with all faults, without warranty of any kind, either expressed or implied. This map is the property of the City of Dunwoody, Georgia and its assigns. All rights reserved.

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THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "A"



THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "B"

NOTE: SEE ELEVATION FACADE PLAN FOR WINDOW SIZES & LOCATIONS, PORCH ROOF, LOCATION OF BRICK VENEER & BUILDING OFFSETS.

NOTA: VEA LAS ELEVACIONES DE LA FACHADA PARA TAMAÑO Y LOCALIZACION DE VENTANAS, PORCHES, PAREDES DE LADRILLO Y EL PERIMETRO DE LA CASA.

ARCHITECTURAL INDEX	
PAGE NO.	PAGE NAME
A0.0	COVER SHEET
A1.0	SLAB AND TERRACE PLAN
A1.1	1ST AND 2ND FLOOR PLAN
A1.1A	OPT. 2ND FLOOR PLAN
A1.2	FRONT ELEVATION A
A1.3	FRONT ELEVATION B
A1.4	LEFT ELEVATION (END UNIT)
A1.5	RIGHT ELEVATION (END UNIT)
A1.6	ROOF PLAN AND REAR ELEV.
E0.0	FIRST FLOOR ELECTRICAL PLAN
E0.1	SECOND FLOOR ELECTRICAL PLAN

DESIGN CRITERIA:

2012 International Residential Code with Georgia Amendments

Roof:

Live Load = 20 psf

Dead Load = 10 psf

Floors:

Live Load = 40 psf

Dead Load = 10 psf

Wind Speed = 90 mph

Max. Height = 35'-0"

ARLINGTON II

Terrace - 419 sf

1st Floor - 887 sf

2nd Floor - 907 sf

Total - 2,213 sf

Garage - 455 sf

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ARLINGTON II

COVER SHEET

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: NONE

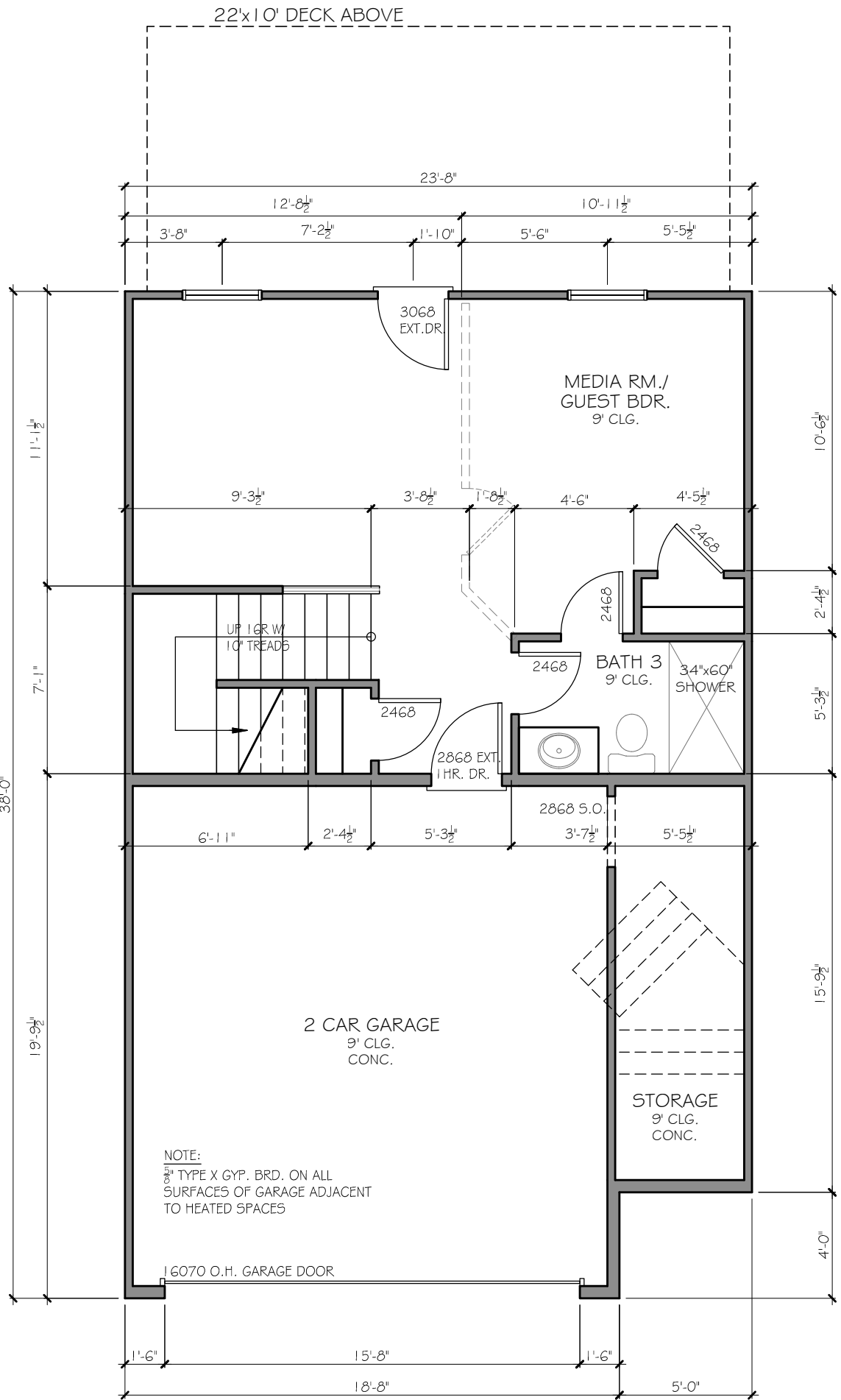
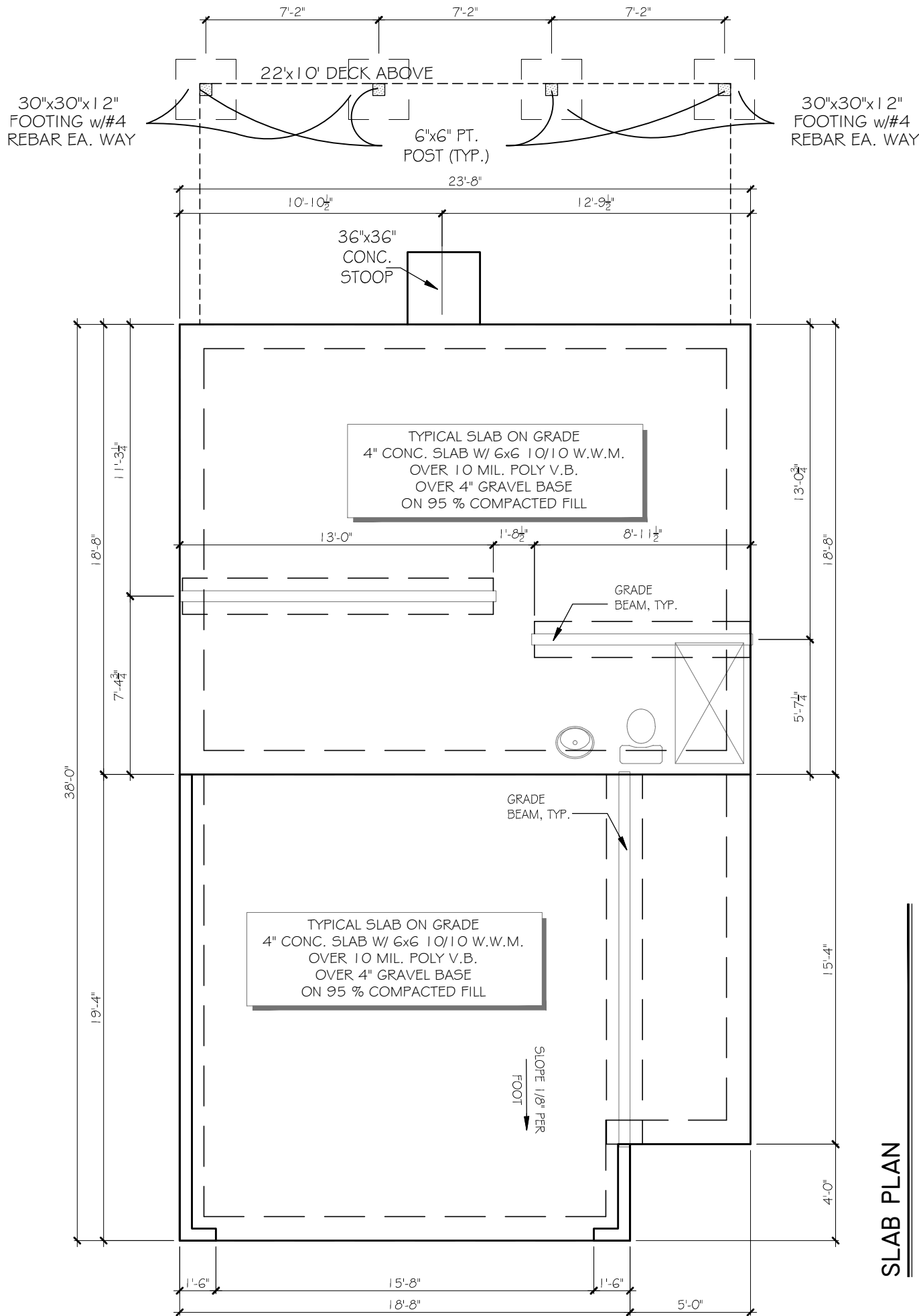
SHEET NO.

A0.0#13.

OF

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#13.

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ARLINGTON II A&B

SLAB PLAN

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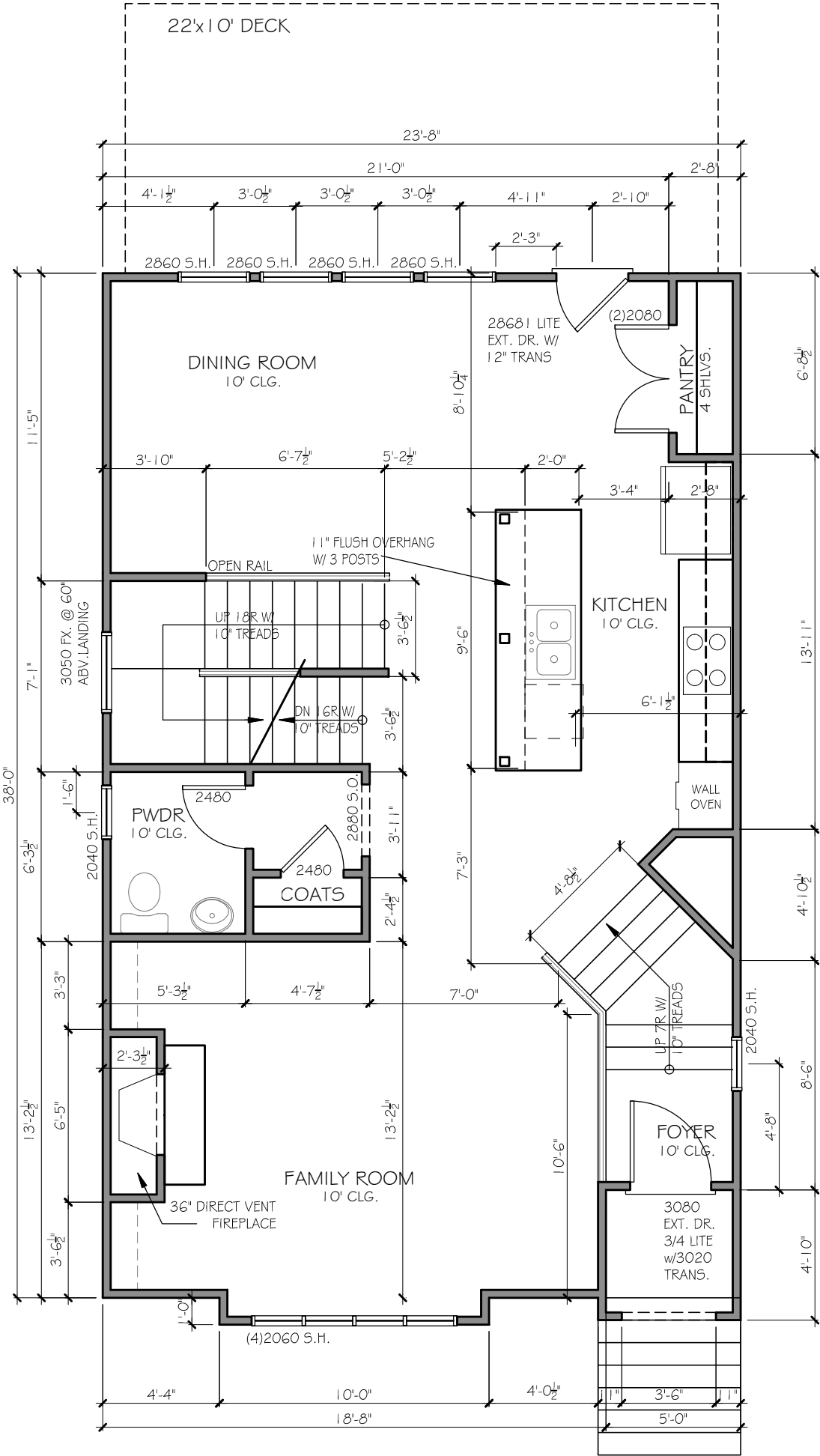
PLOT DATE: 07/30/2015

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SCALE: NONE

SHEET NO. A1.0

2 OF 13



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES		
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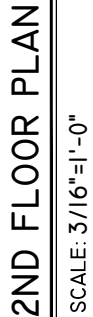
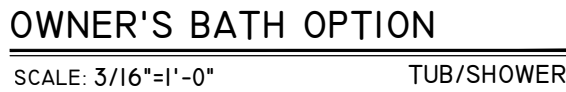
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SCALE: NONE

SHEET NO.

A1.1A#13.

ARLINGTON II A
1ST FLOOR PLAN



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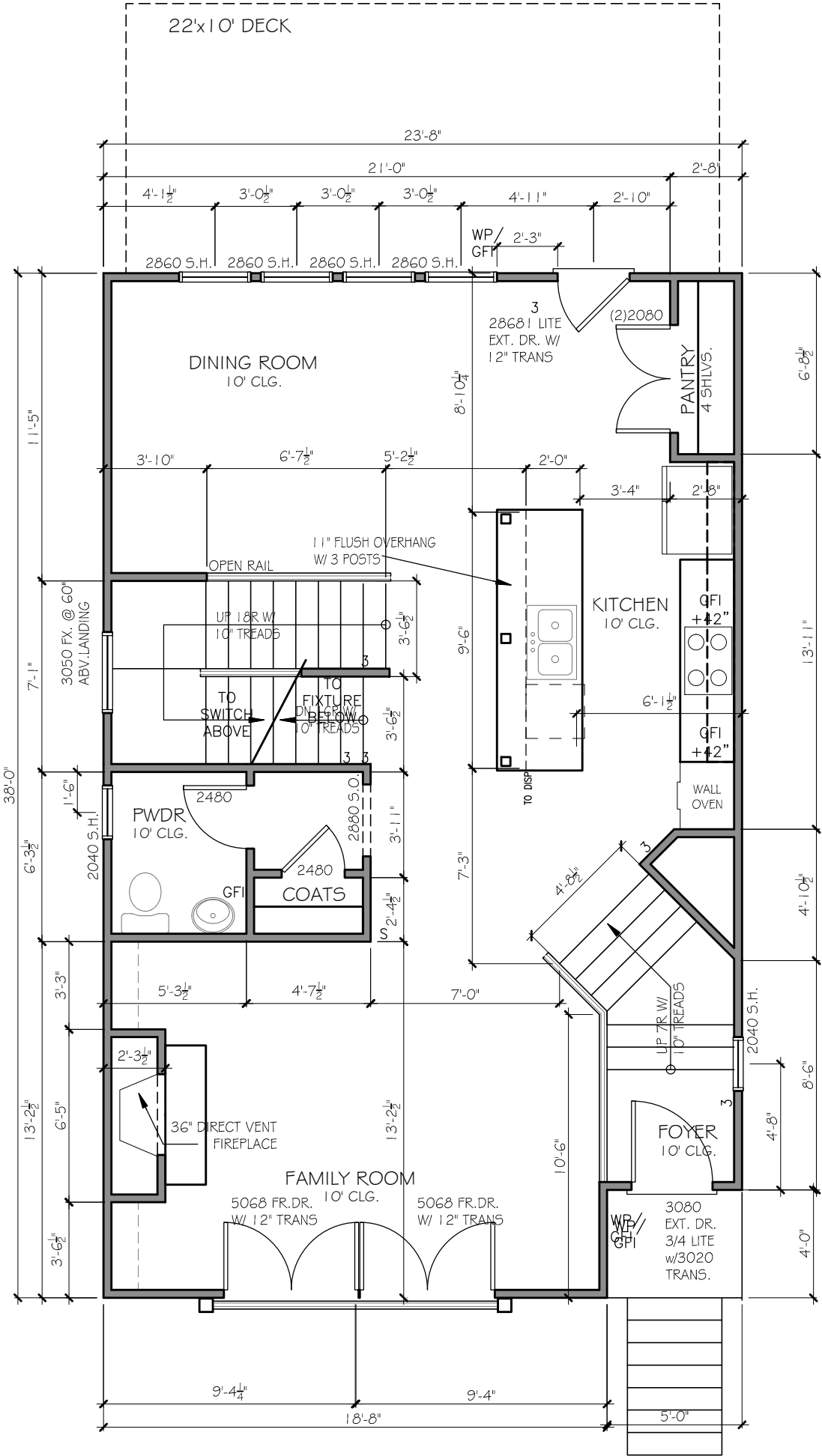
PLOT DATE: 07/30/2015

DRAWN BY: **MHART**

SCALE: **NONE**

SHEET NO

A1.2A



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES		
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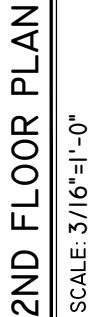
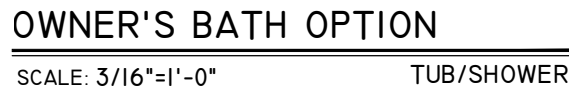
PLOT DATE: 07/30/2015

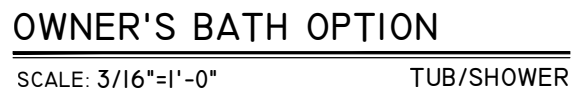
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A1.11#13.



[illegible]

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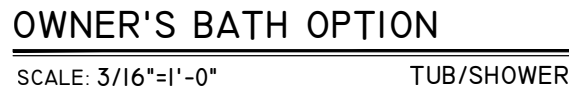
PLOT DATE: 07/30/2015

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SCALE: **NONE**

SHEET NO.

A1.3/13.



SCALE: 3/16"=1'-0"

ARLINGTON II B
OPTIONAL 2ND. FLOOR

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SCALE: NONE

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A1.3B

ARLINGTON II
FRONT ELEVATION A

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SCALE:
3/16"=1'-0"

SHEET NO.

A1.4/13

4 OF 13



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ARLINGTON II

FRONT ELEVATION B

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SCALE: 3/16"=1'-0"

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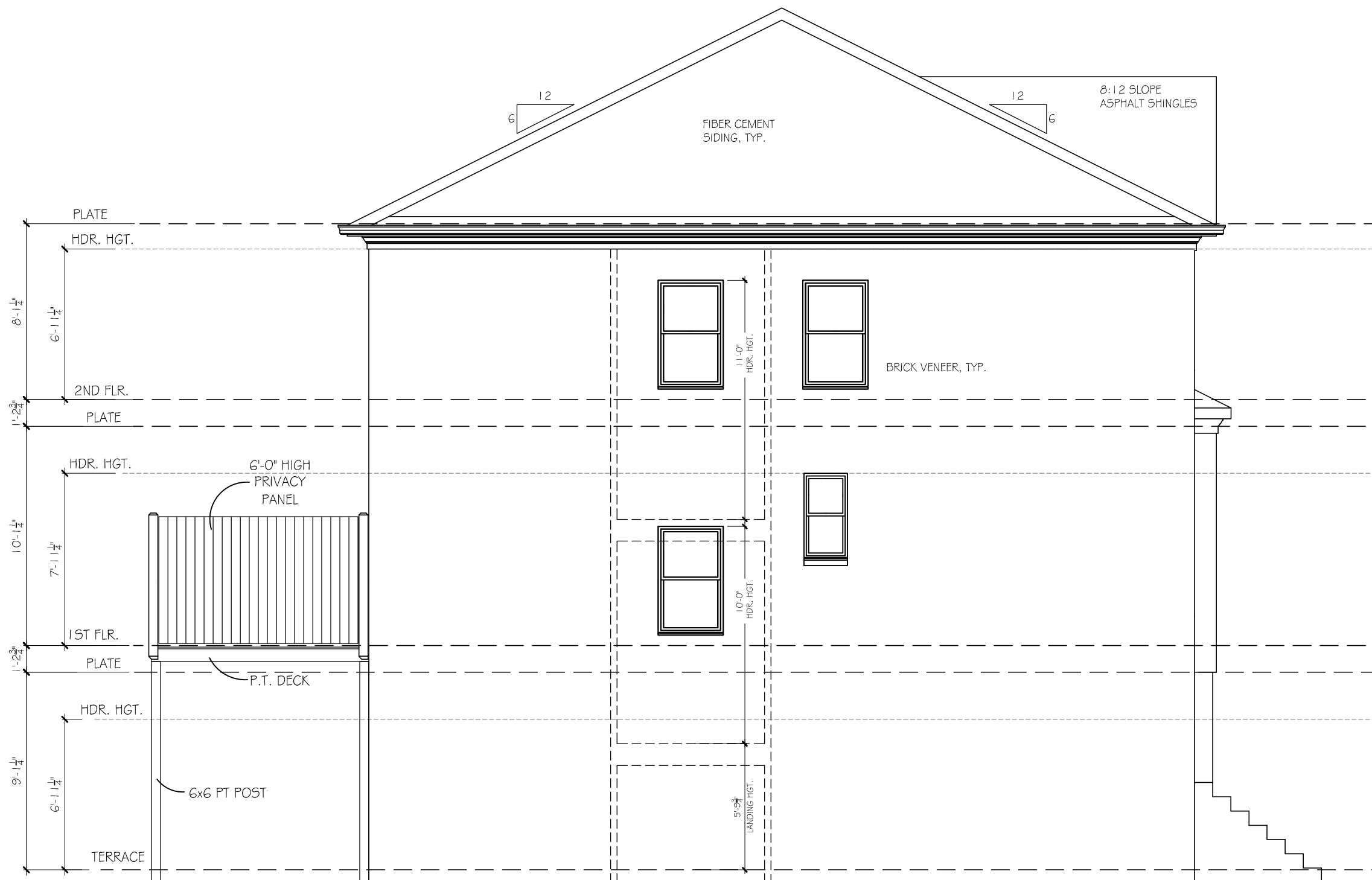
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SHEET NO.

A1.5/13

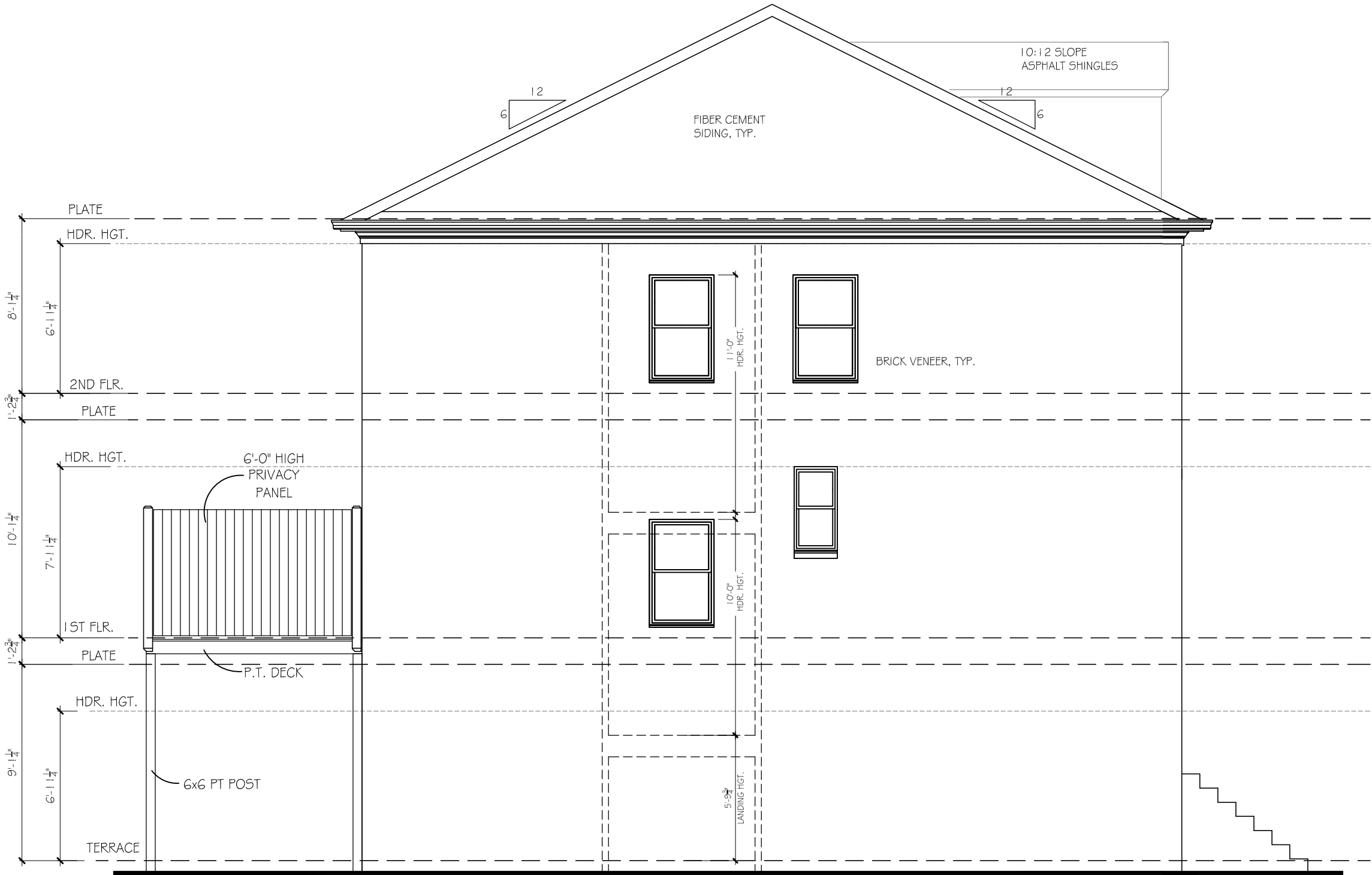
Q



LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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ARLINGTON II B

LEFT ELEVATION (END)

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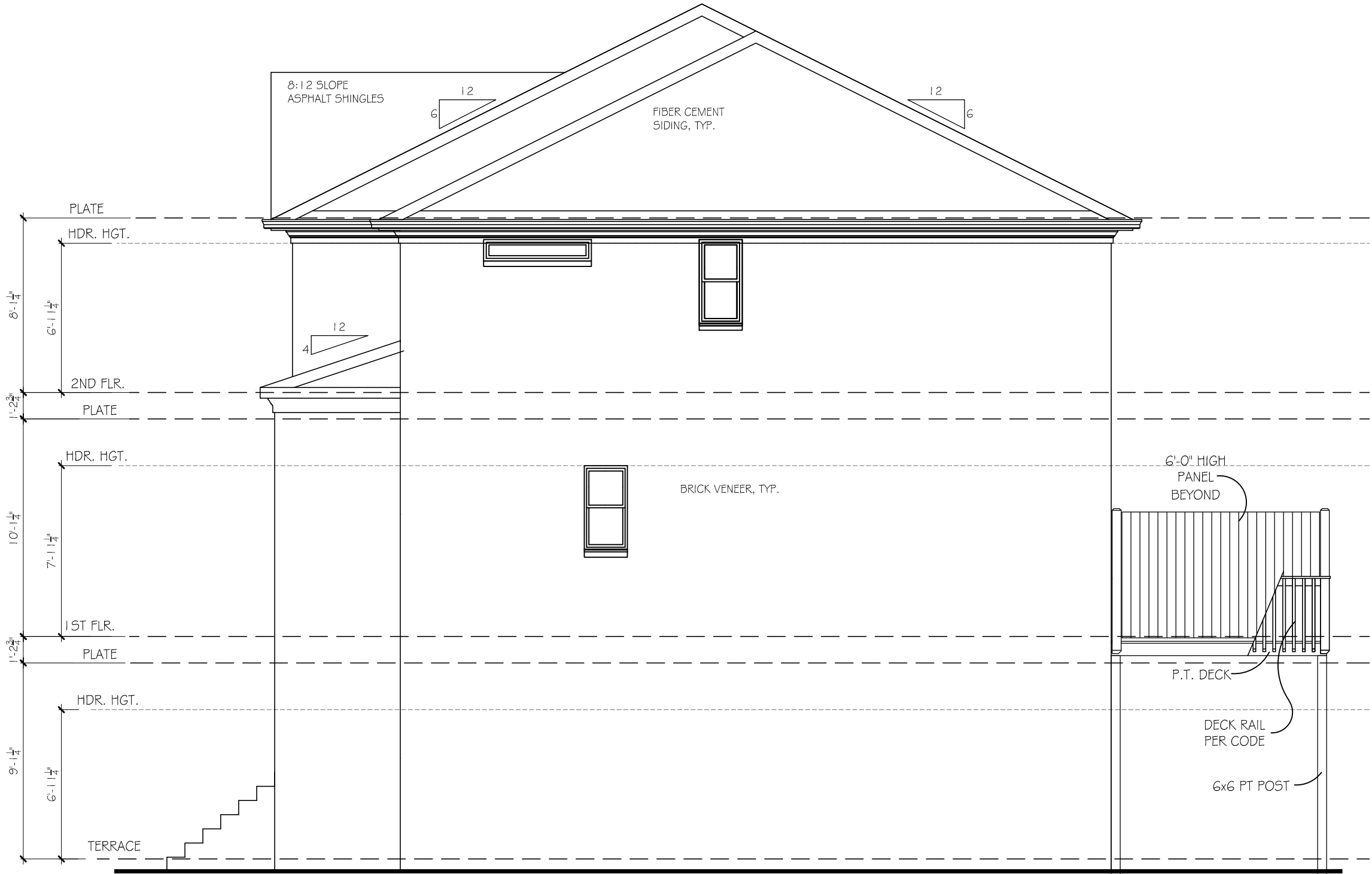
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A1.5B

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RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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ARLINGTON II A

RIGHT ELEVATION (END)

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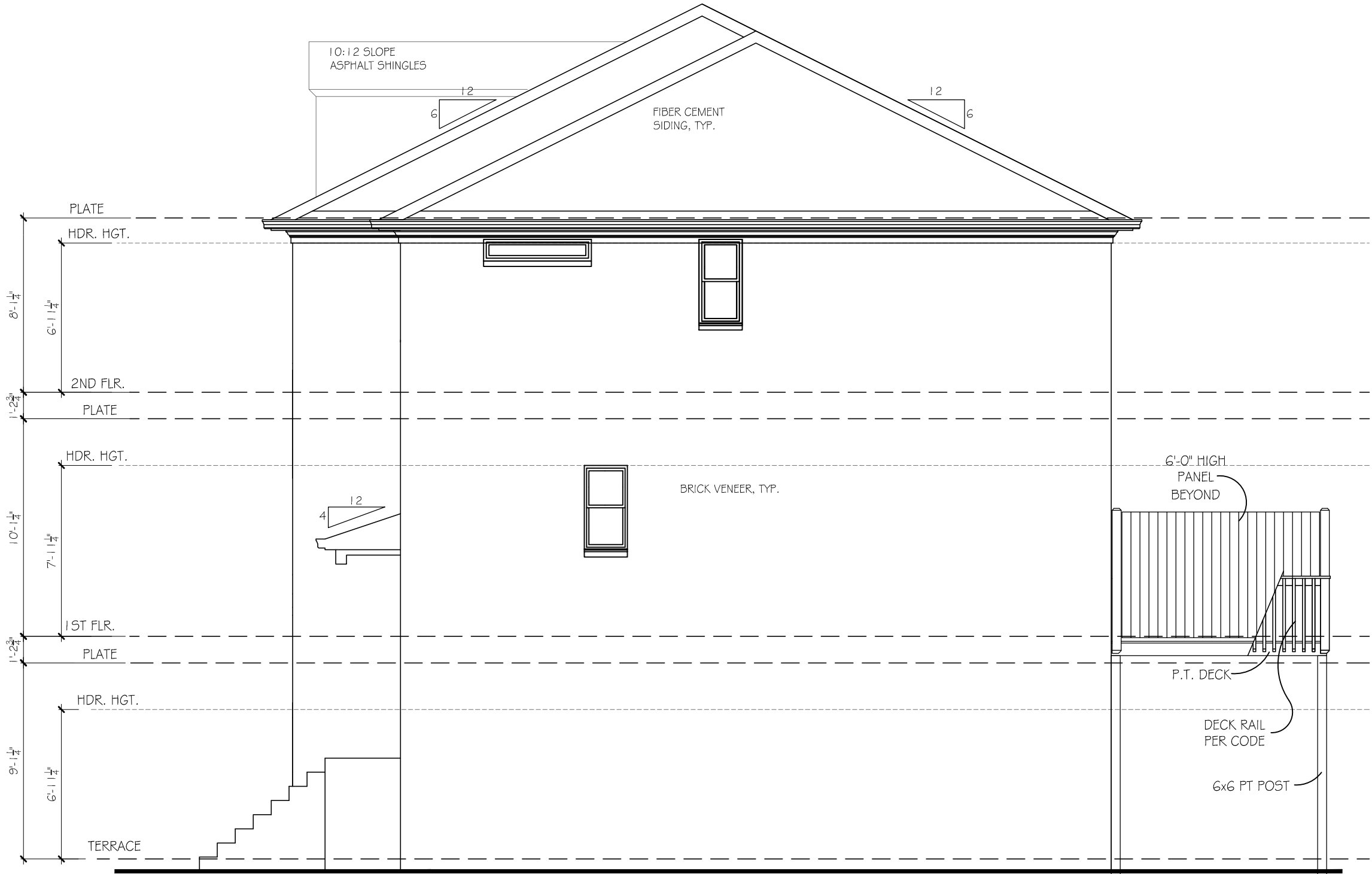
SCALE: 3/16"=1'-0"

SHEET NO.

A1.6/13.

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RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

#13.

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RIGHT ELEVATION (END)

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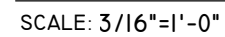
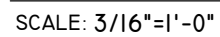
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SHEET NO.

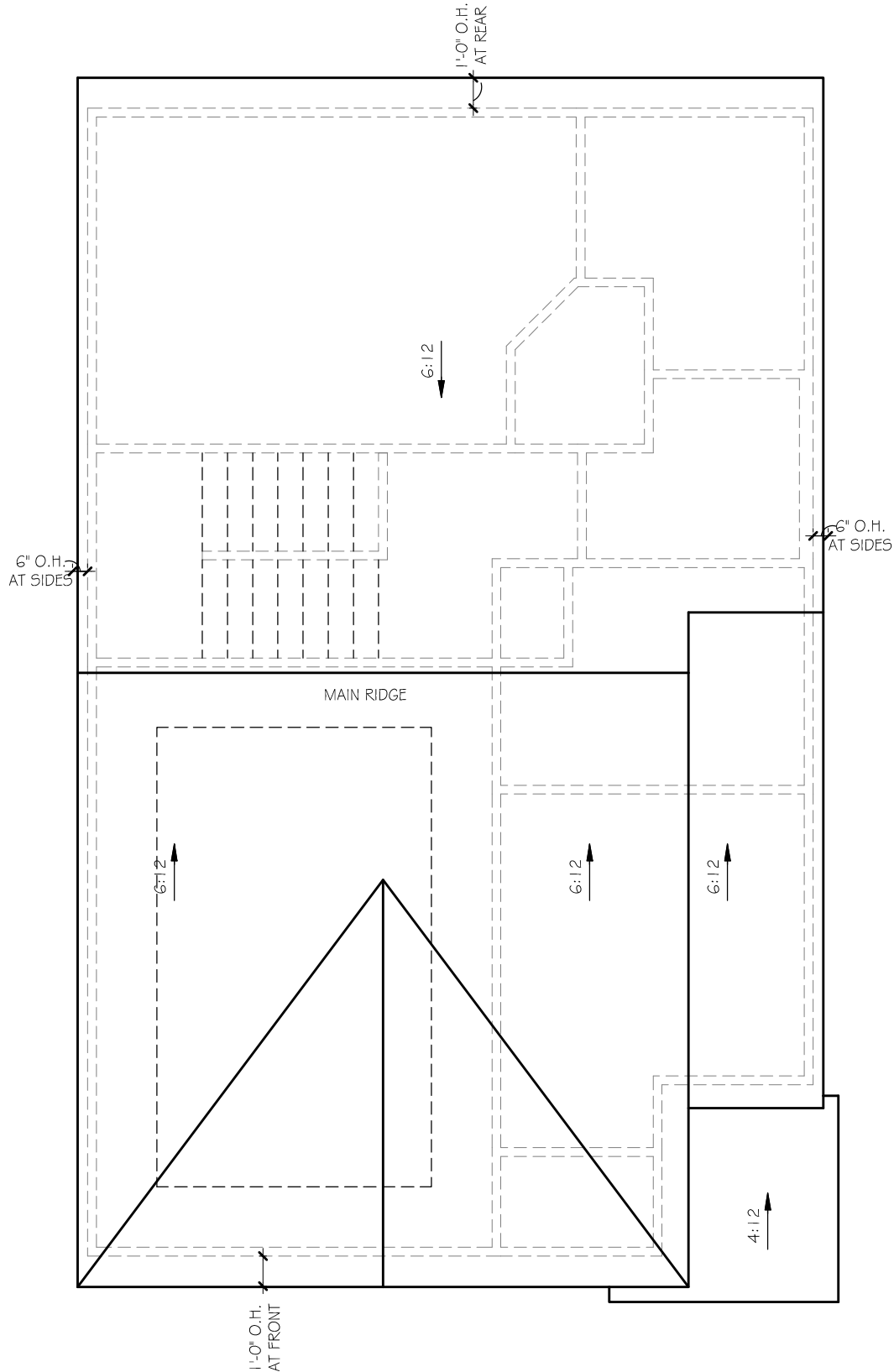
A1.6B

OF



OF





REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0" 3 BEDROOM OPTION

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ROOF AND REAR ELEV.

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SHEET NO.



REAR ELEVATION

SCALE: 3/16"=1'-0"






























REAR ELEVATION

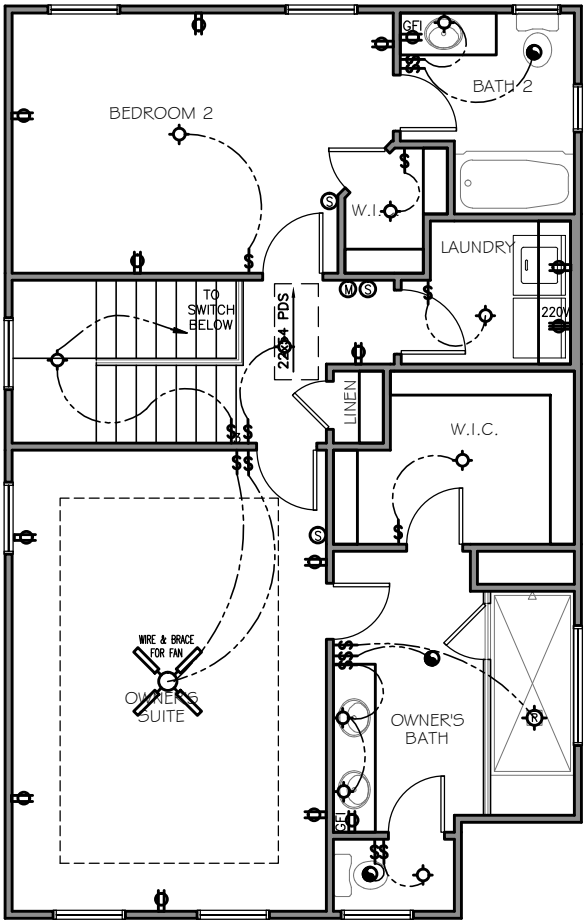
SCALE: 3/16"=1'-0" 3 BEDROOM OPT.

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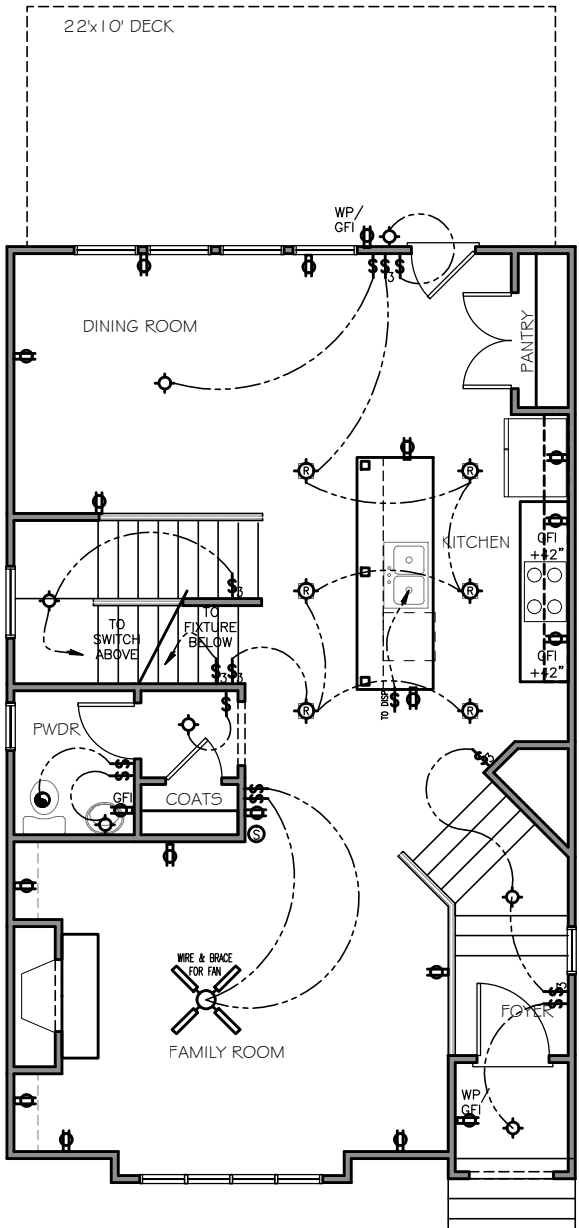
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED
AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED
AT +50" A.F.F. (U.N.O.)



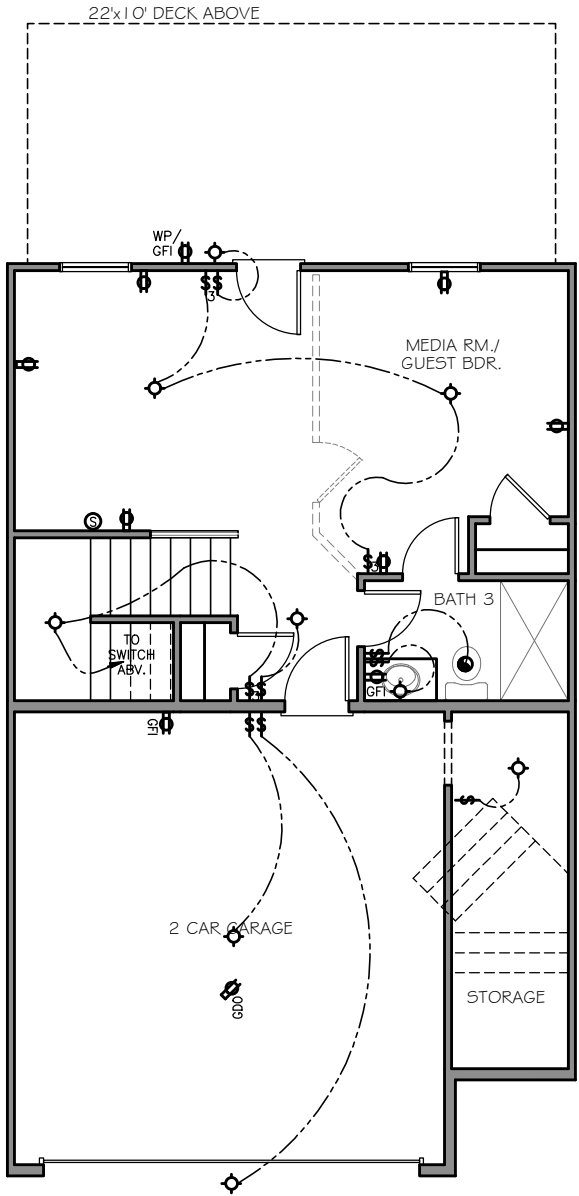
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

ACADIA
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ARLINGTON II A
ELECTRICAL PLAN

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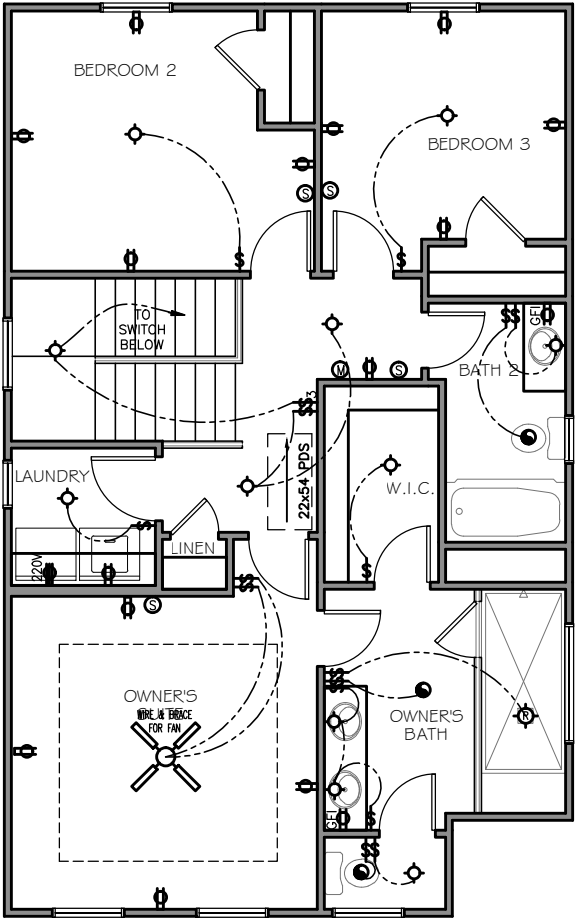
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PLOT DATE:	07/30/2015
DRAWN BY:	MHART
SCALE:	3/16"=1'-0"
SHEET NO.	

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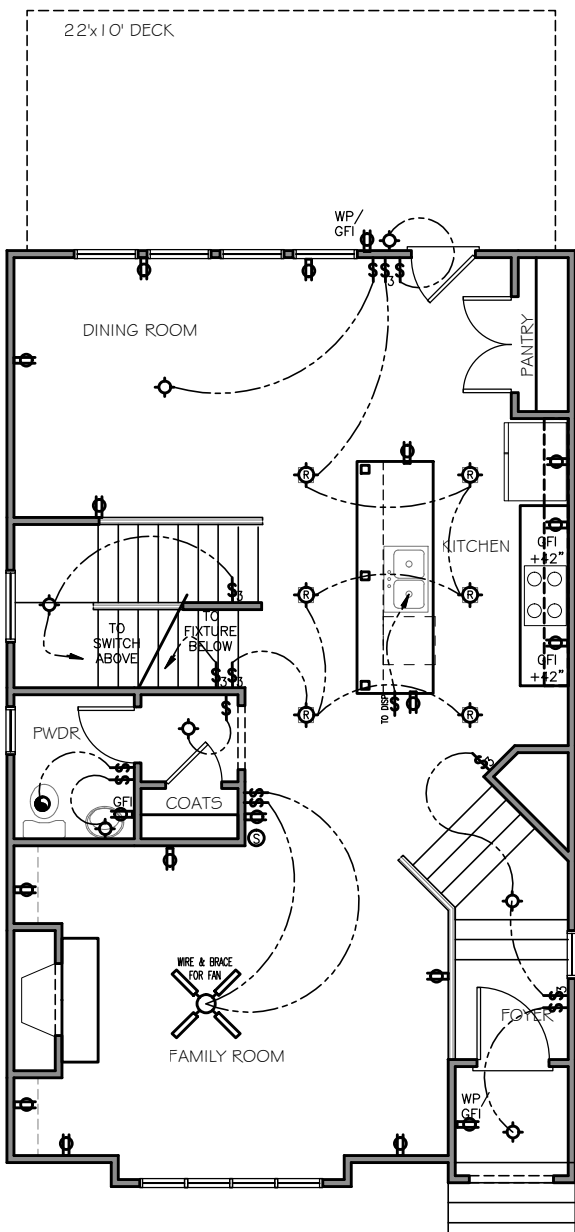
-174-

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

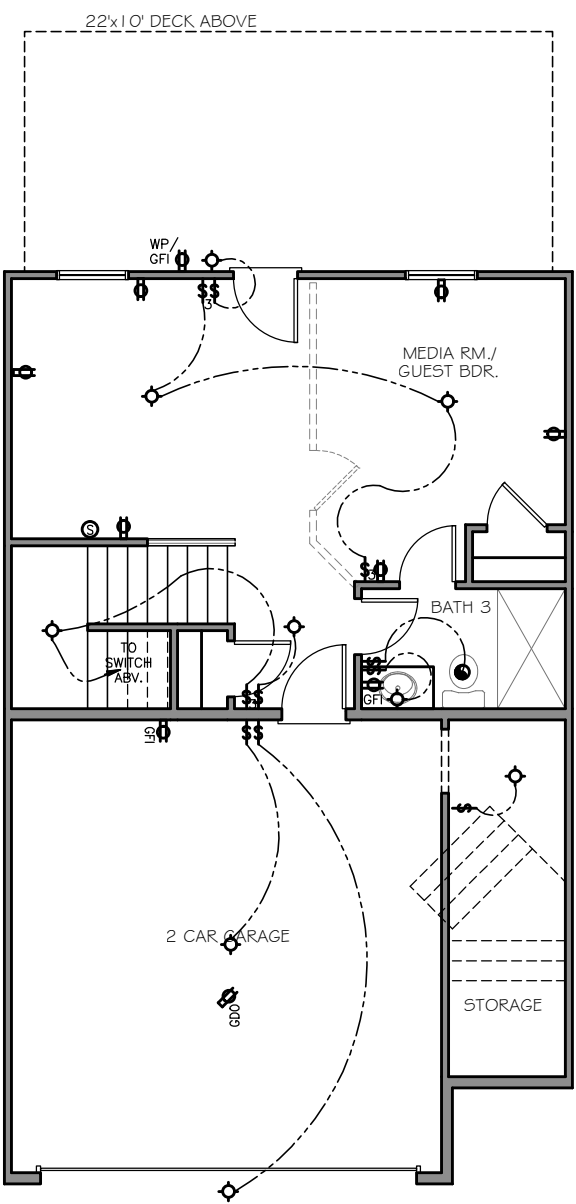
NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

#13.

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ARLINGTON II A

ELECTRICAL PLAN

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DRAWN BY: MHART

SCALE: 3/16"=1'-0"




























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E0.1A

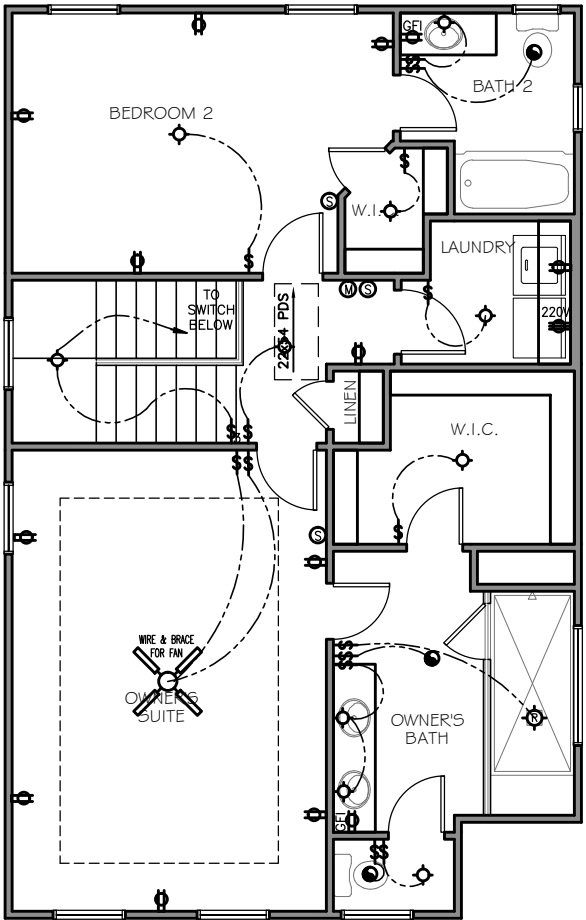
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-175-

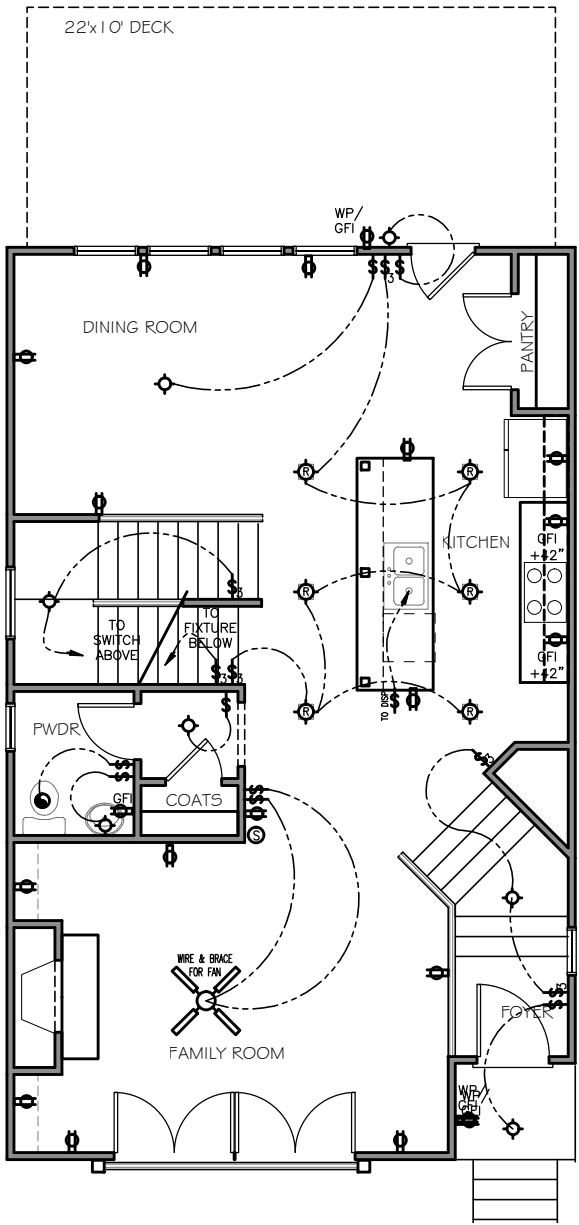
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



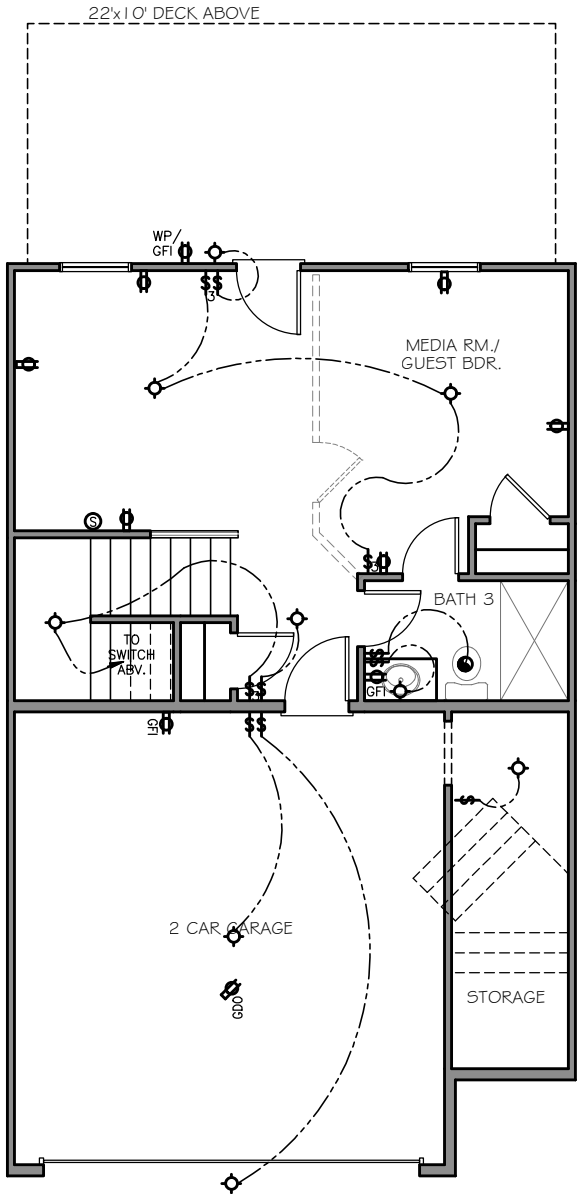
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

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ARLINGTON II B
ELECTRICAL PLAN

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PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"




























SHEET NO.

E0.01#13.

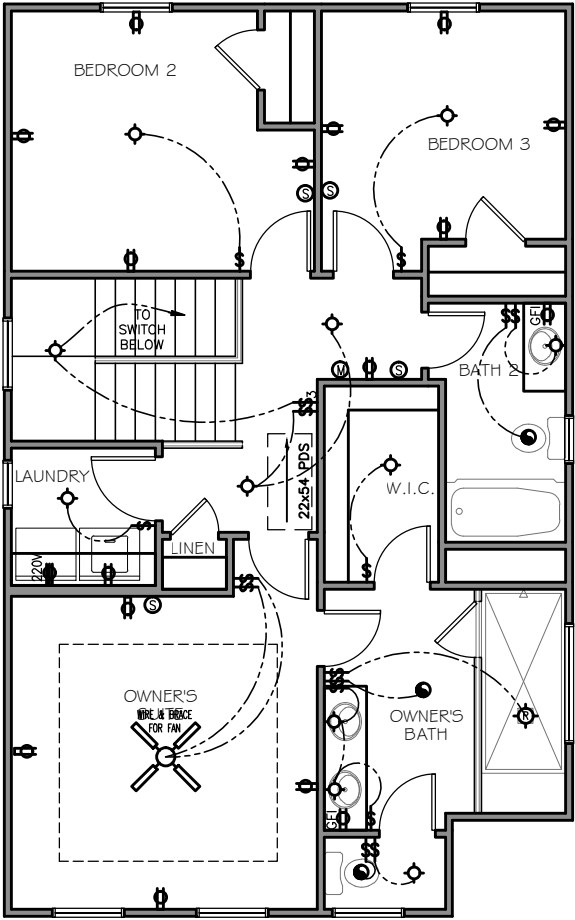
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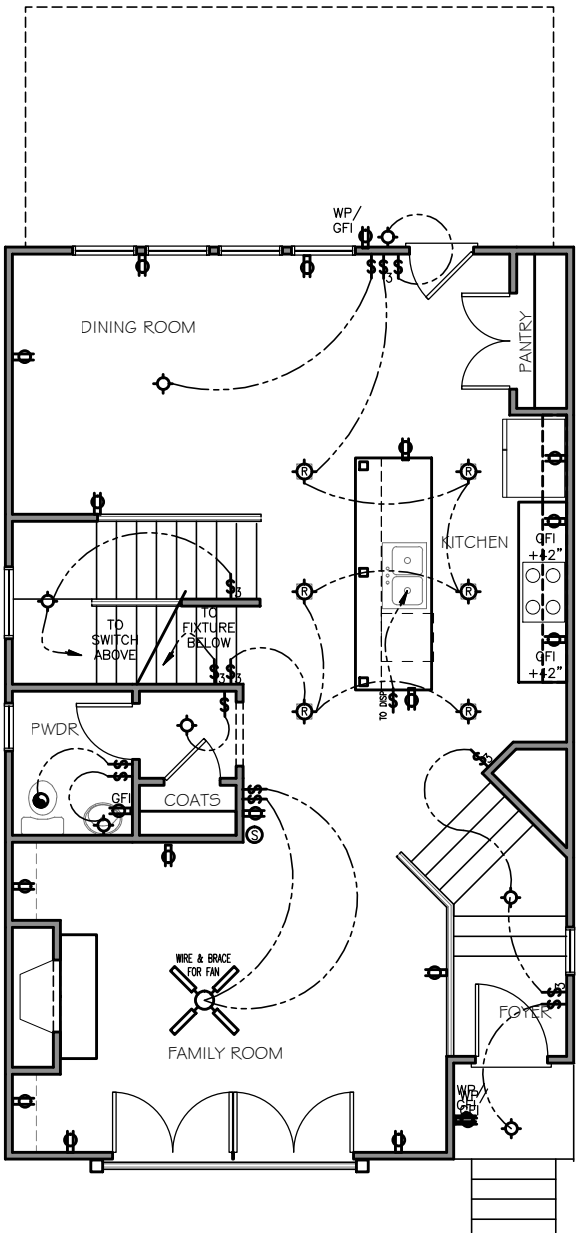
-176-

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

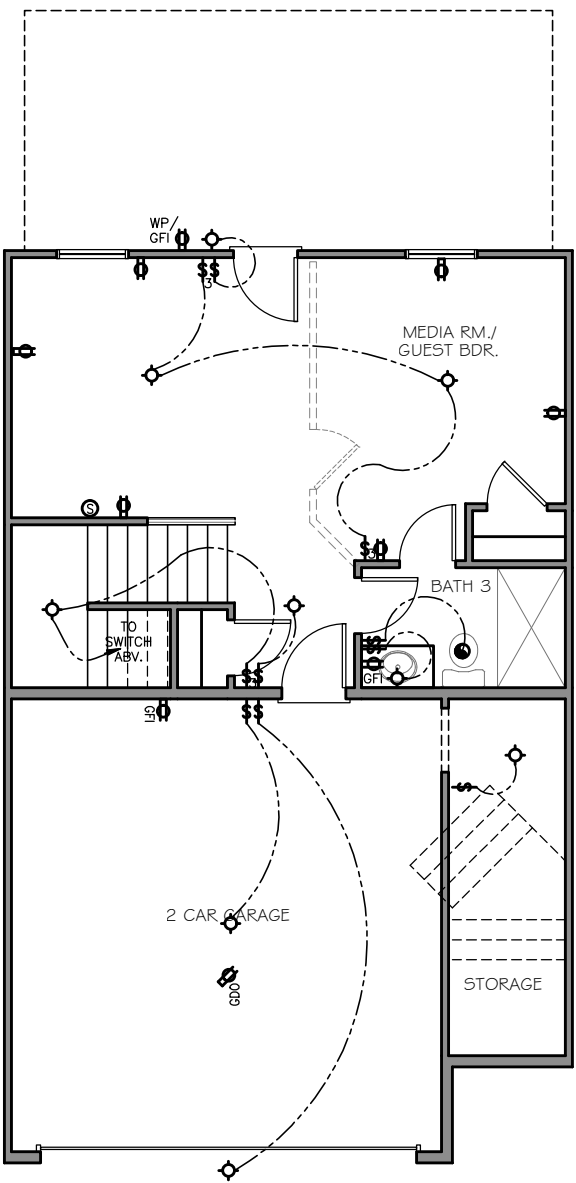
NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

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#13.

ARLINGTON II B

ELECTRICAL PLAN

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PLOT DATE: 07/30/2015

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SCALE: 3/16"=1'-0"

SHEET NO.

E0.1B

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THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "A"



THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "B"

NOTE: SEE ELEVATION FACADE PLAN FOR WINDOW SIZES & LOCATIONS, PORCH ROOF, LOCATION OF BRICK VENEER & BUILDING OFFSETS.

NOTA: VEA LAS ELEVACIONES DE LA FACHADA PARA TAMAÑO Y LOCALIZACION DE VENTANAS, PORCHES, PAREDES DE LADRILLO Y EL PERIMETRO DE LA CASA.

ARCHITECTURAL INDEX	
PAGE NO.	PAGE NAME
A0.0	COVER SHEET
A1.0	SLAB AND TERRACE PLAN
A1.1	1ST AND 2ND FLOOR PLAN
A1.1A	OPT. 2ND FLOOR PLAN
A1.2	FRONT ELEVATION A
A1.3	FRONT ELEVATION B
A1.4	LEFT ELEVATION (END UNIT)
A1.5	RIGHT ELEVATION (END UNIT)
A1.6	ROOF PLAN AND REAR ELEV.
E0.0	FIRST FLOOR ELECTRICAL PLAN
E0.1	SECOND FLOOR ELECTRICAL PLAN

DESIGN CRITERIA:

2012 International Residential Code with Georgia Amendments

Roof:
Live Load = 20 psf
Dead Load = 10 psf
Floors:
Live Load = 40 psf
Dead Load = 10 psf

Wind Speed = 90 mph
Max. Height = 35'-0"

AVERY II

Terrace - 419 sf
1st Floor - 887 sf
2nd Floor - 907 sf
Total - 2,213 sf
Garage - 455 sf

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AVERY II
COVER SHEET

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PLOT DATE: 07/30/2015

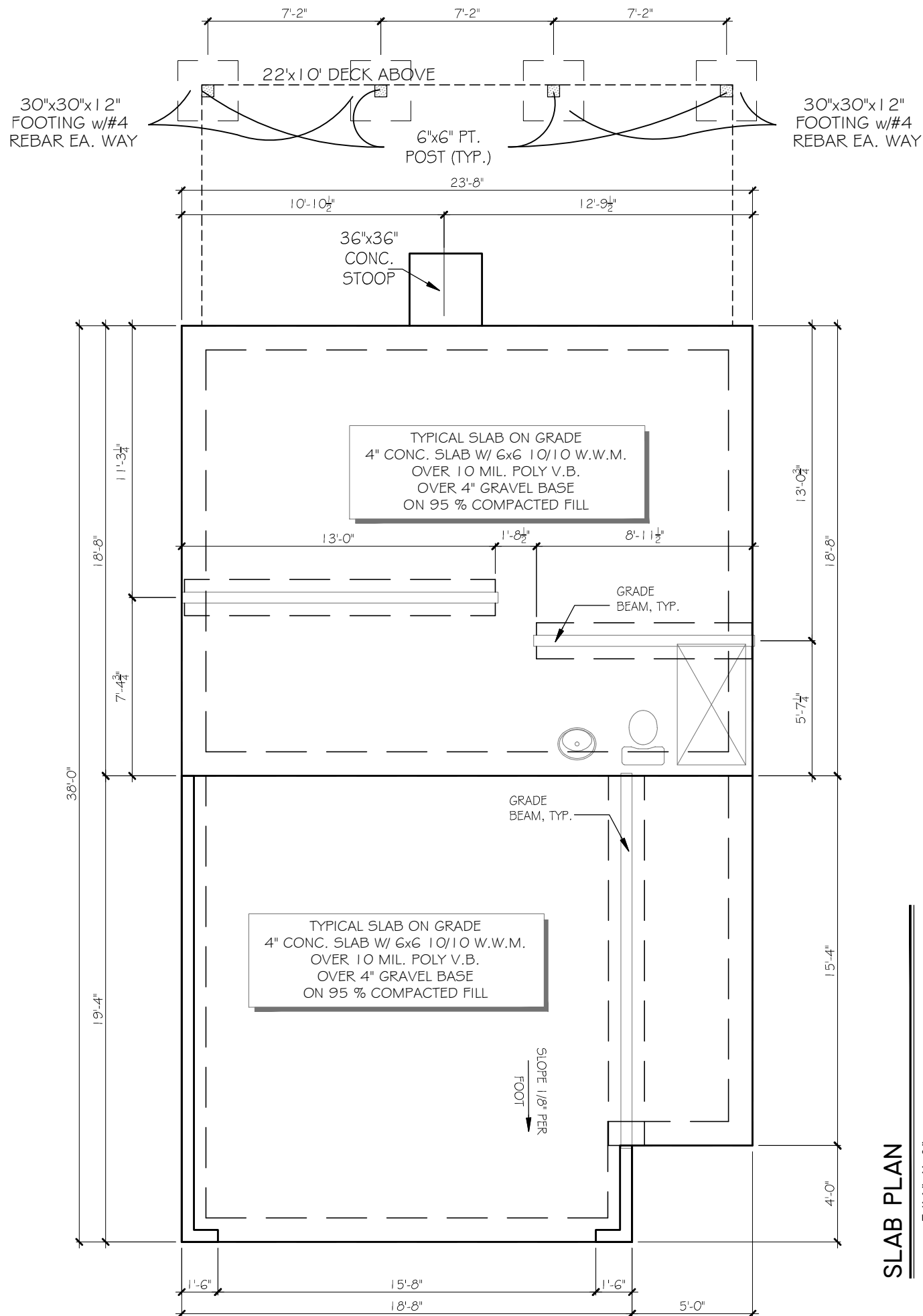
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SCALE: NONE

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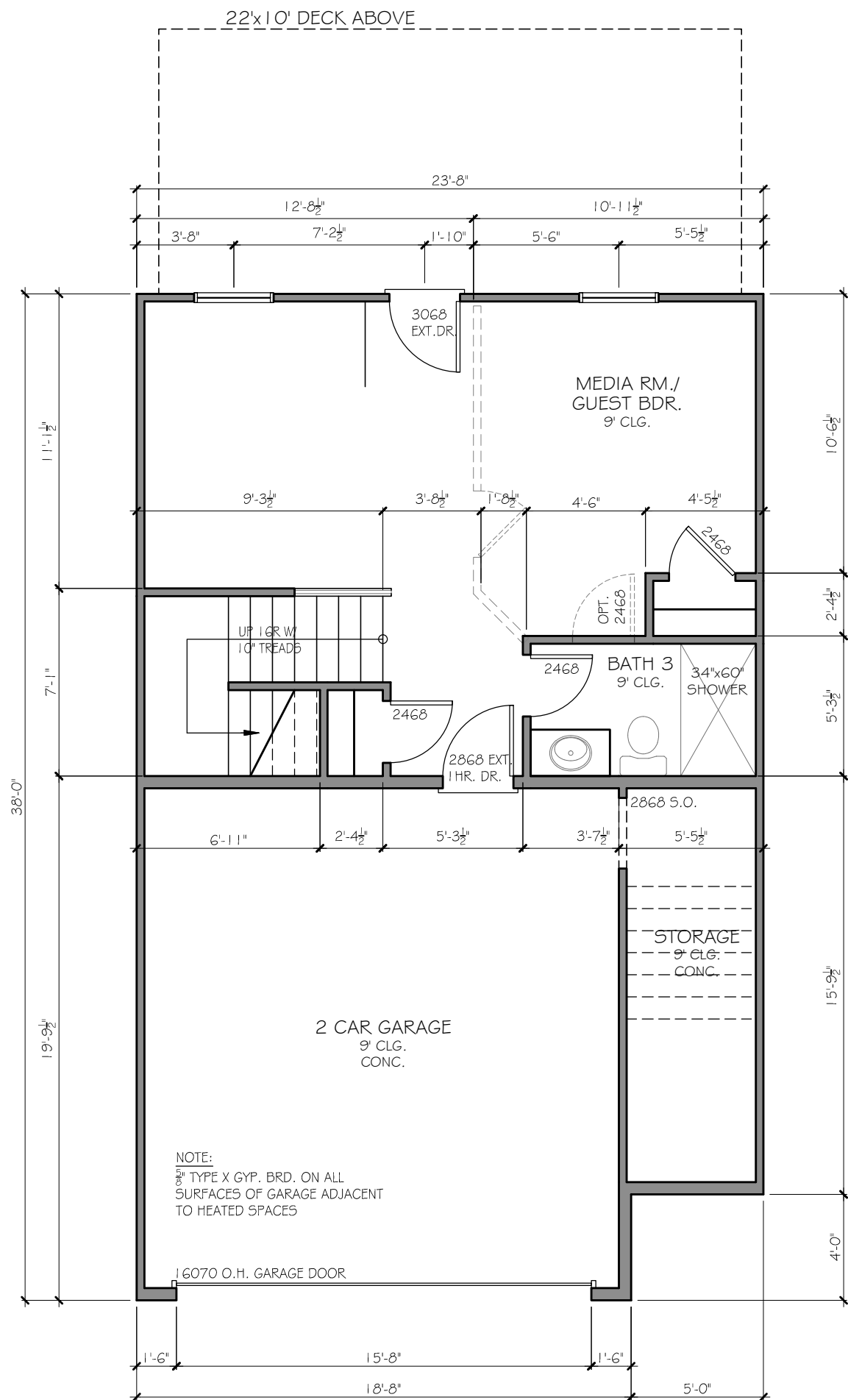
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OF



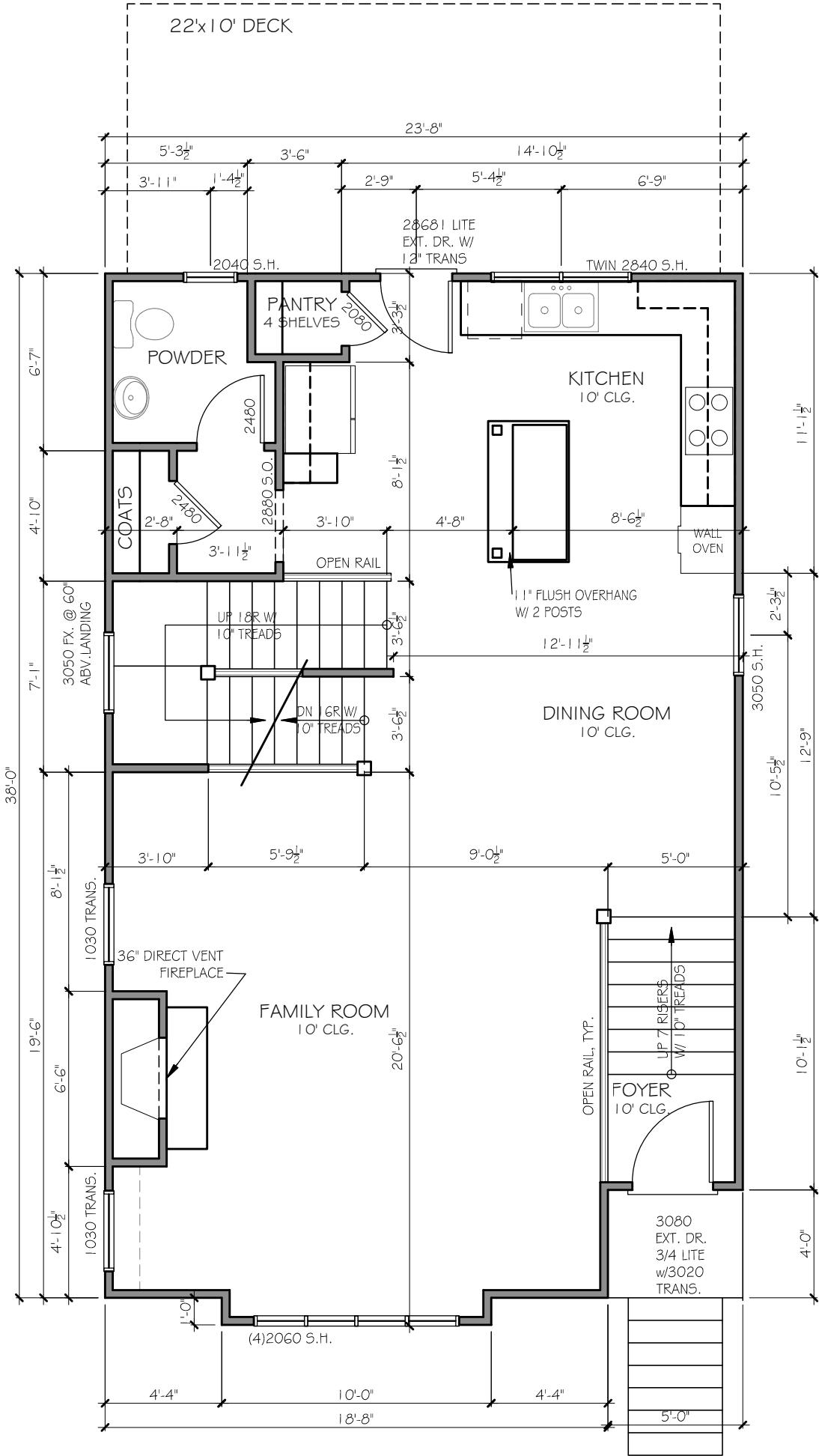
SLAB PLAN

SCALE: 3/16"=1'-0"



TERRACE PLAN

SCALE: 3/16"=1'-0"



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

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AVERY II A
1ST FLOOR PLAN

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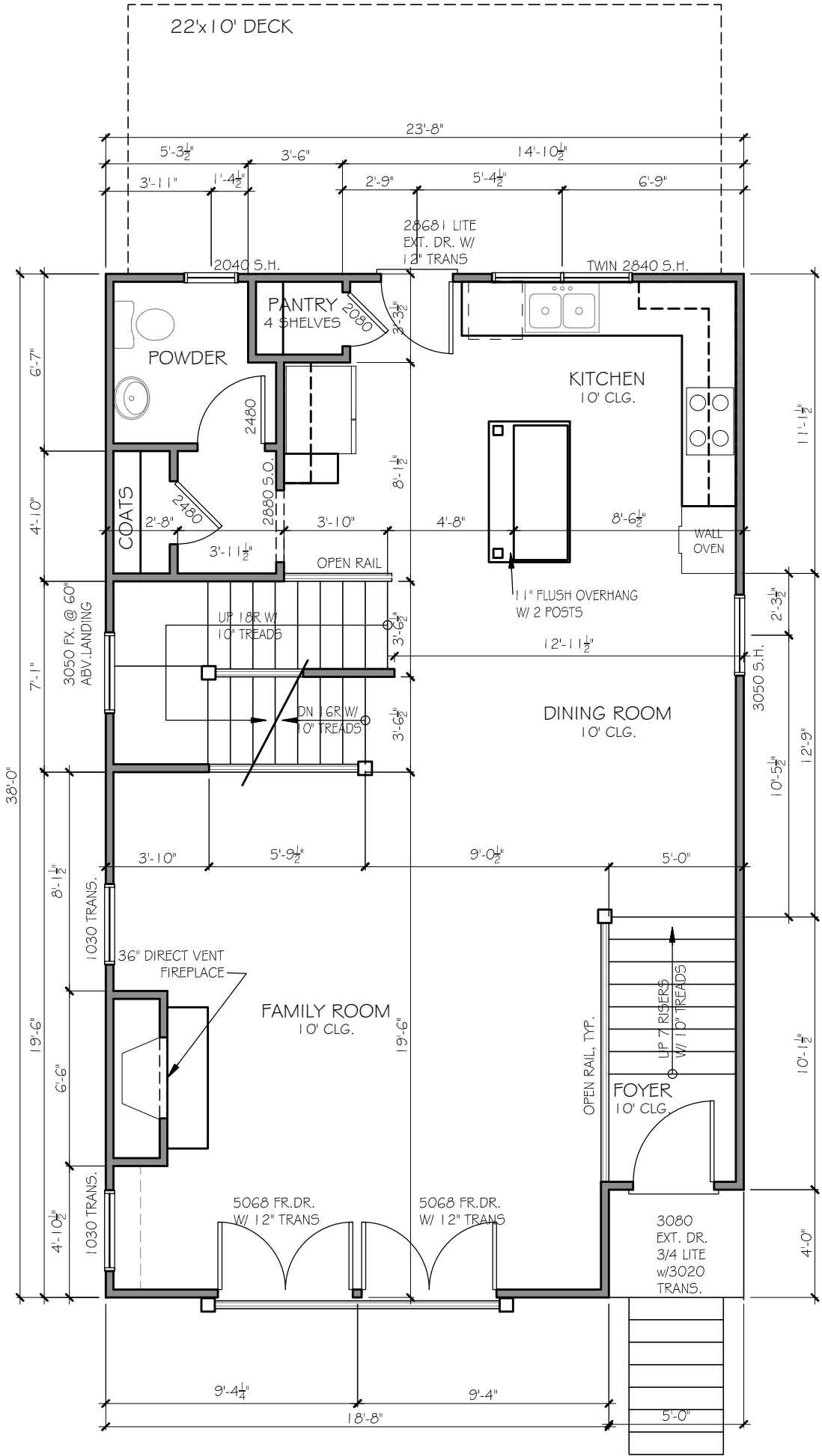
PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: NONE

SHEET NO.

A1.1A#13.



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

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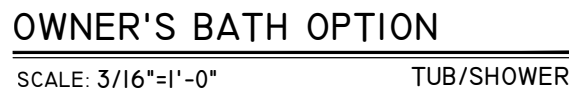
SCALE: NONE

SHEET NO.

A1.1B

AVERY II B
1ST FLOOR PLAN

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2ND FLOOR PLAN

[illegible]

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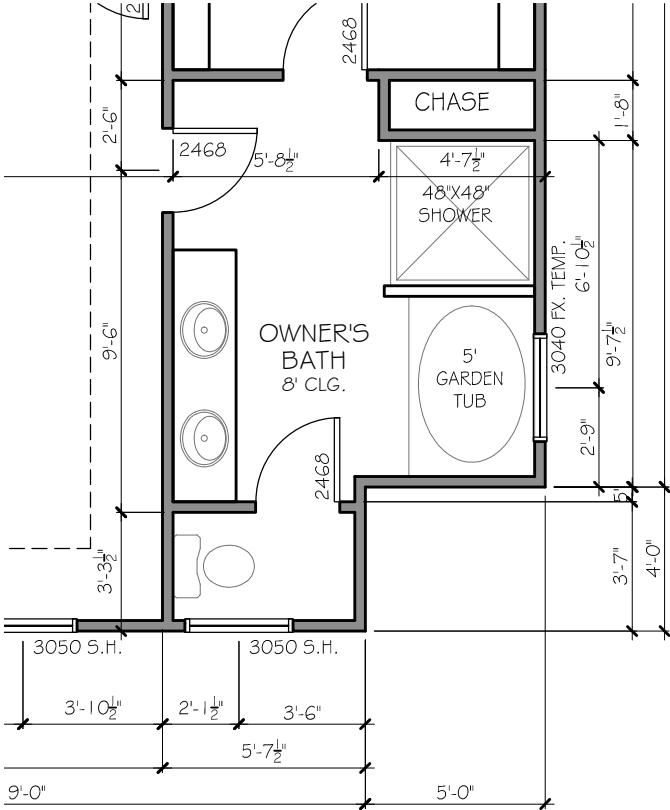
PLOT DATE: 07/30/2015

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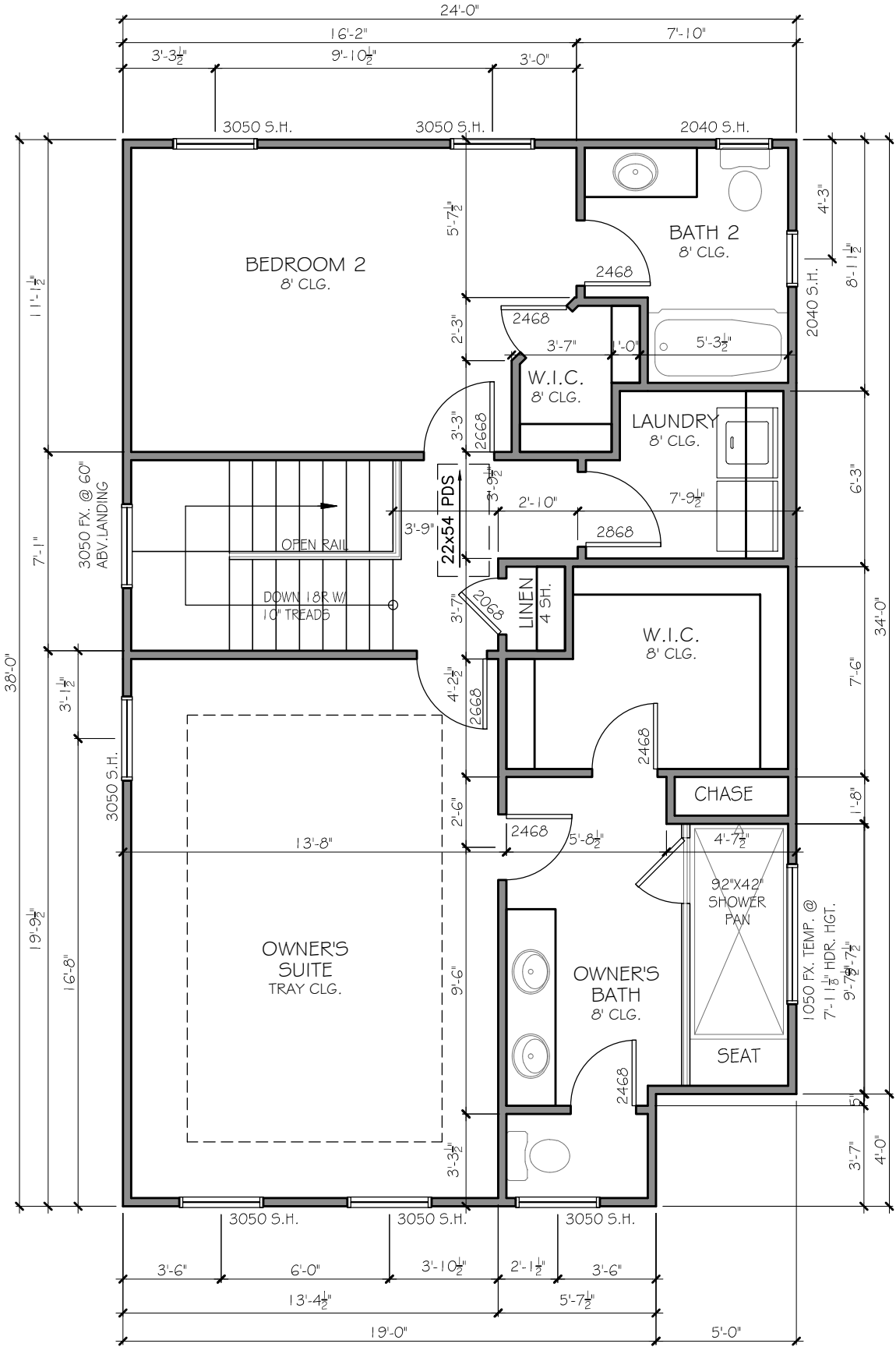
SHEET NO.

A1.2/#13.



OWNER'S BATH OPTION

SCALE: 3/16"=1'-0" TUB/SHOWER



2ND FLOOR PLAN

SCALE: 3/16"=1'-0"

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: NONE

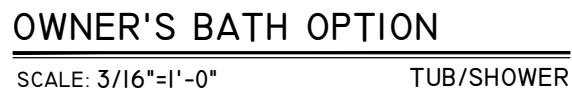
SHEET NO.

A1.2B

AVERY II B

2ND FLOOR PLAN

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[illegible]

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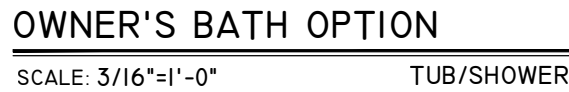
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DRAWN BY:
MHART

SCALE: **NONE**

SHEET NO.

A1.3/13.

[illegible]

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PLOT DATE: 07/30/2015

DRAWN BY: **MHART**

SCALE: **NONE**

SHEET NO.

A1.3B



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AVERY II

FRONT ELEVATION A

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REV. NO.	REV. DATE

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

SHEET NO.

A1.4/13.



AVERY II

FRONT ELEVATION B

REVISION CHANGES:		
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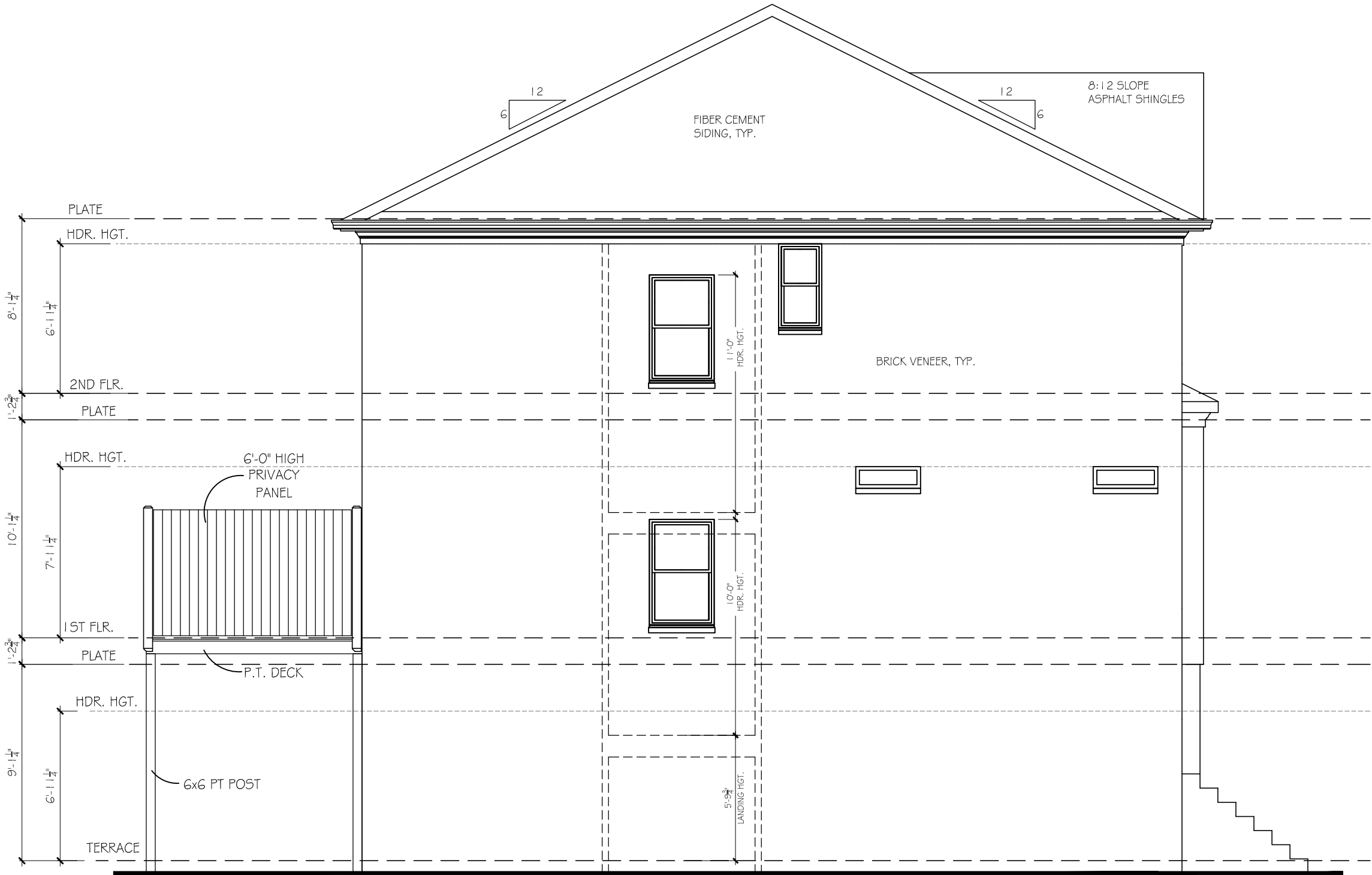
PLOT DATE: 07/30/2015

DRAWN BY:
MHART

SCALE:
3/16"=1'-0"

SHEET NO.

A1.4B



LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

ACADIA
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2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

AVERY II A
LEFT ELEVATION (END)

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PLOT DATE: 07/30/2015

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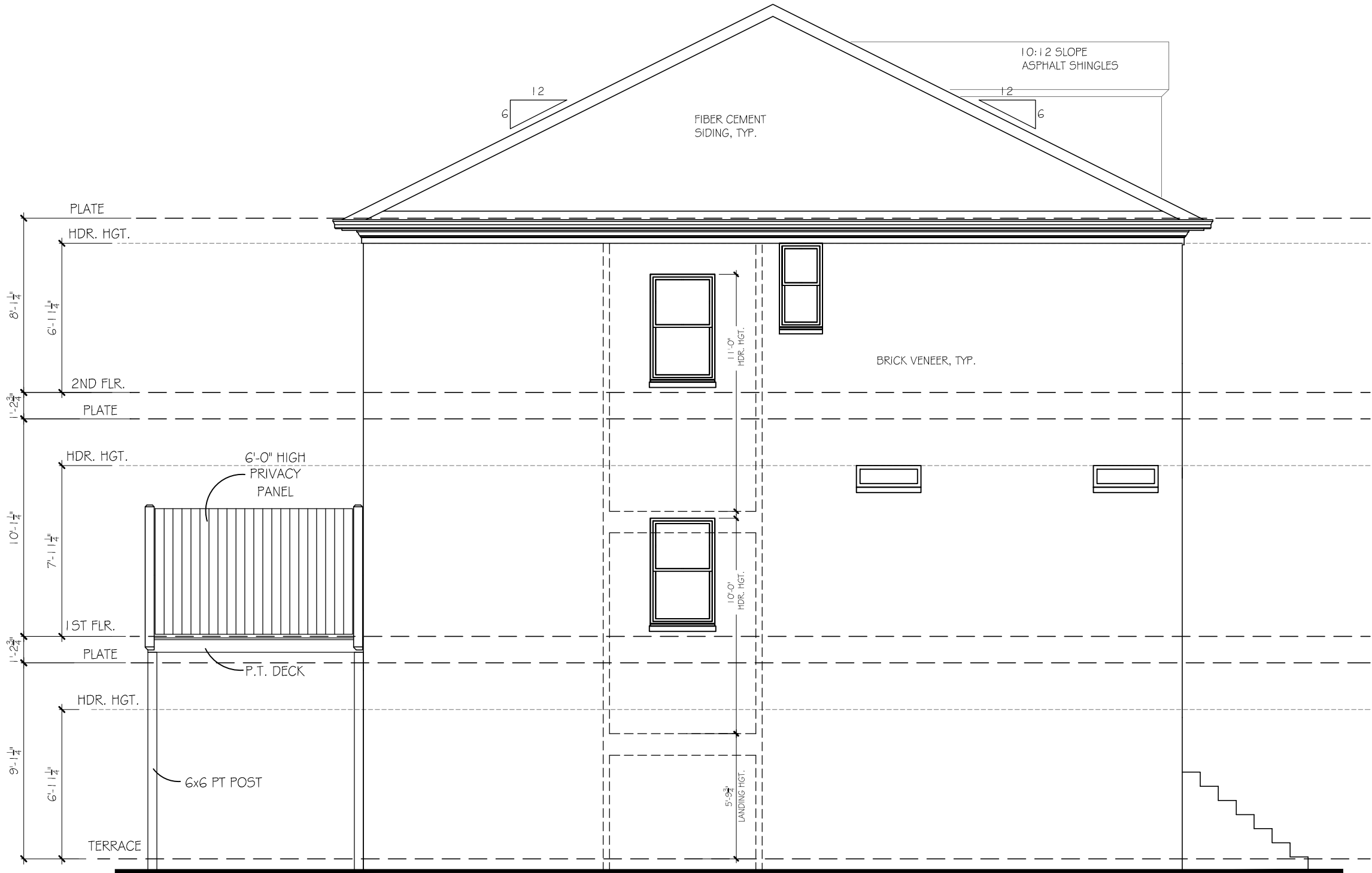
SCALE:
3/16"=1'-0"

SHEET NO.

A1.5#13.

OF

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LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

AVERY II B
LEFT ELEVATION (END)

REVISION CHANGES:	
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PLOT DATE: 07/30/2015

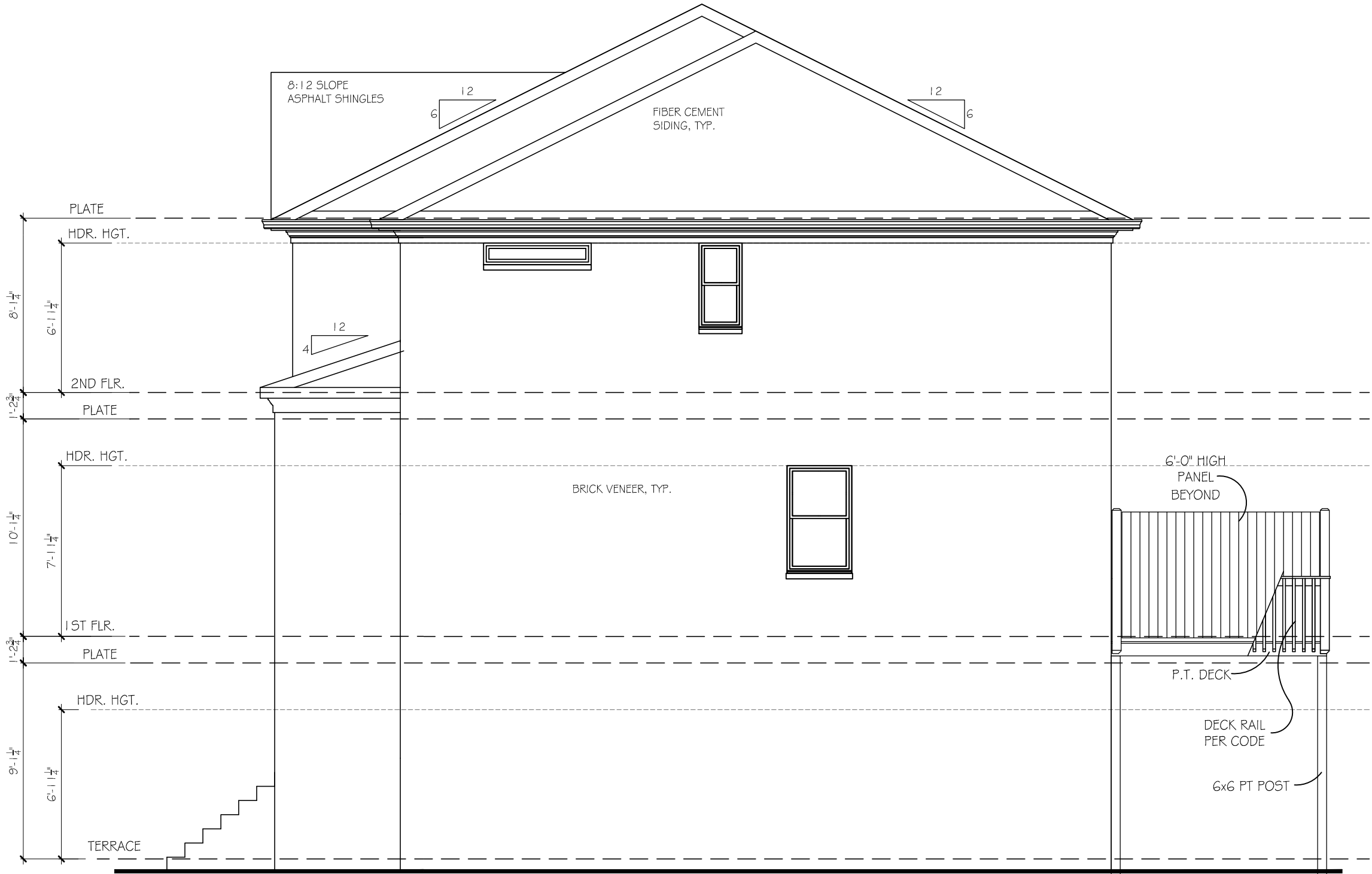
DRAWN BY: MHART

SCALE: 3/16"=1'-0"

SHEET NO.

A1.5B

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RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

AVERY II A
RIGHT ELEVATION (END)

REVISION CHANGES:		
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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY:
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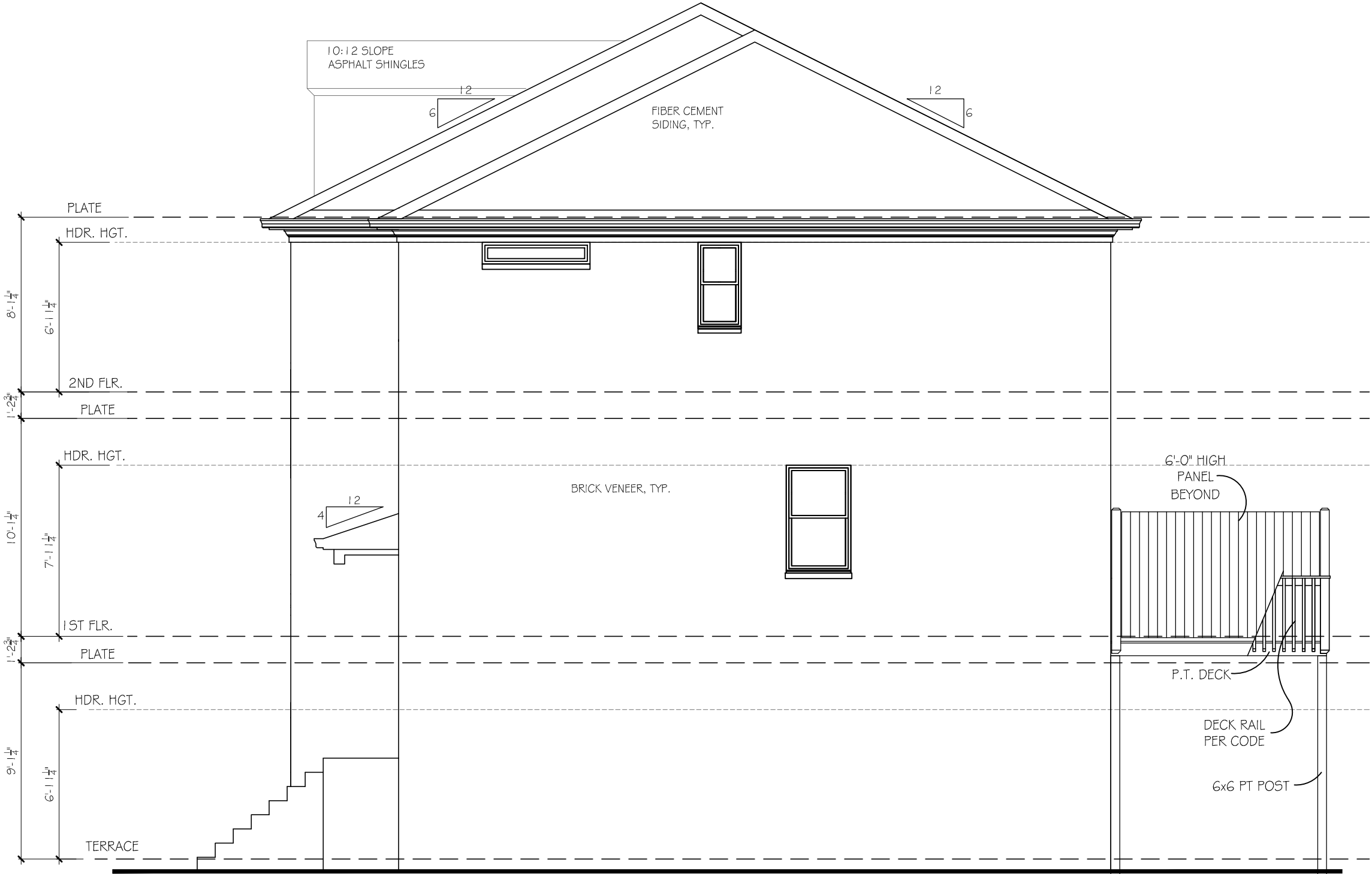
SCALE:
3/16"=1'-0"

SHEET NO.

A1.6#13.

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-190-



RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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AVERY II B

RIGHT ELEVATION (END)

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

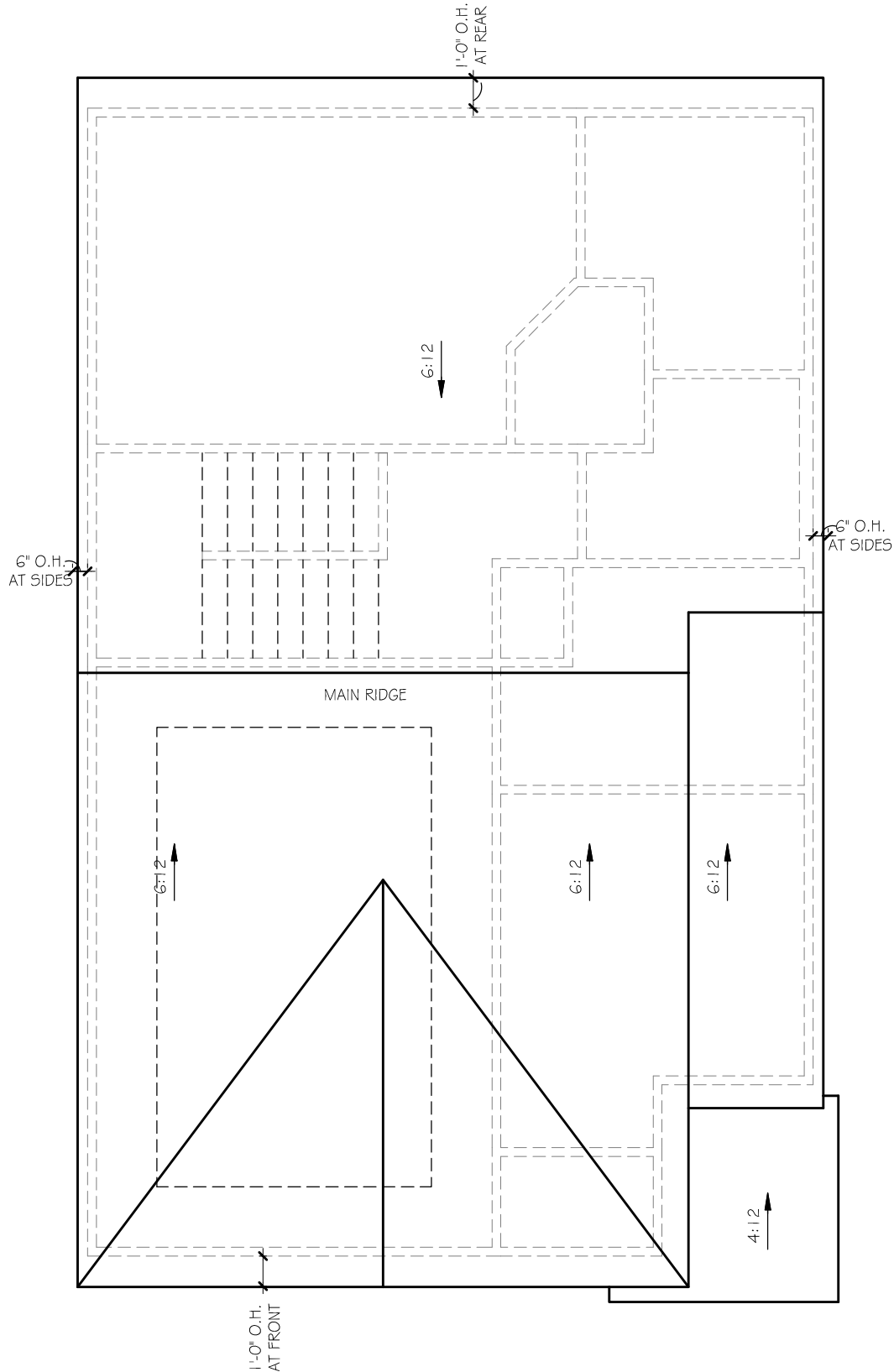
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SCALE: 3/16"=1'-0"

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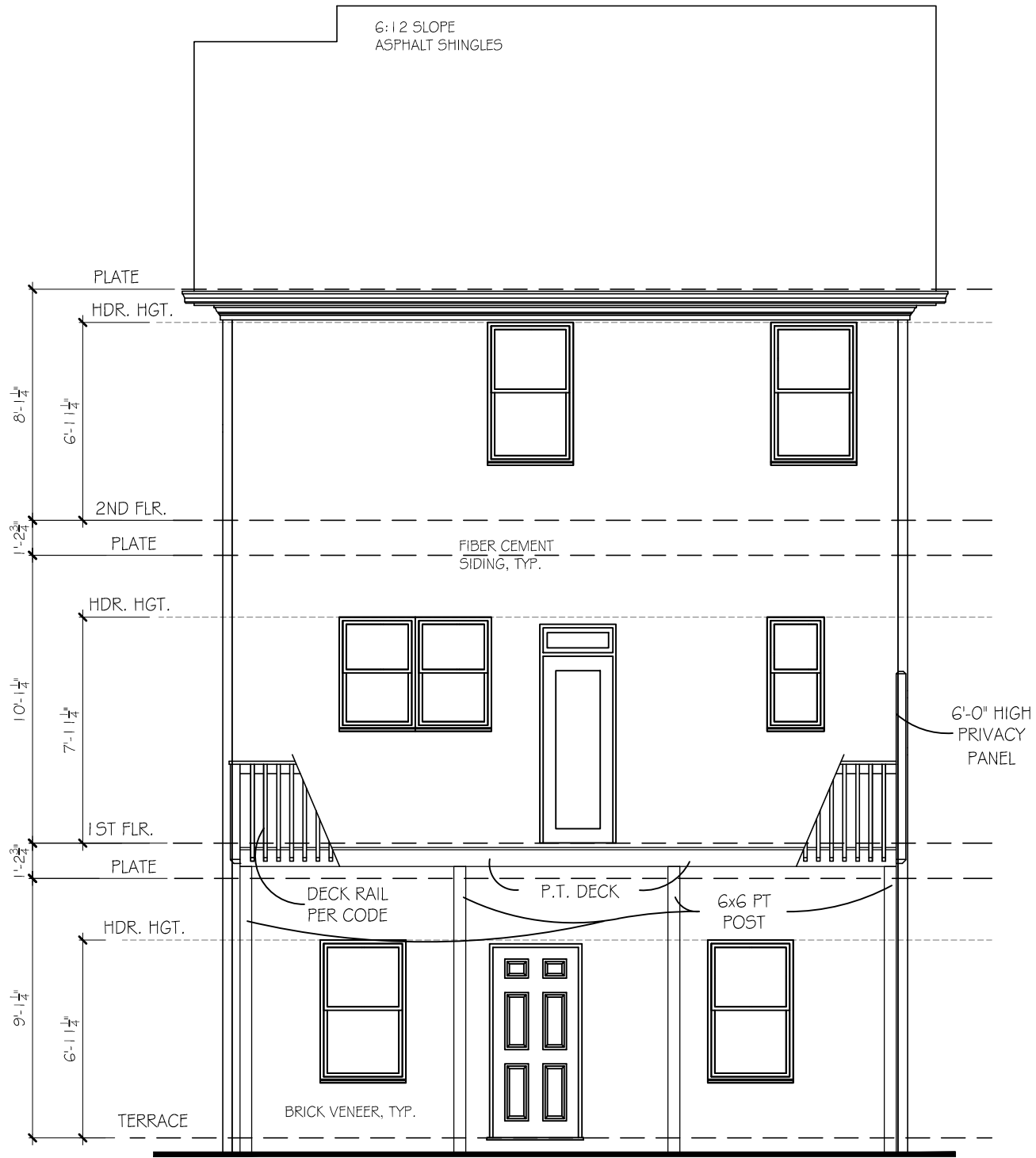
A1.6B

OF



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

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HOMES & NEIGHBORHOODS
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AVERY II A

ROOF AND REAR ELEV.

REVISION CHANGES:	
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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

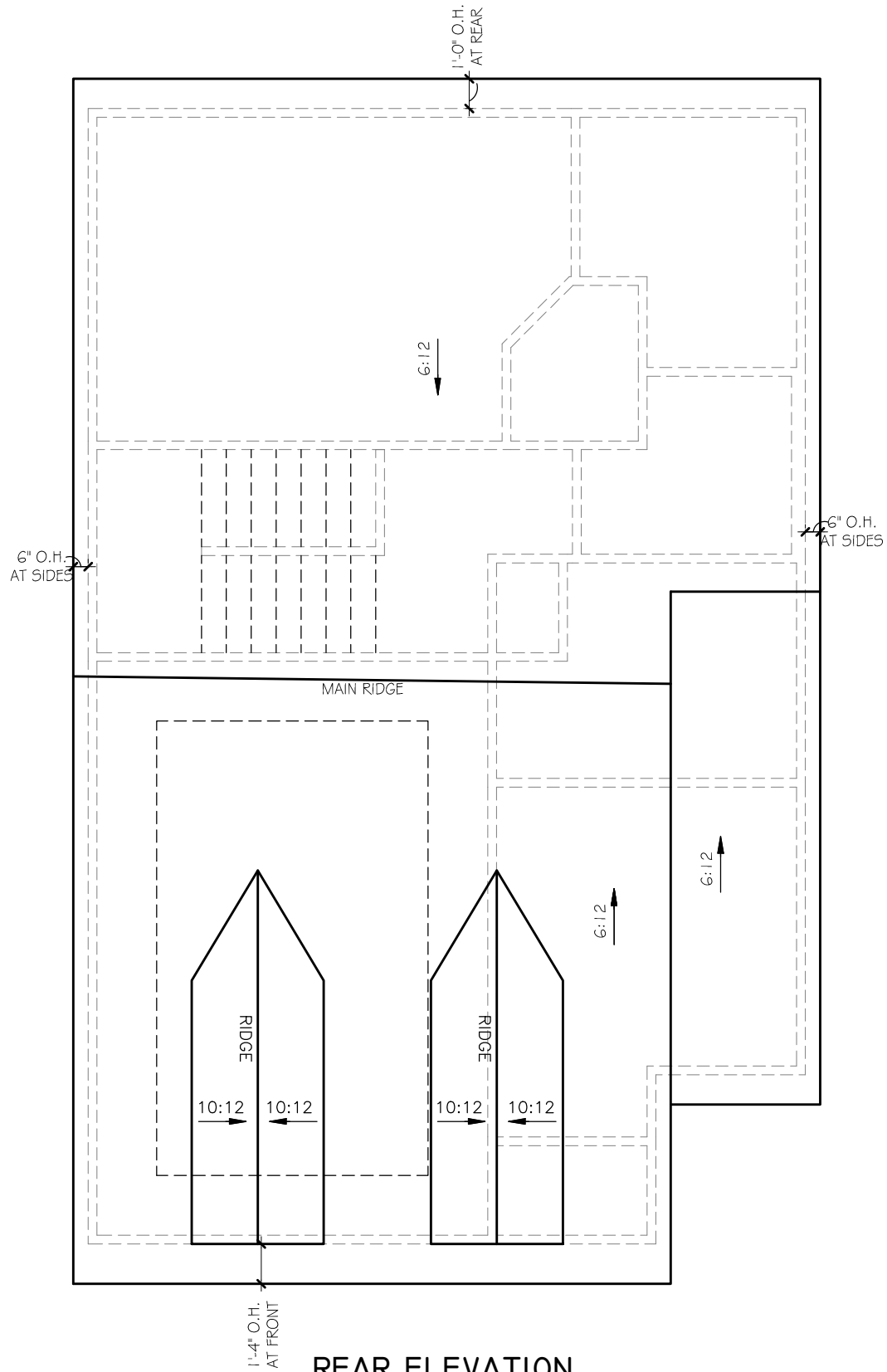
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SCALE: 3/16"=1'-0"

SHEET NO.

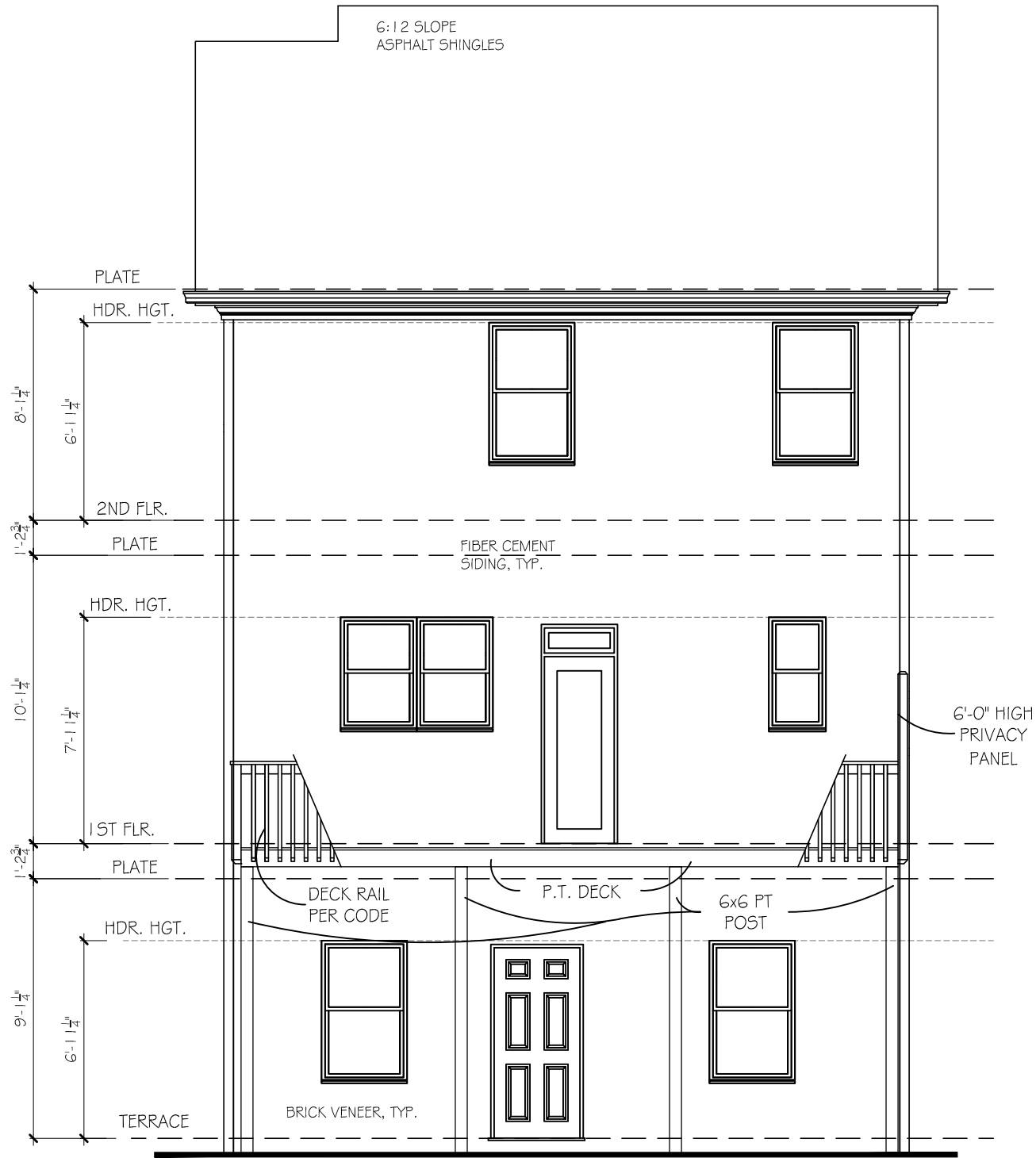
A1.7/13.13

OF



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

REVISION CHANGES:		
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PLOT DATE: 07/30/2015

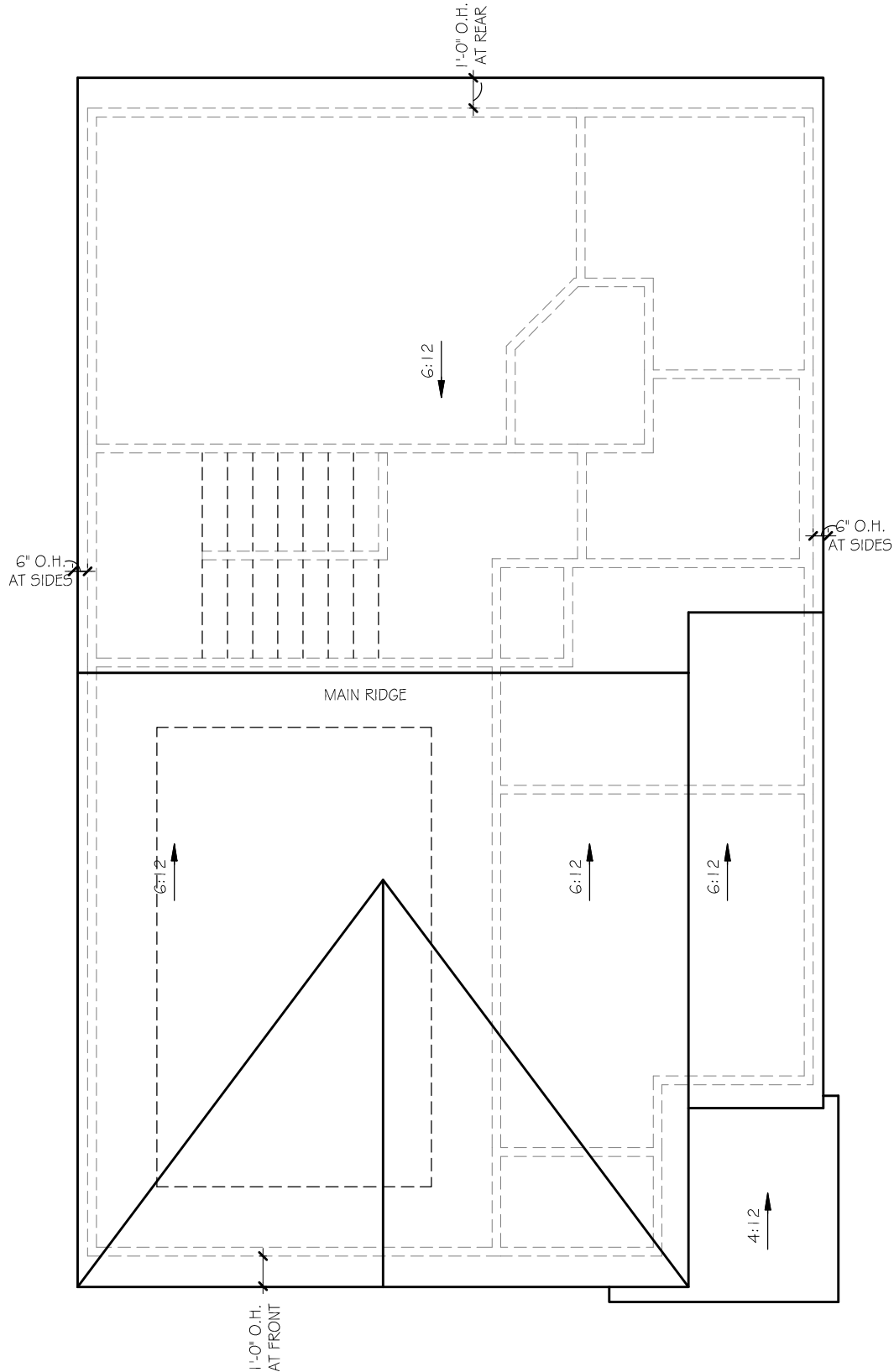
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SCALE: 3/16"=1'-0"

SHEET NO.

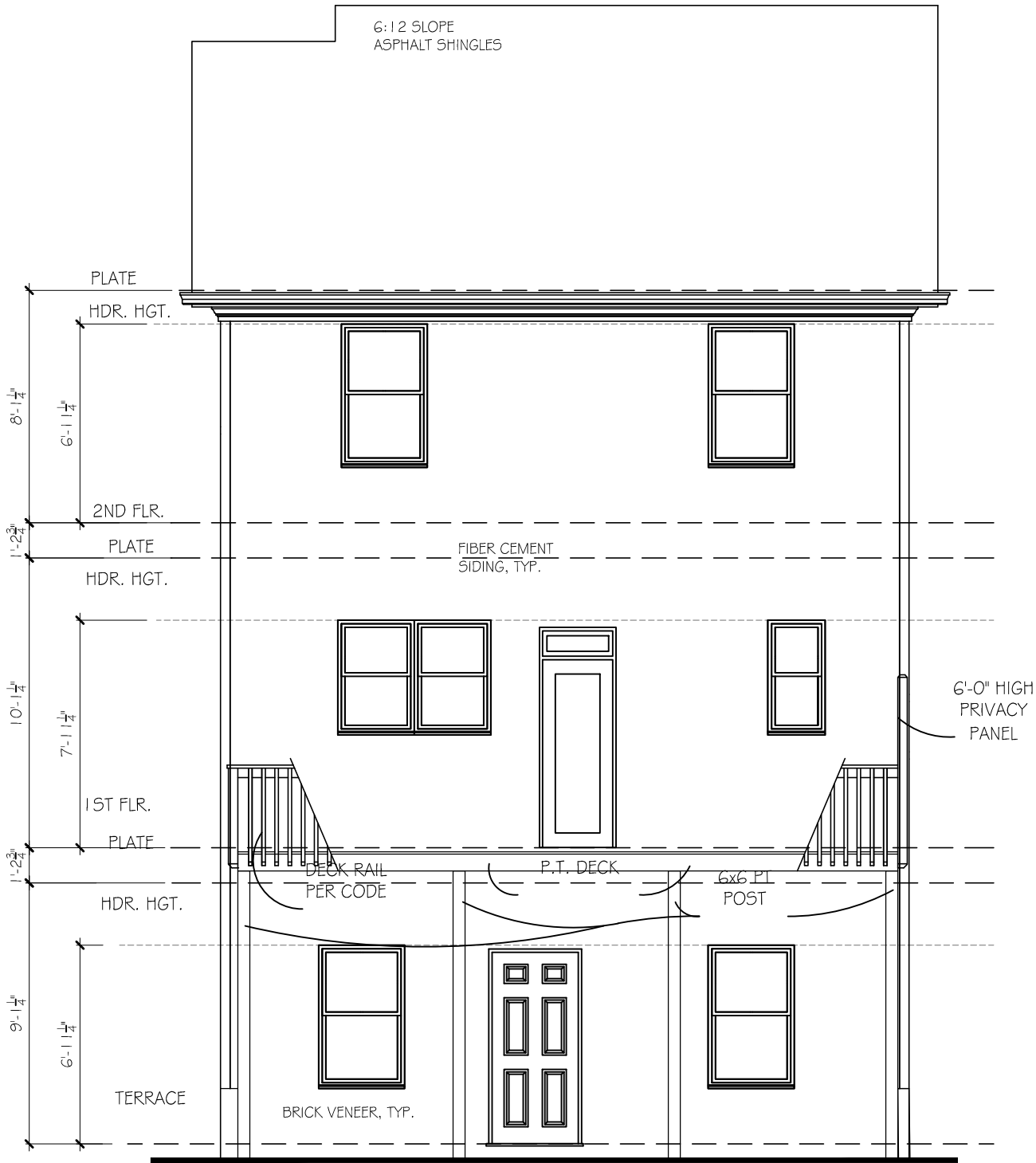
A1.7B

OF



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

3 BEDROOM OPTION

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

SHEET NO.

A1.8/13.1



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0" 3 BEDROOM OPT.

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

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SCALE: 3/16"=1'-0"

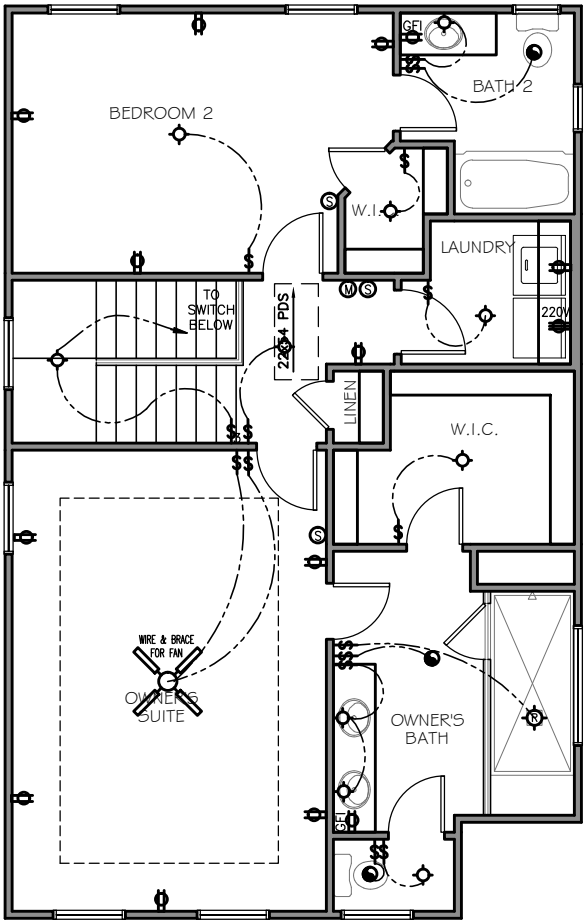
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A1.8B

OF

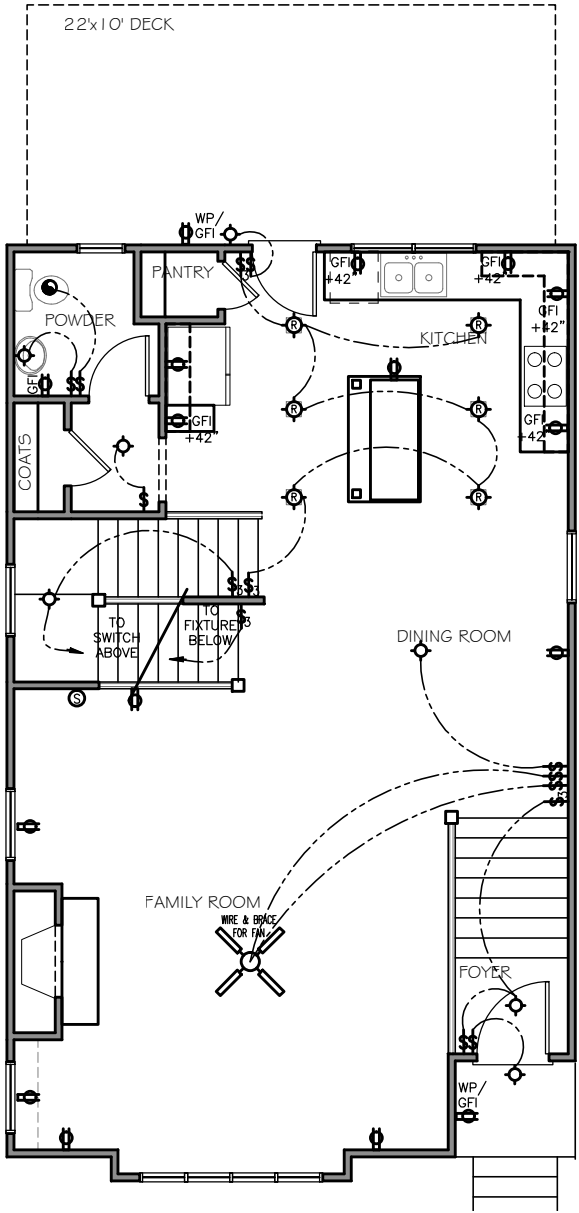
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



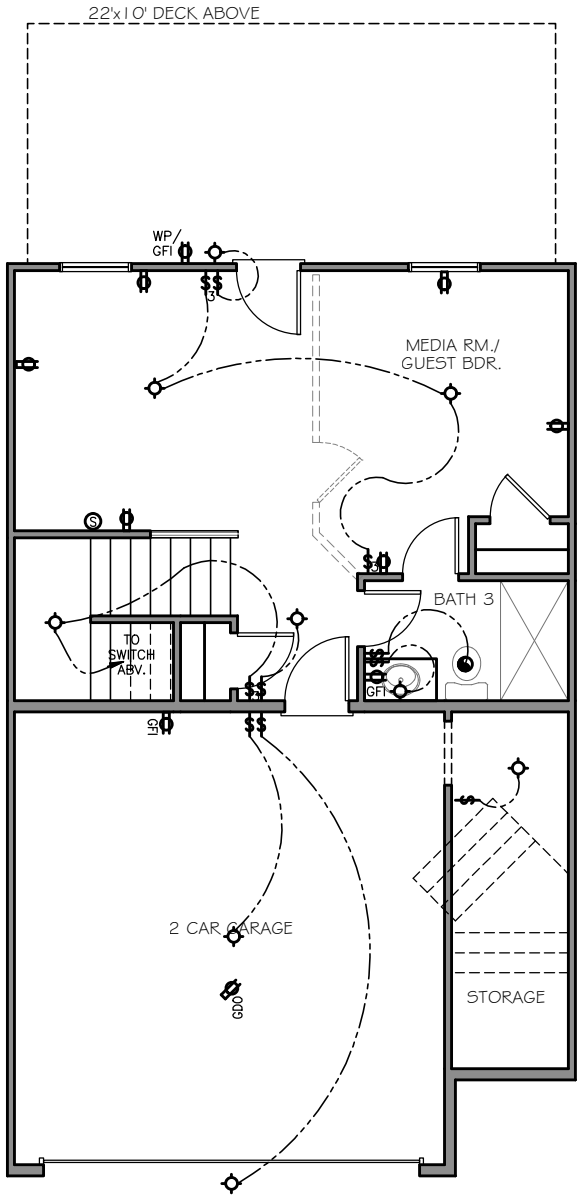
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

AVERY II A
ELECTRICAL PLAN

REVISION CHANGES:	
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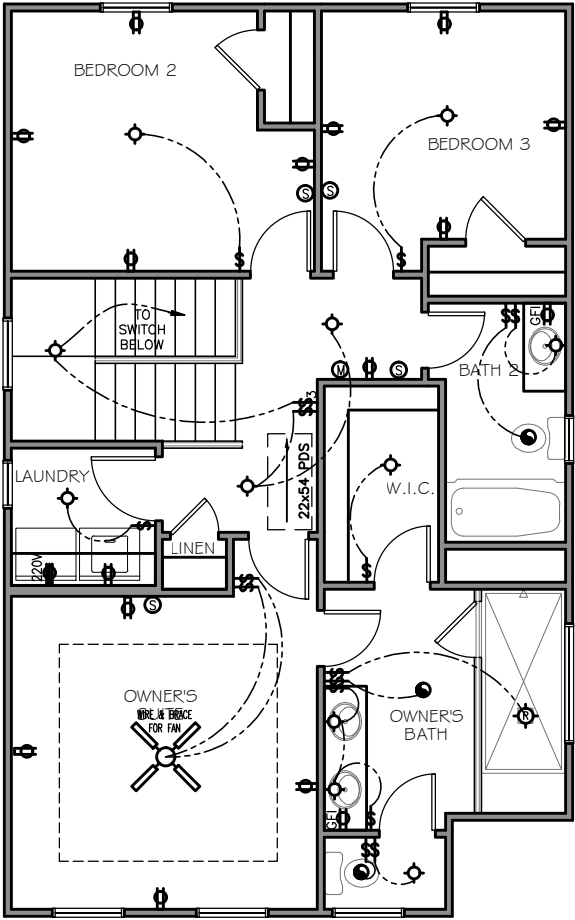
SCALE: 3/16"=1'-0"

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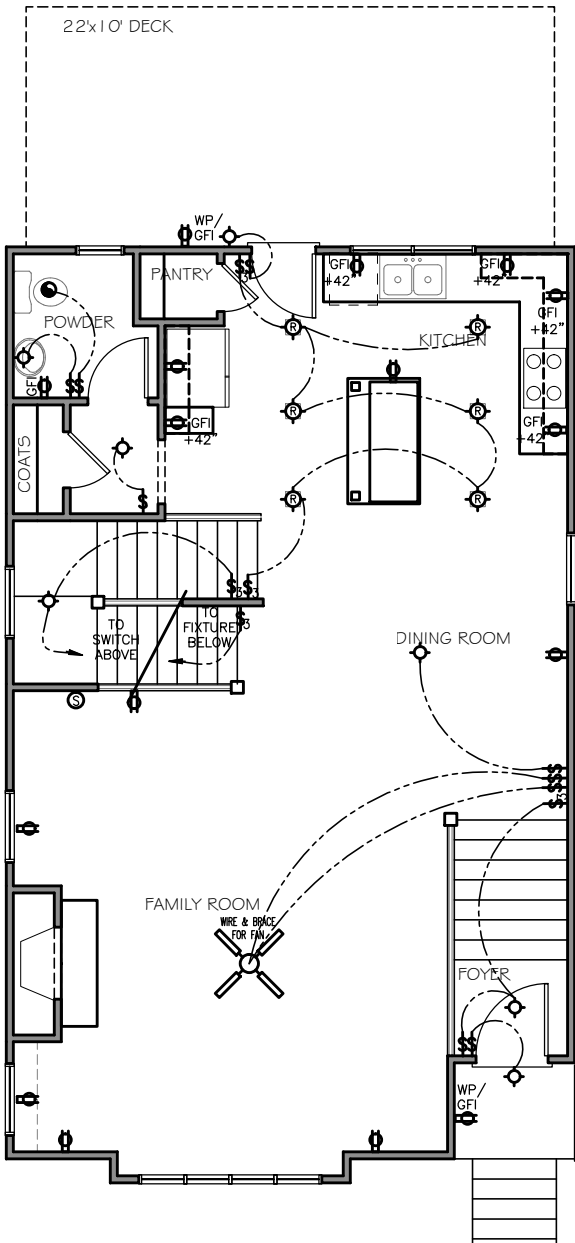
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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

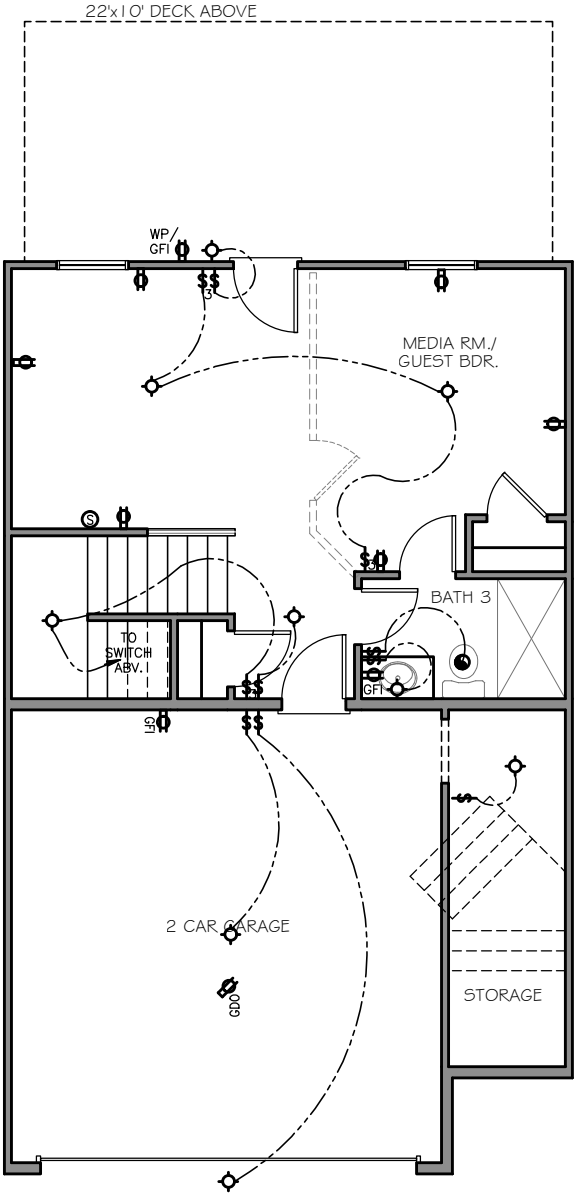
NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

#13.

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

AVERY II A

ELECTRICAL PLAN

REVISION CHANGES:

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SUBDIVISION COLLECTION:

PLOT DATE:

07/30/2015

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MHART

SCALE:

3/16"=1'-0"

SHEET NO.

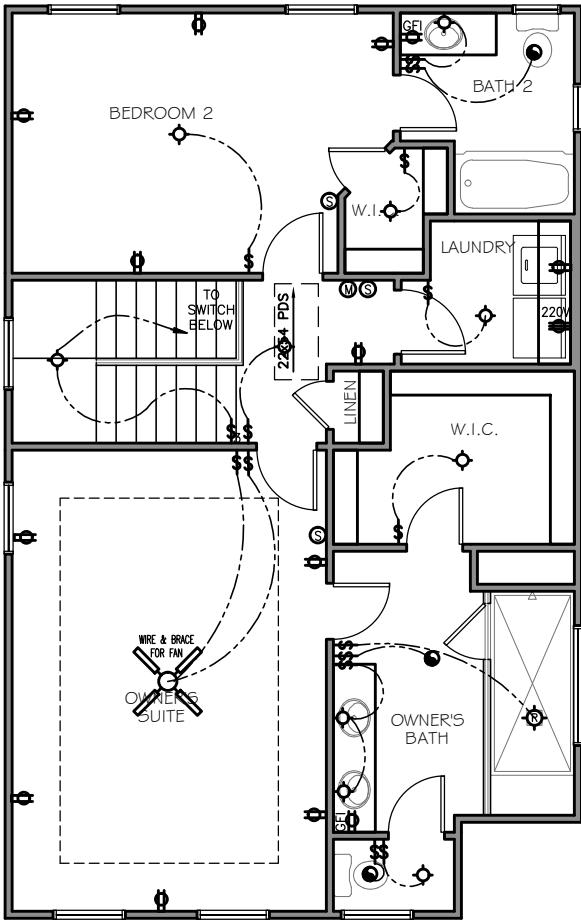
E0.1A

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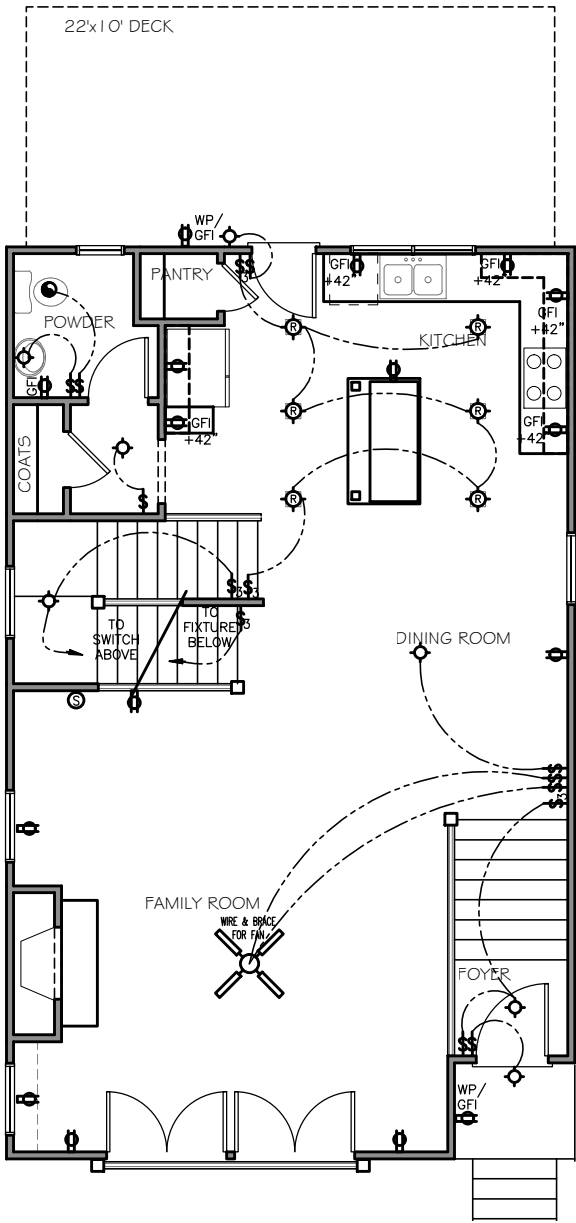
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
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	GROUND FAULT INTERCEPT
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	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
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	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



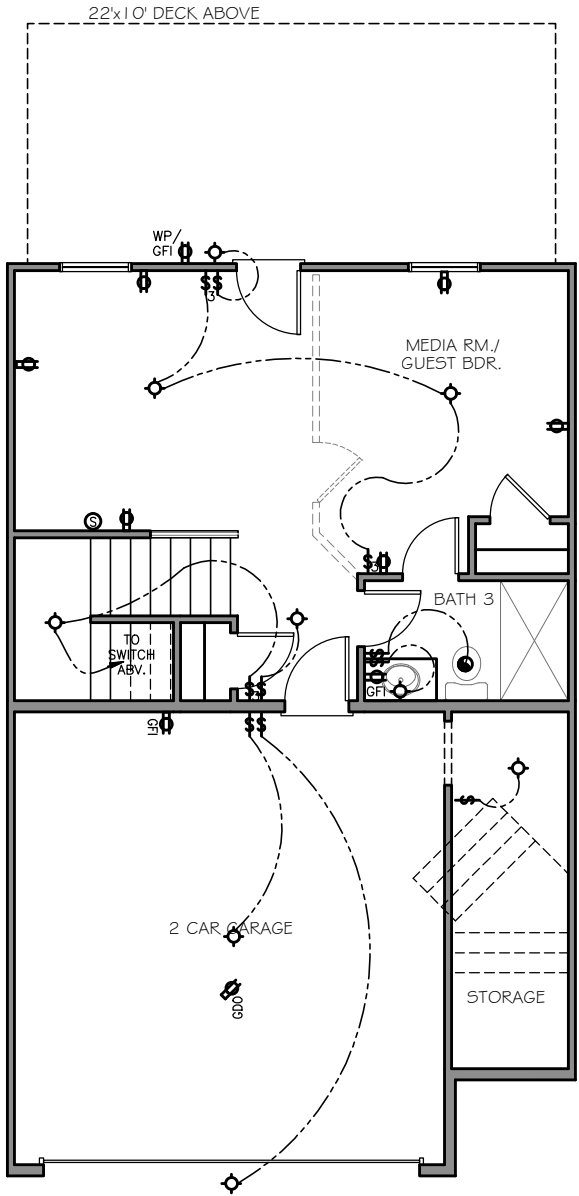
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

AVERY II B
ELECTRICAL PLAN

REVISION CHANGES:	
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PLOT DATE: 07/30/2015

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SCALE: 3/16"=1'-0"

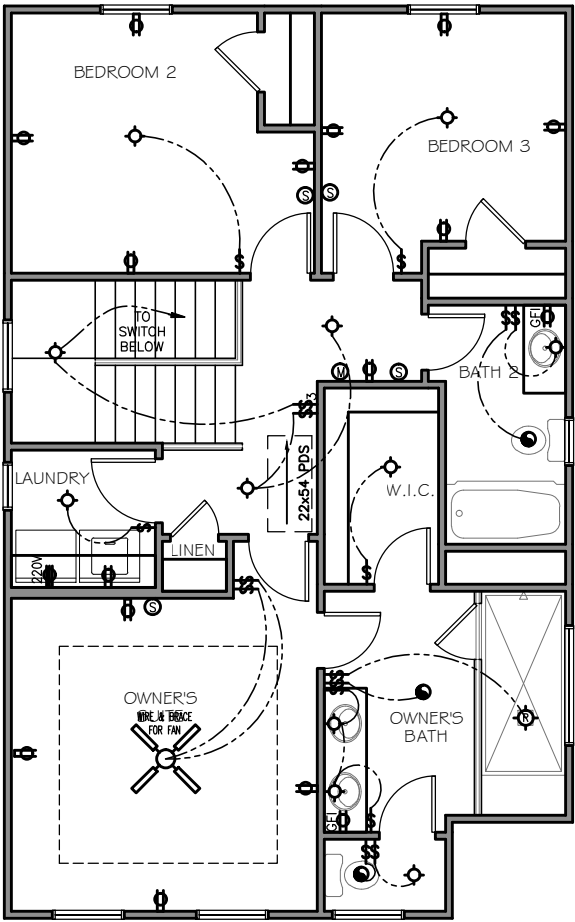
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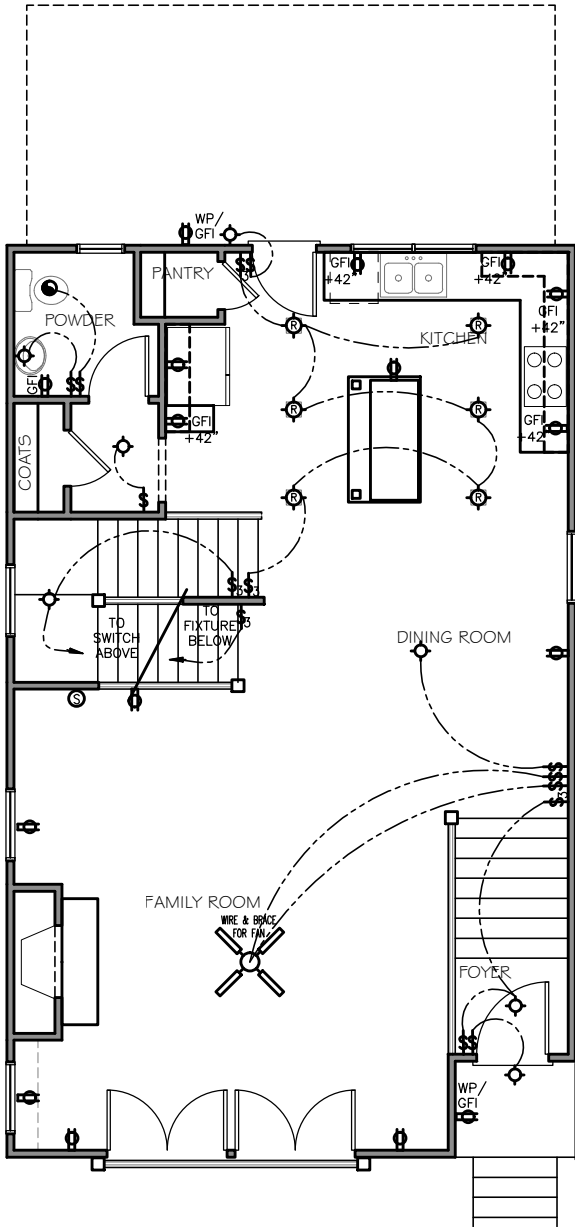
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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

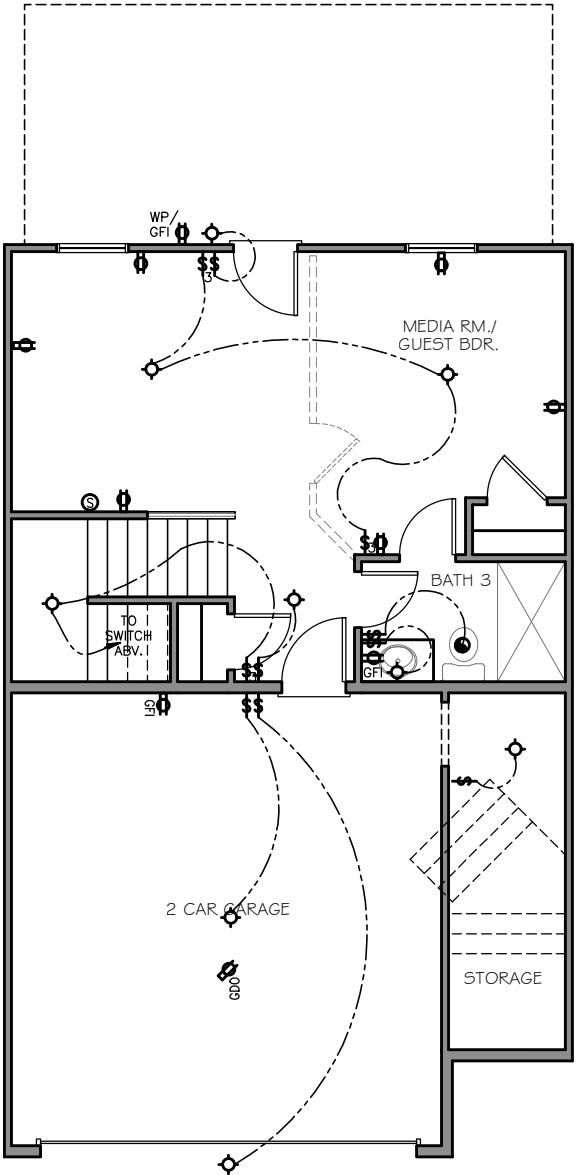
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2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

AVERY II B
ELECTRICAL PLAN

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REV. NO.	REV. DATE

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SUBDIVISION COLLECTION:	
PLOT DATE:	07/30/2015
DRAWN BY:	MHART
SCALE:	3/16"=1'-0"
SHEET NO.	

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THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "A"



THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "B"

NOTE: SEE ELEVATION FACADE PLAN FOR WINDOW SIZES & LOCATIONS, PORCH ROOF, LOCATION OF BRICK VENEER & BUILDING OFFSETS.

NOTA: VEA LAS ELEVACIONES DE LA FACHADA PARA TAMAÑO Y LOCALIZACION DE VENTANAS, PORCHES, PAREDES DE LADRILLO Y EL PERIMETRO DE LA CASA.

ARCHITECTURAL INDEX	
PAGE NO.	PAGE NAME
A0.0	COVER SHEET
A1.0	SLAB AND TERRACE PLAN
A1.1	1ST AND 2ND FLOOR PLAN
A1.1A	OPT. 2ND FLOOR PLAN
A1.2	FRONT ELEVATION A
A1.3	FRONT ELEVATION B
A1.4	LEFT ELEVATION (END UNIT)
A1.5	RIGHT ELEVATION (END UNIT)
A1.6	ROOF PLAN AND REAR ELEV.
E0.0	FIRST FLOOR ELECTRICAL PLAN
E0.1	SECOND FLOOR ELECTRICAL PLAN

DESIGN CRITERIA:

2012 International Residential Code with Georgia Amendments

Roof:
Live Load = 20 psf
Dead Load = 10 psf
Floors:
Live Load = 40 psf
Dead Load = 10 psf

Wind Speed = 90 mph
Max. Height = 35'-0"

BEDFORD II

Terrace - 419 sf
1st Floor - 887 sf
2nd Floor - 907 sf
Total - 2,213 sf
Garage - 455 sf

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

BEDFORD II
COVER SHEET

REVISION CHANGES:	
REV. NO.	REV. DATE

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

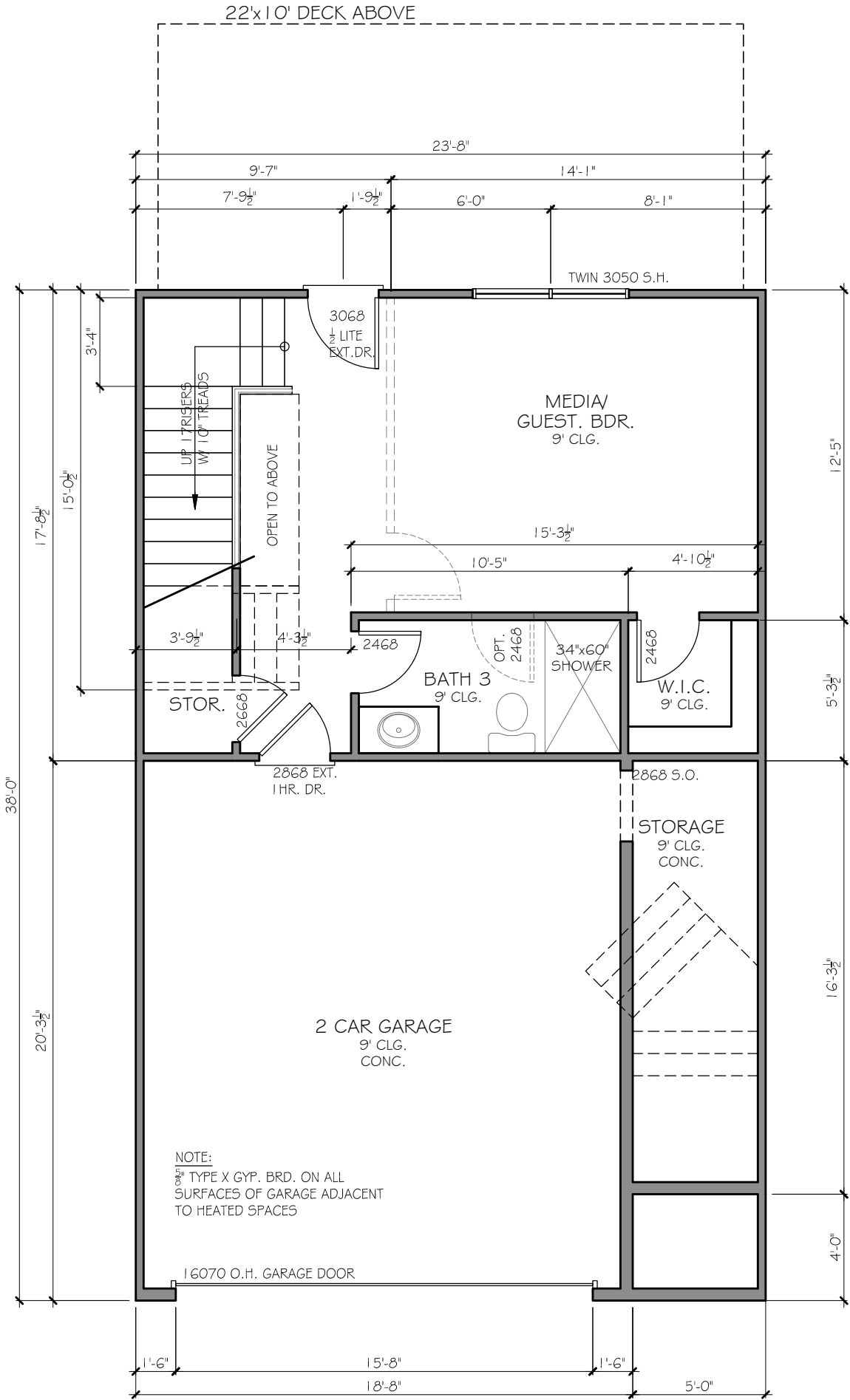
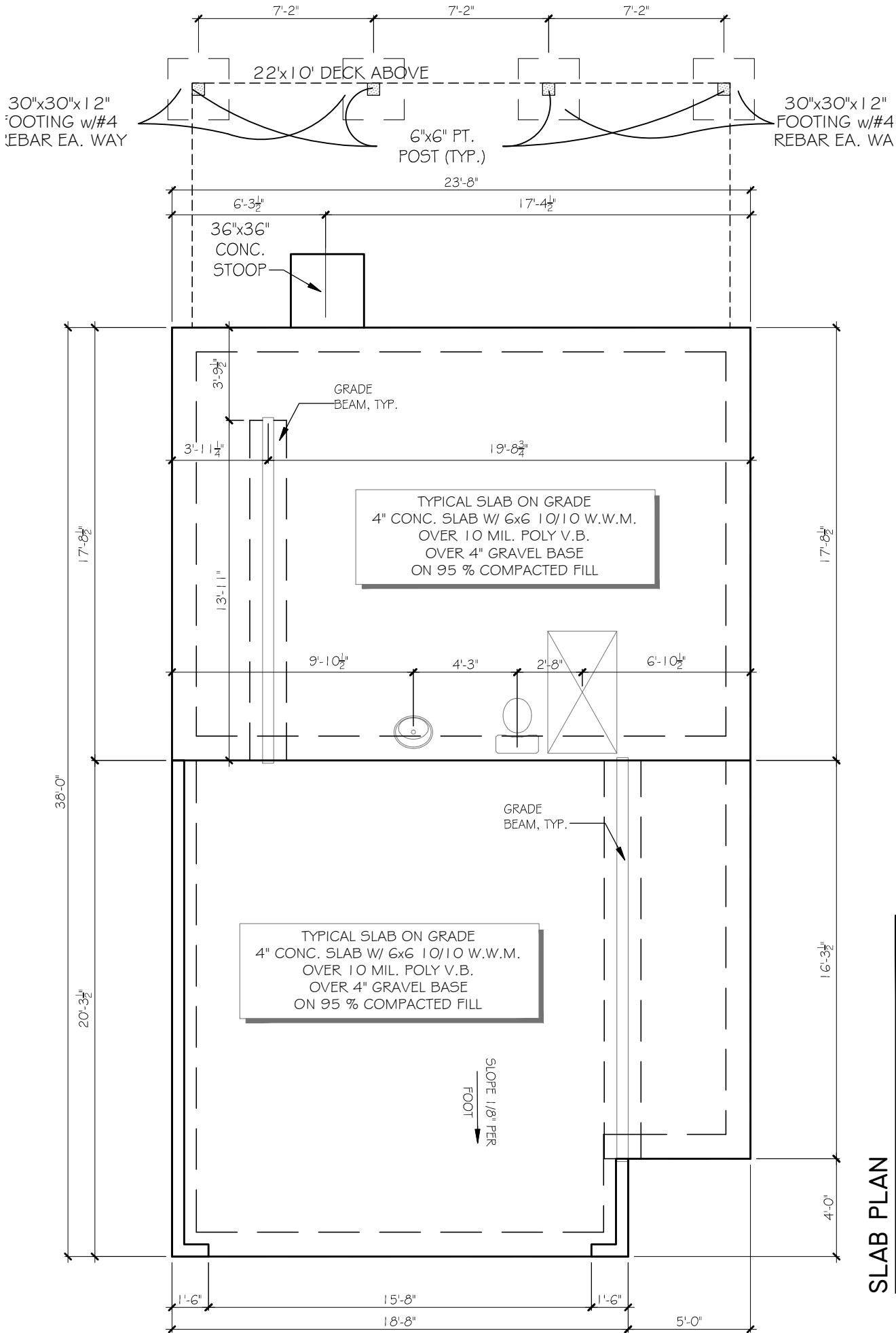
DRAWN BY: MHART

SCALE: NONE

SHEET NO.

A0.0#13.

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BEDFORD II A&B

SLAB PLAN

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REV. NO.	REV. DATE
1	10/08/07
2	11/19/07

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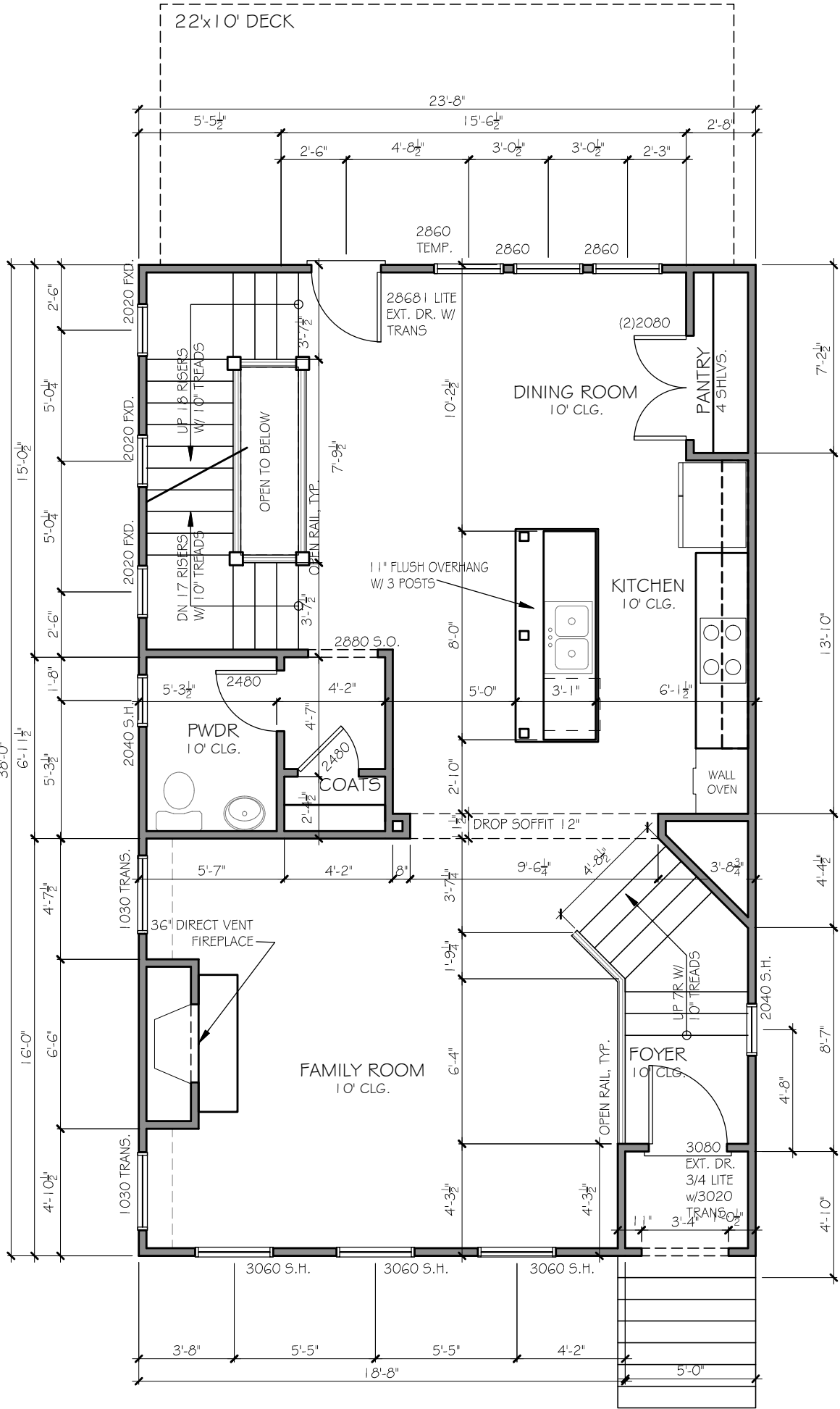
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SHEET NO.

A1.0

2 OF 13



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES:		
REV. NO.	REV. DATE	
1	10/08/07	
2	11/19/07	

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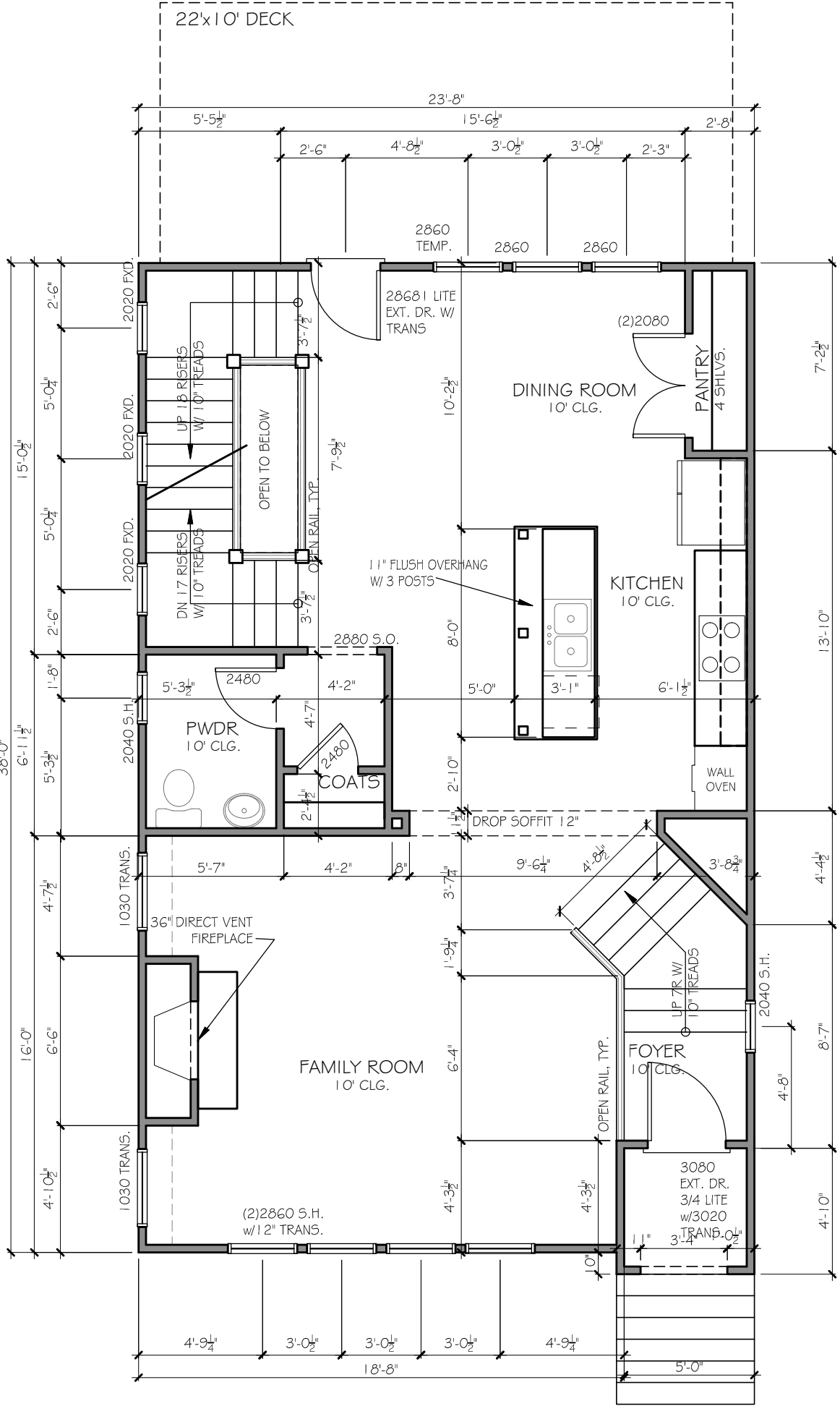
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SCALE: NONE

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A1.1/13

BEDFORD II A
1ST FLOOR PLAN



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

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2	11/19/07	

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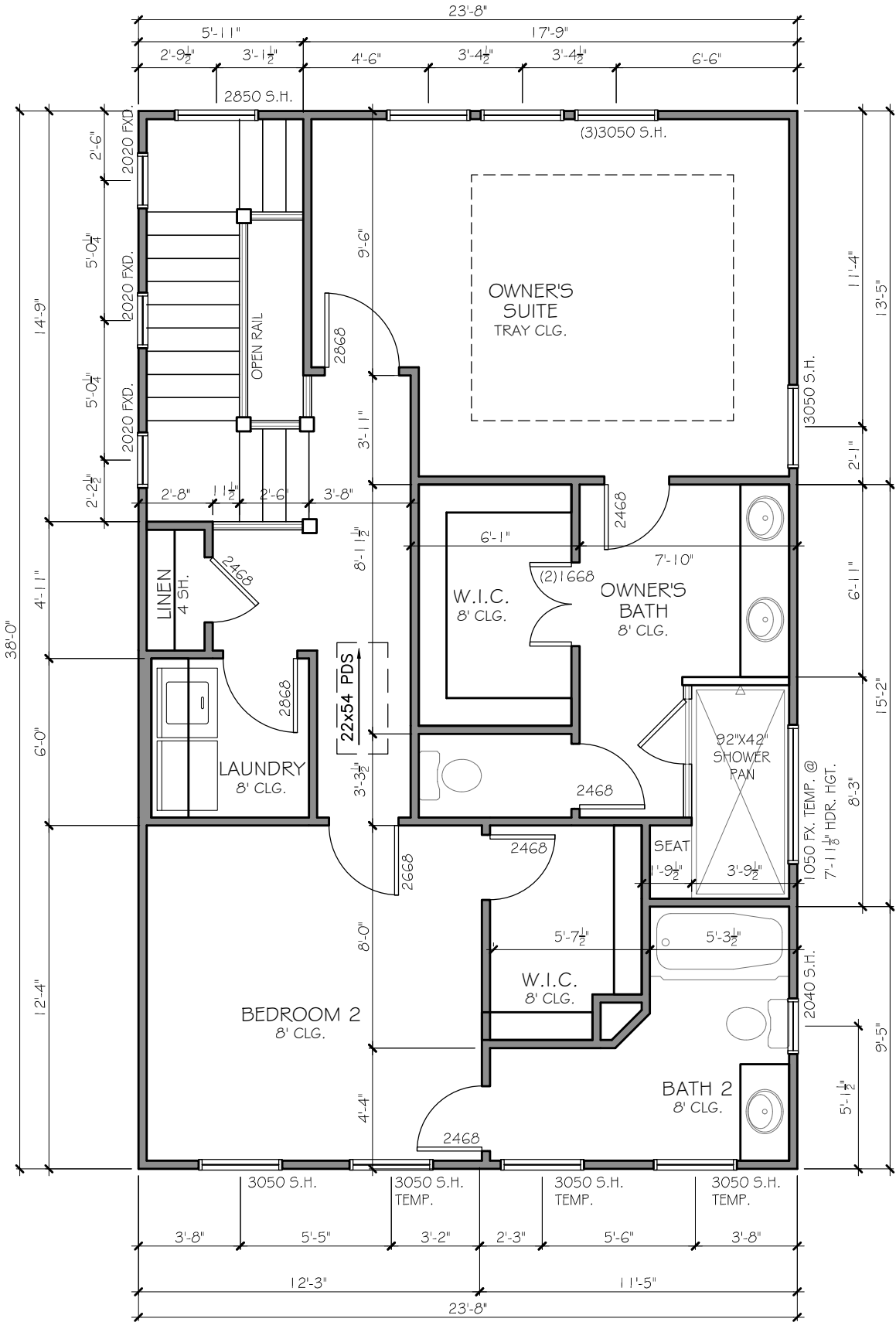
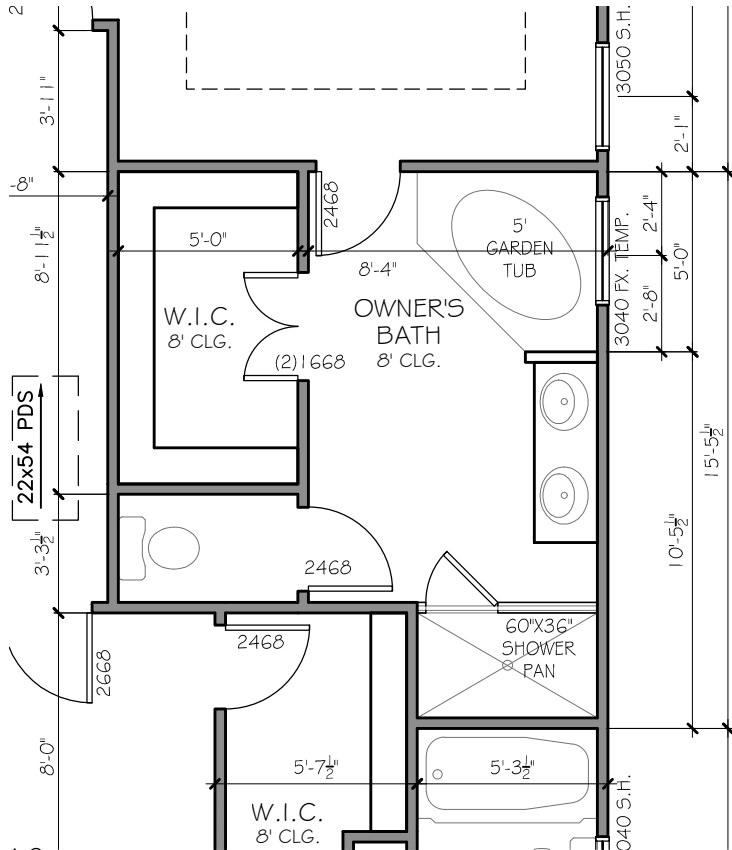
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DRAWN BY: MHART

SCALE: NONE

SHEET NO.

A1.1B



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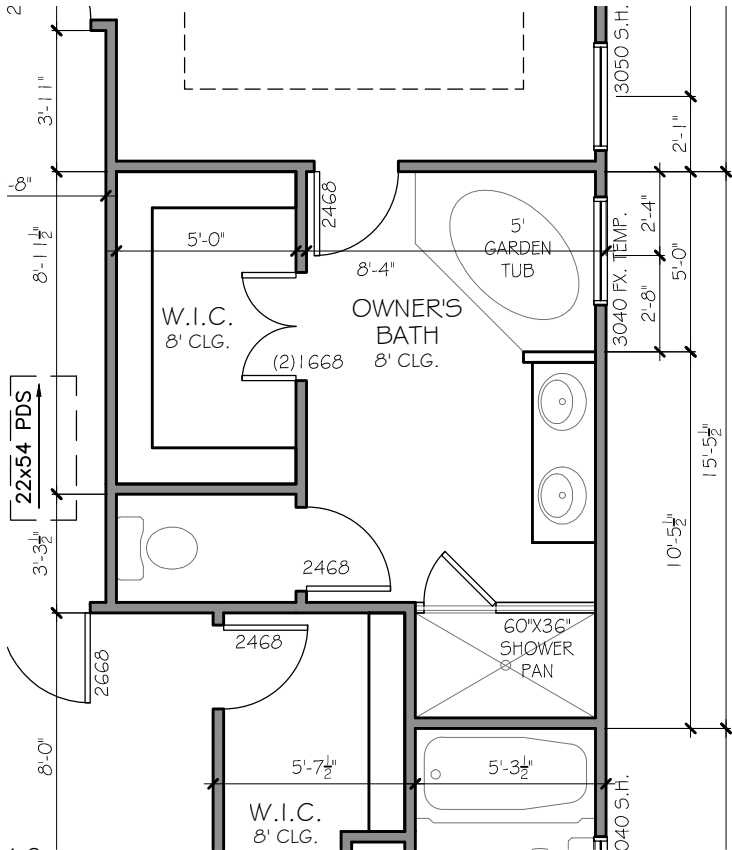
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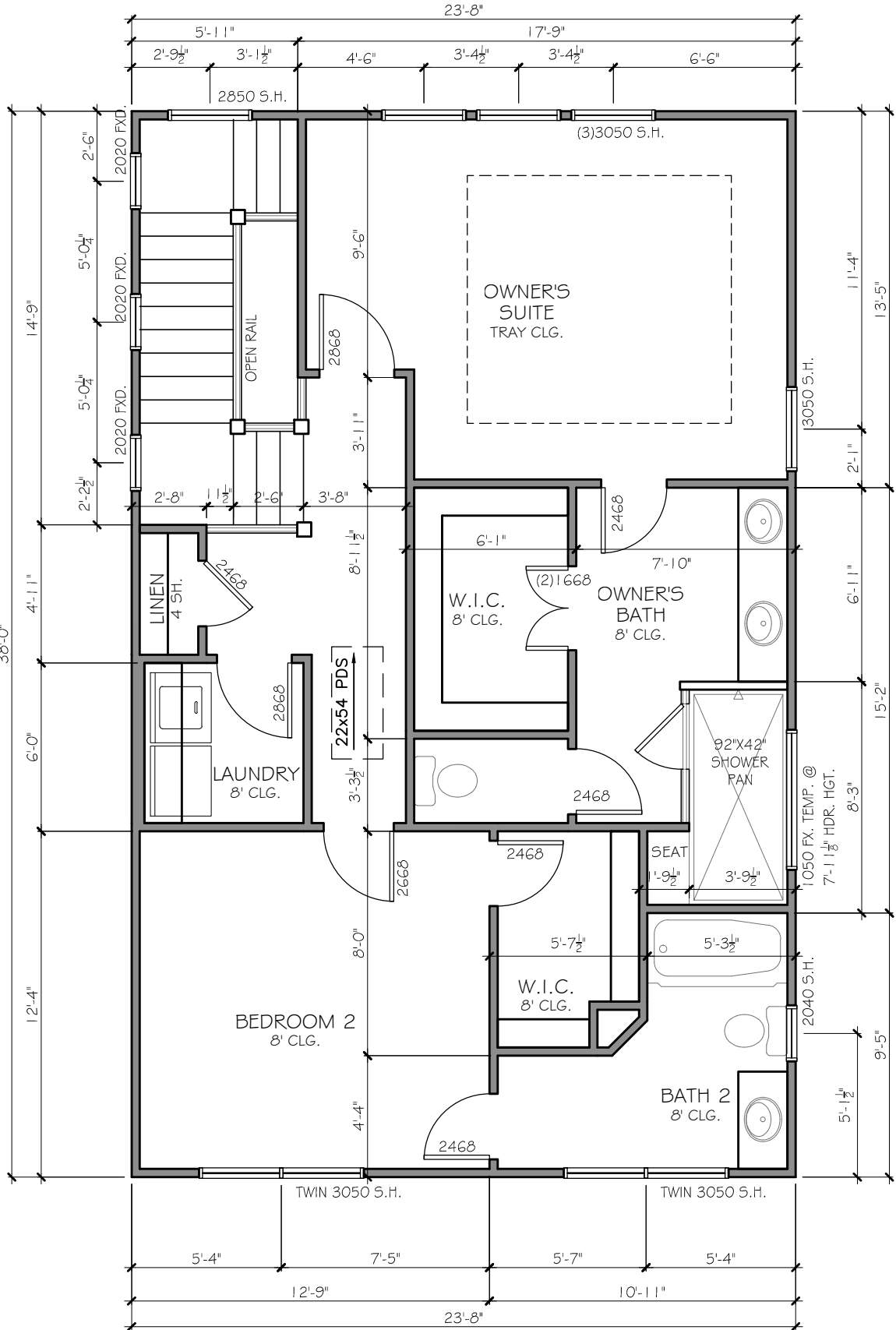
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SHEET NO.

A1.21#13



OWNER'S BATH OPTION
SCALE: 3/16"=1'-0" TUB/SHOWER



2ND FLOOR PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES:		
REV. NO.	REV. DATE	
1	10/08/07	
2	11/19/07	

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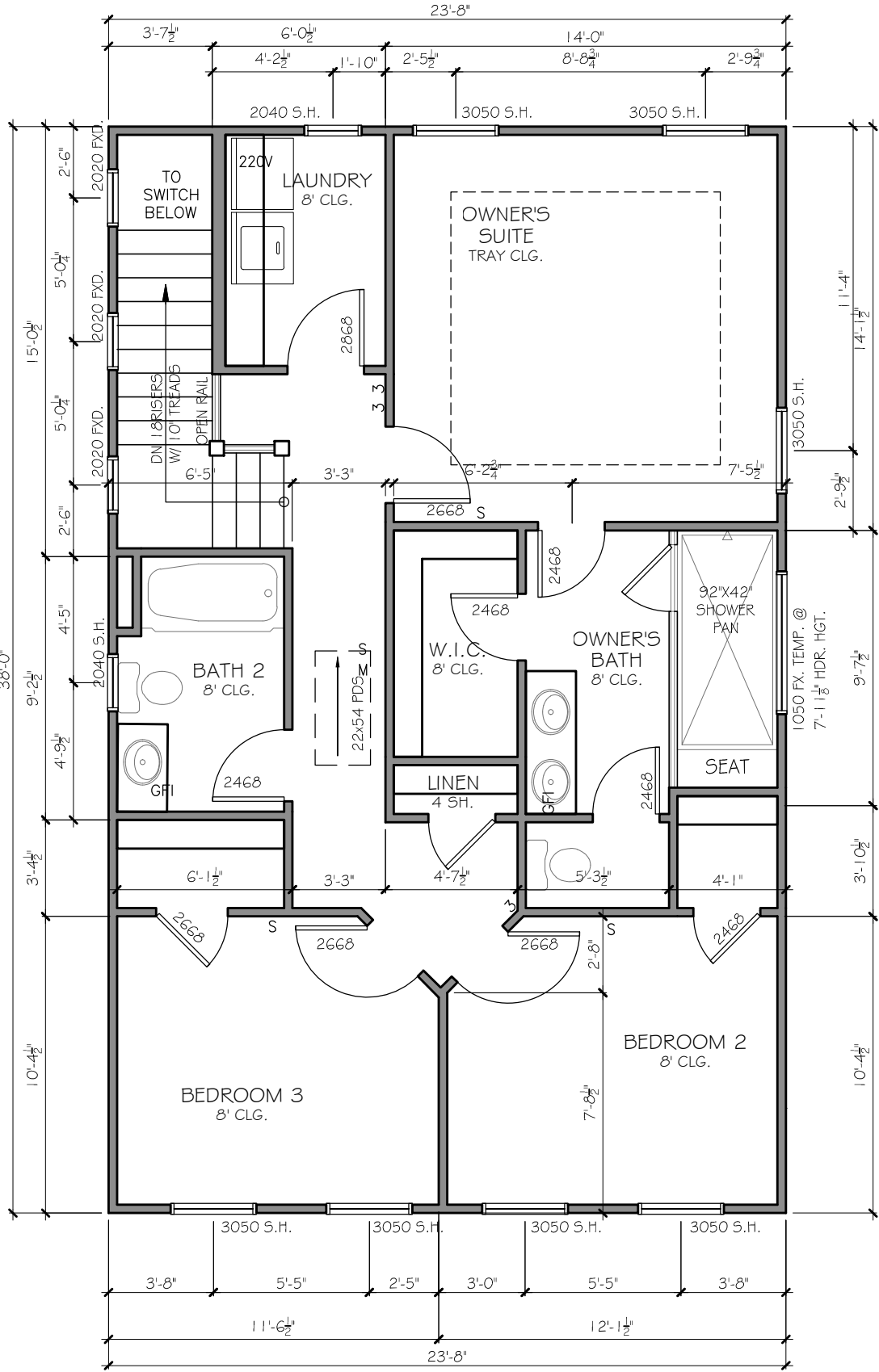
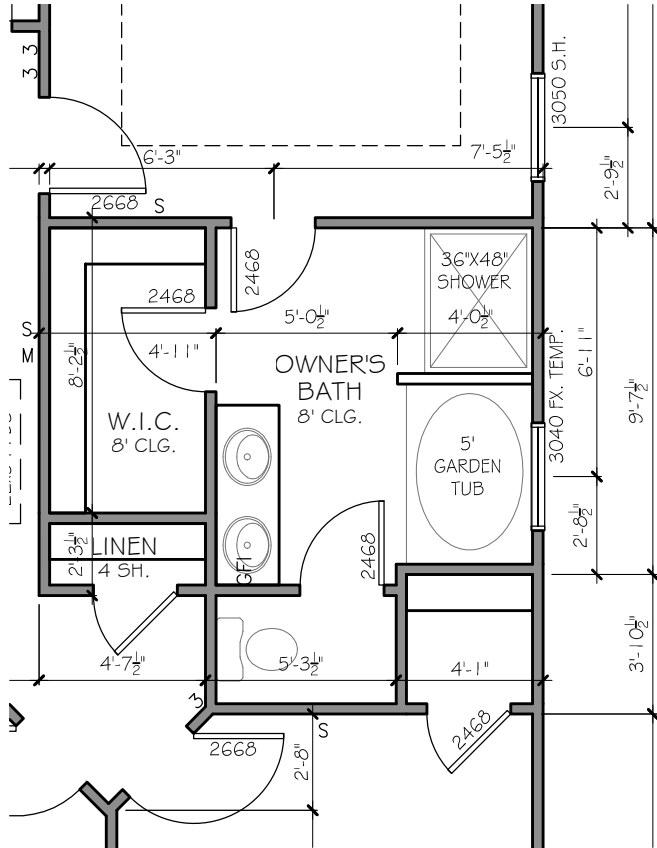
SCALE: NONE

SHEET NO.

A1.2B

BEDFORD II B
2ND FLOOR PLAN

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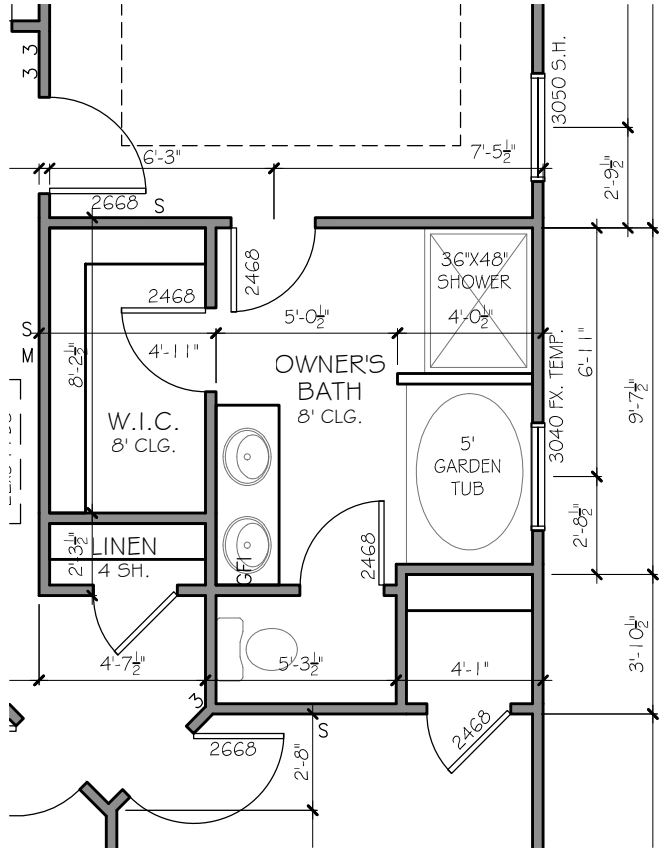
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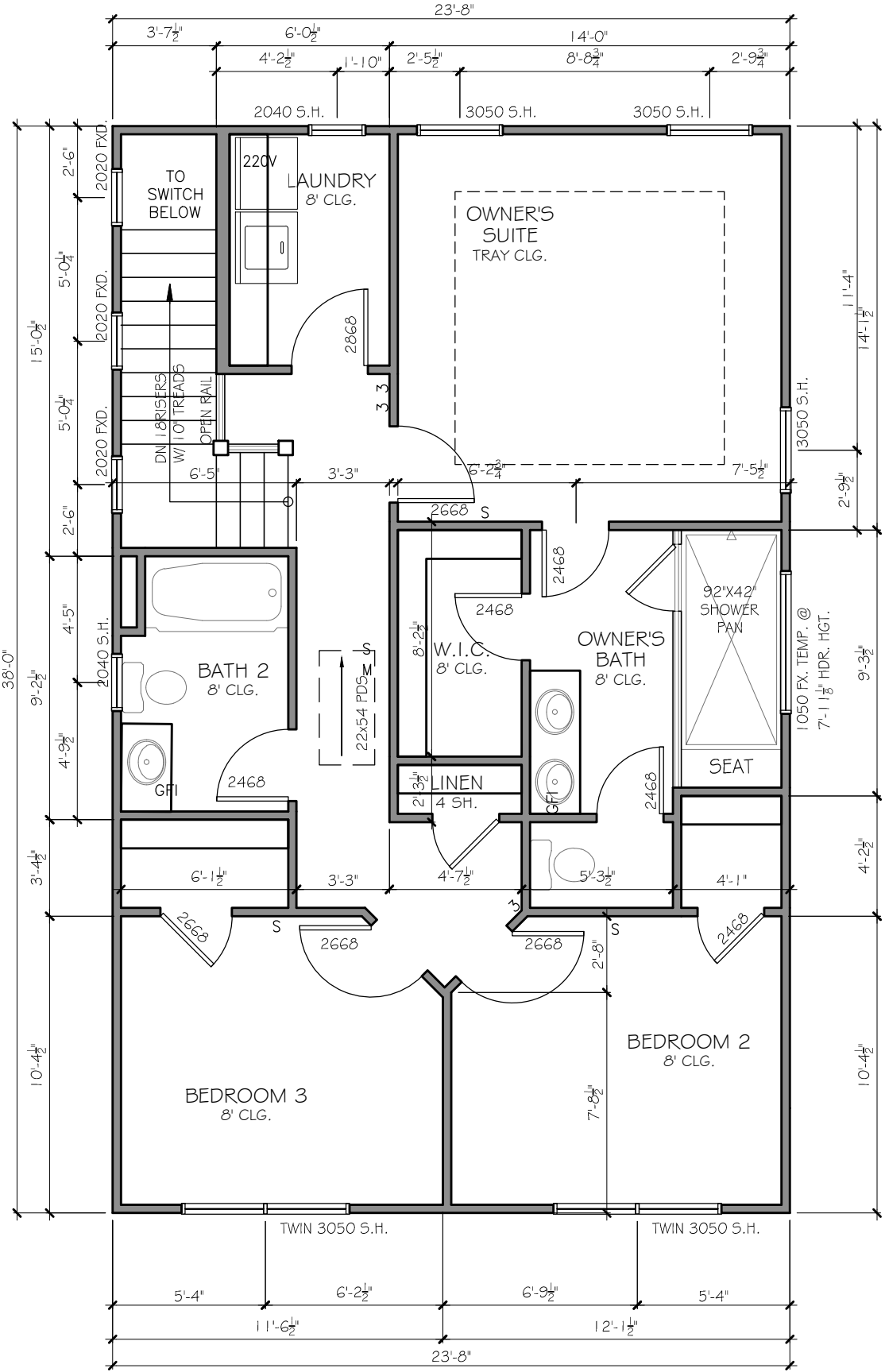
SCALE: NONE

SHEET NO.

A1.3#13



OWNER'S BATH OPTION
SCALE: 3/16"=1'-0" TUB/SHOWER



2ND FLOOR PLAN
SCALE: 3/16"=1'-0" 3 BEDROOM OPTION

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REV. NO.	REV.	DATE
1		10/08/07
2		11/19/07

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SCALE: NONE

SHEET NO.

A1.3B

BEDFORD II B
OPTIONAL 2ND. FLOOR

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6:12 SLOPE
ASPHALT SHINGLES

HARDI-PLY

3' RADIUS VENT

METAL EYEBROW, TYP.

DECORATIVE CORBEL @ 16"
O.C.- FYPON 8x12x3 OR
SIMILAR, TYP.

12" FREIZE W/ 4" CROWN,
TYP.

12" PLANK SHUTTER,
TYP.

STONE VENEER,
TYP.

BRICK VENEER,
TYP.

ARCHED STONE
PEDIMENT, TYP.

2ND FLR.

1ST FLR.

TERRACE

BRICK
STEPS

8'-1 1/4"

6'-1 1/4"

1'-2 3/4"

10'-1 1/4"

7'-1 1/4"

1'-2 3/4"

9'-1 1/4"

6'-1 1/4"

1'-8 1/2"

5'-2"

SCALE: 3/16"=1'-0"

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BEDFORD II
FRONT ELEVATION A

REVISION CHANGES:		
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SCALE:
3/16"=1'-0"

SHEET NO.

A1.4/#13.

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ELEVATION B

SCALE: 3/16"=1'-0"

BEDFORD II
FRONT ELEVATION B

REVISION CHANGES:		
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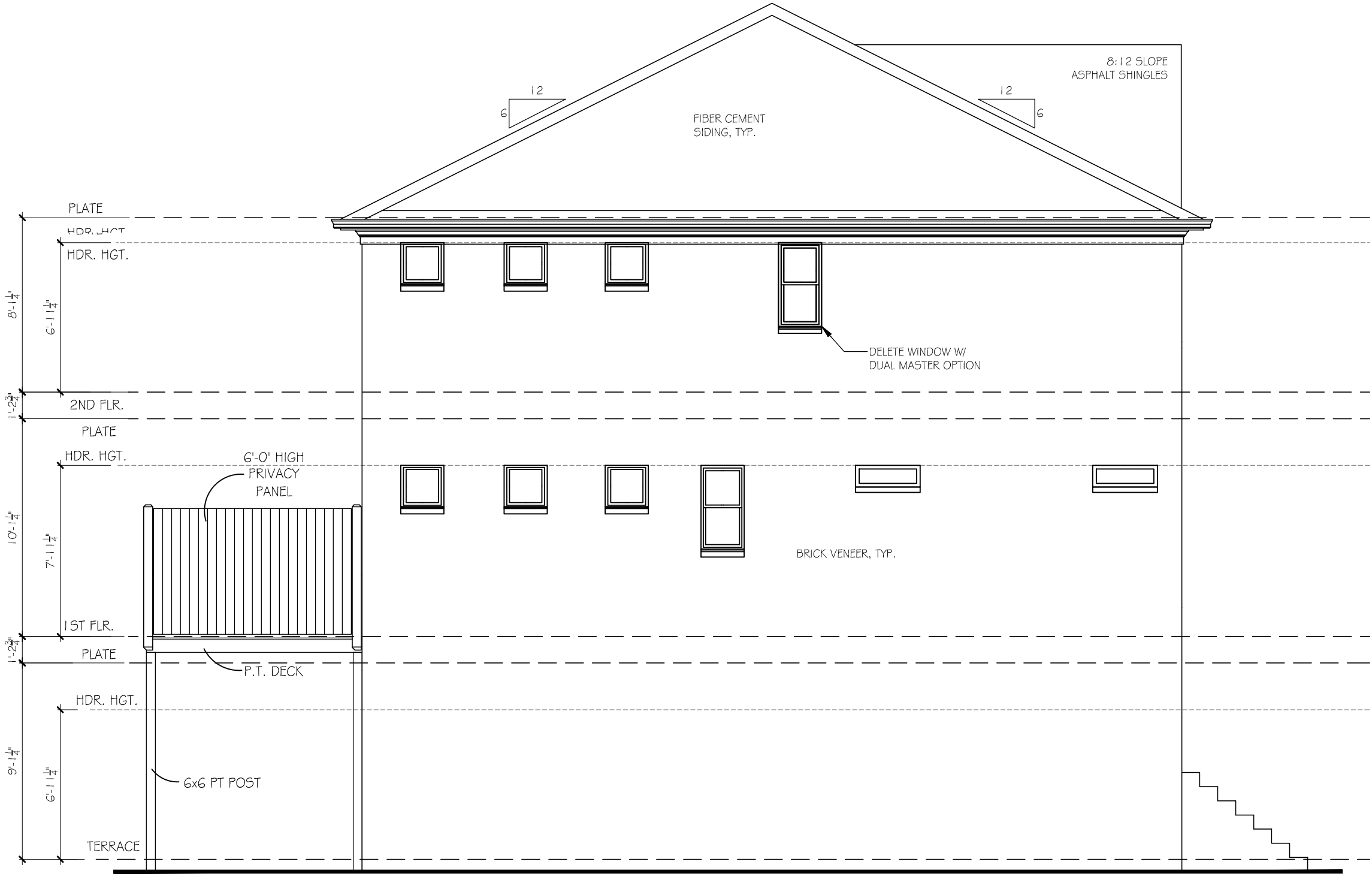
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SCALE:
3/16"=1'-0"

SHEET NO.

A1.4B



LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

BEDFORD II A

LEFT ELEVATION (END)

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SCALE: 3/16"=1'-0"

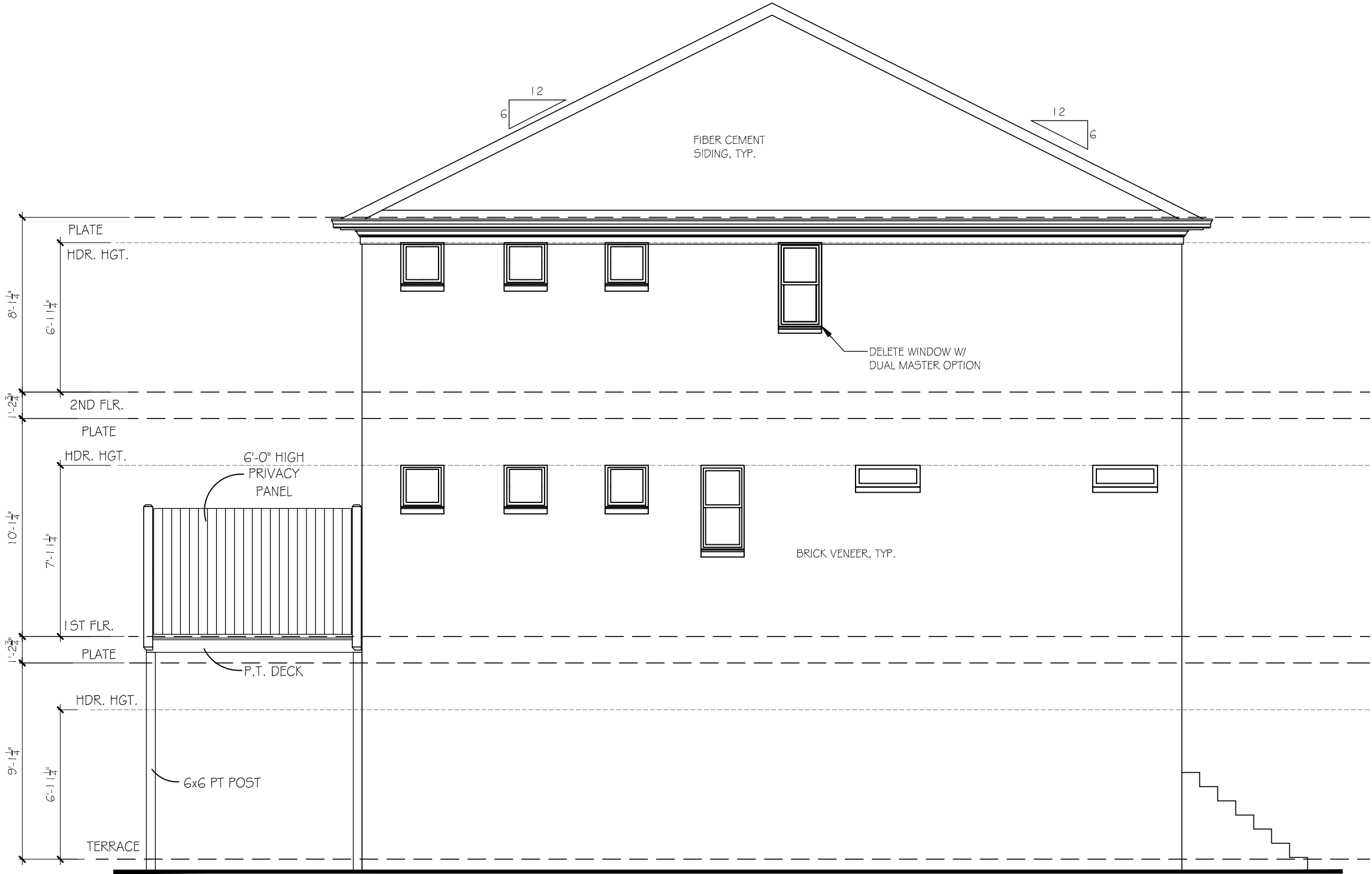
SHEET NO.

A1.5/ #13.

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-210-



LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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BEDFORD II B

LEFT ELEVATION (END)

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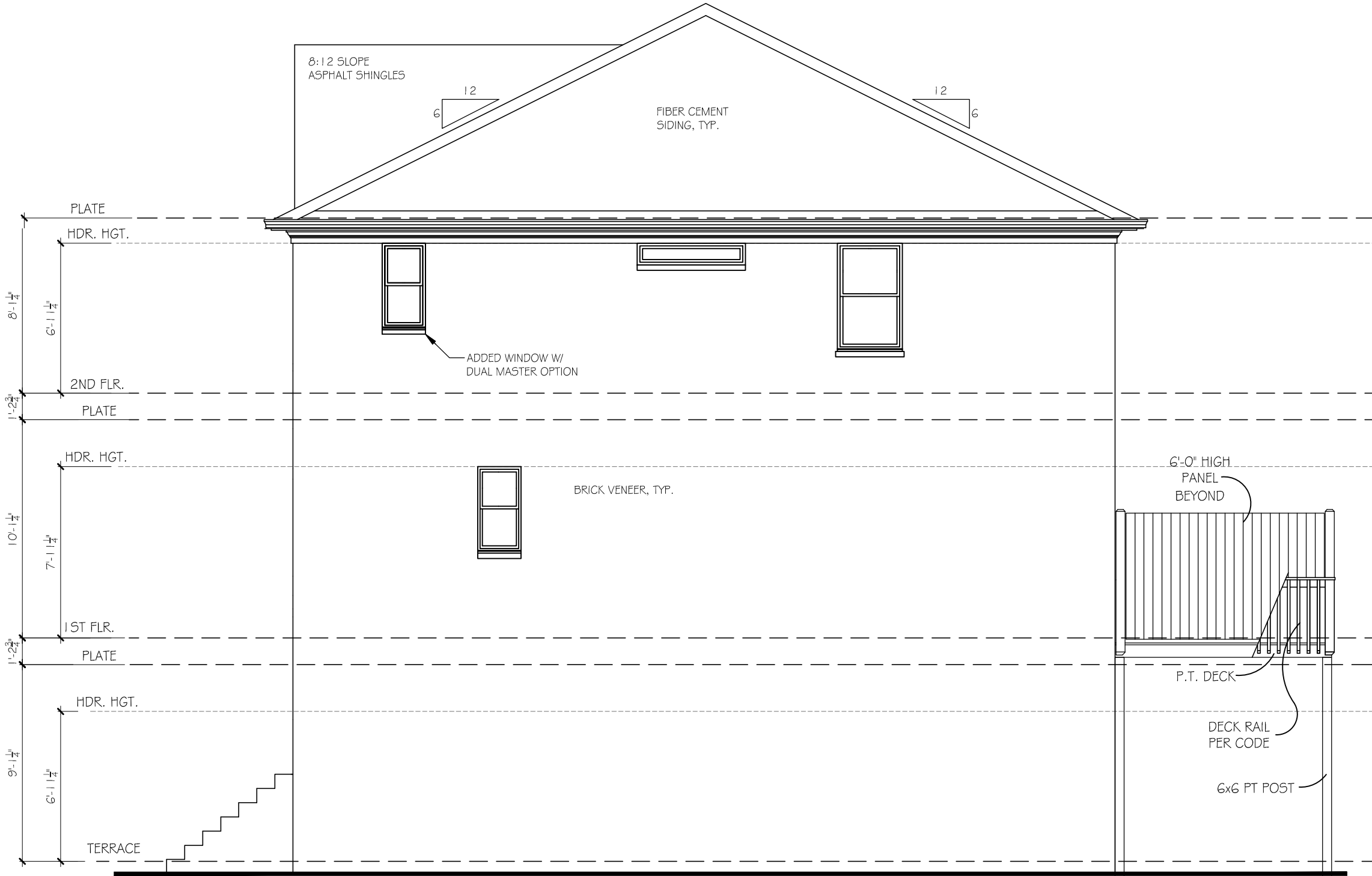
SCALE:

3/16"=1'-0"

SHEET NO.

A1.5B

OF



RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

BEDFORD II A

RIGHT ELEVATION (END)

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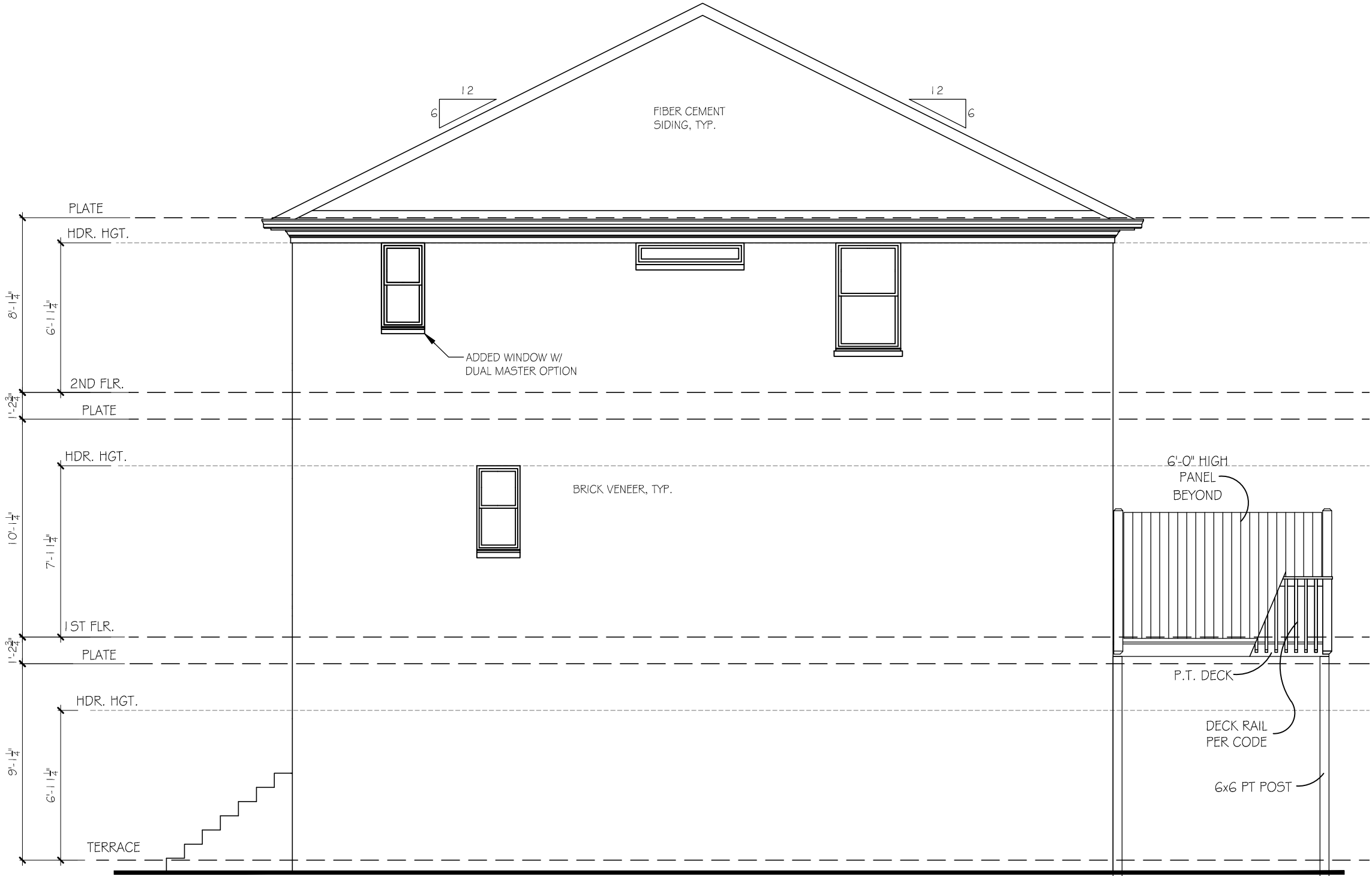
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SCALE:
3/16"=1'-0"

SHEET NO.

A1.6/ #13.

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RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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BEDFORD II B

RIGHT ELEVATION (END)

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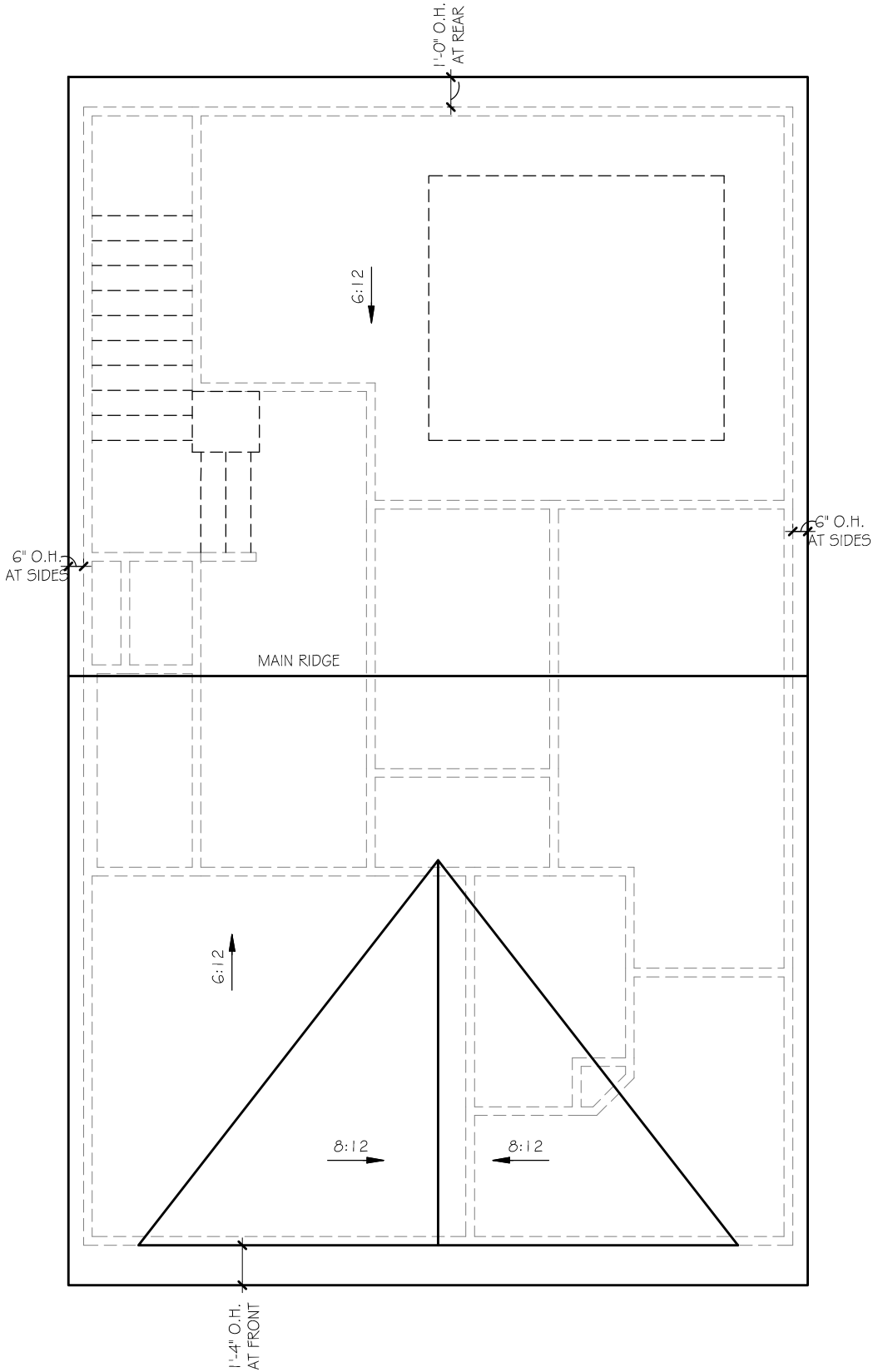
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SCALE: 3/16"=1'-0"

SHEET NO.

A1.6B



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

BEDFORD II A
ROOF AND REAR ELEV.

REVISION CHANGES:	
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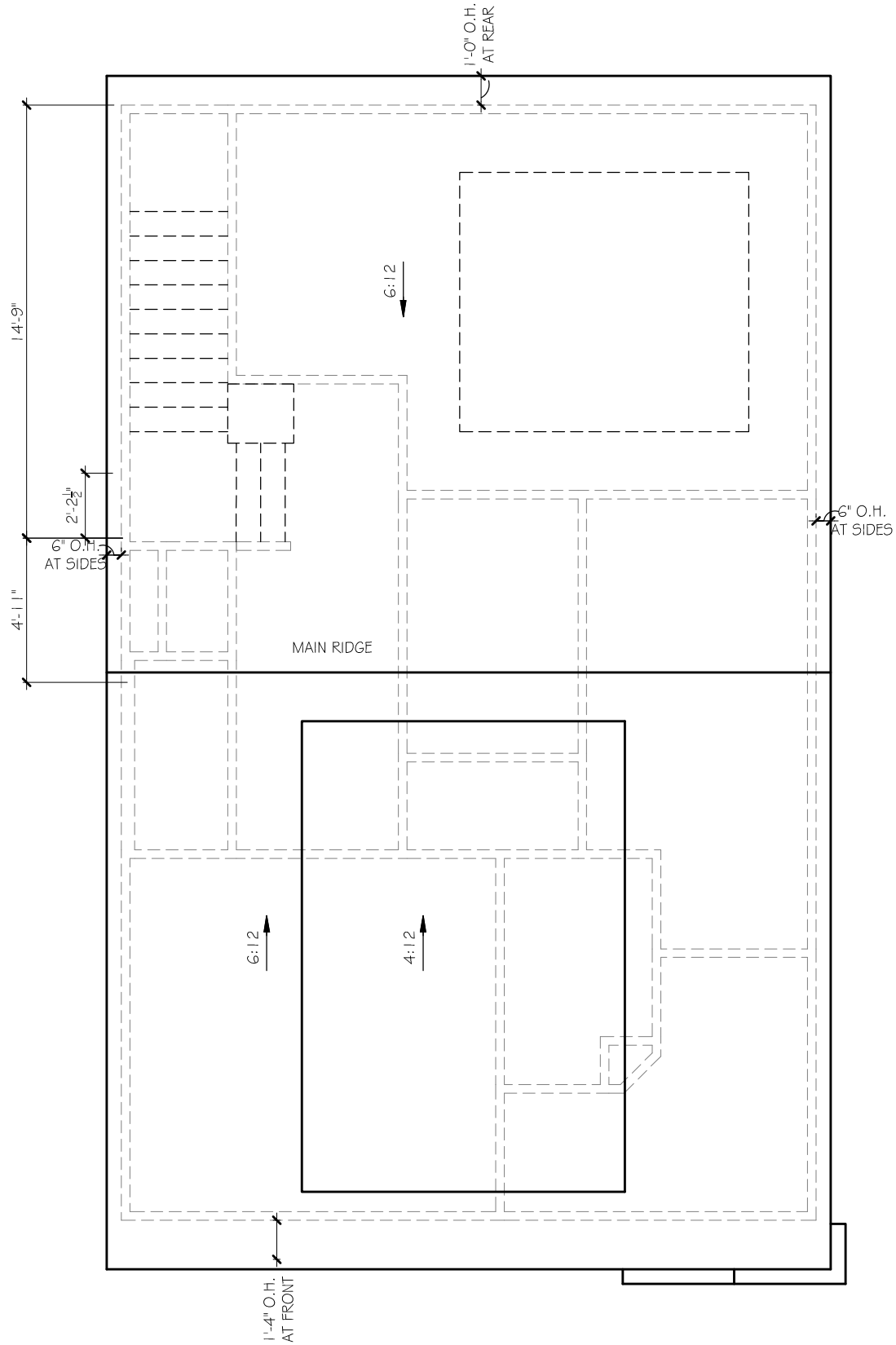
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SCALE: 3/16"=1'-0"

SHEET NO.



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

REVISION CHANGES:	
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SCALE: 3/16"=1'-0"

SHEET NO.

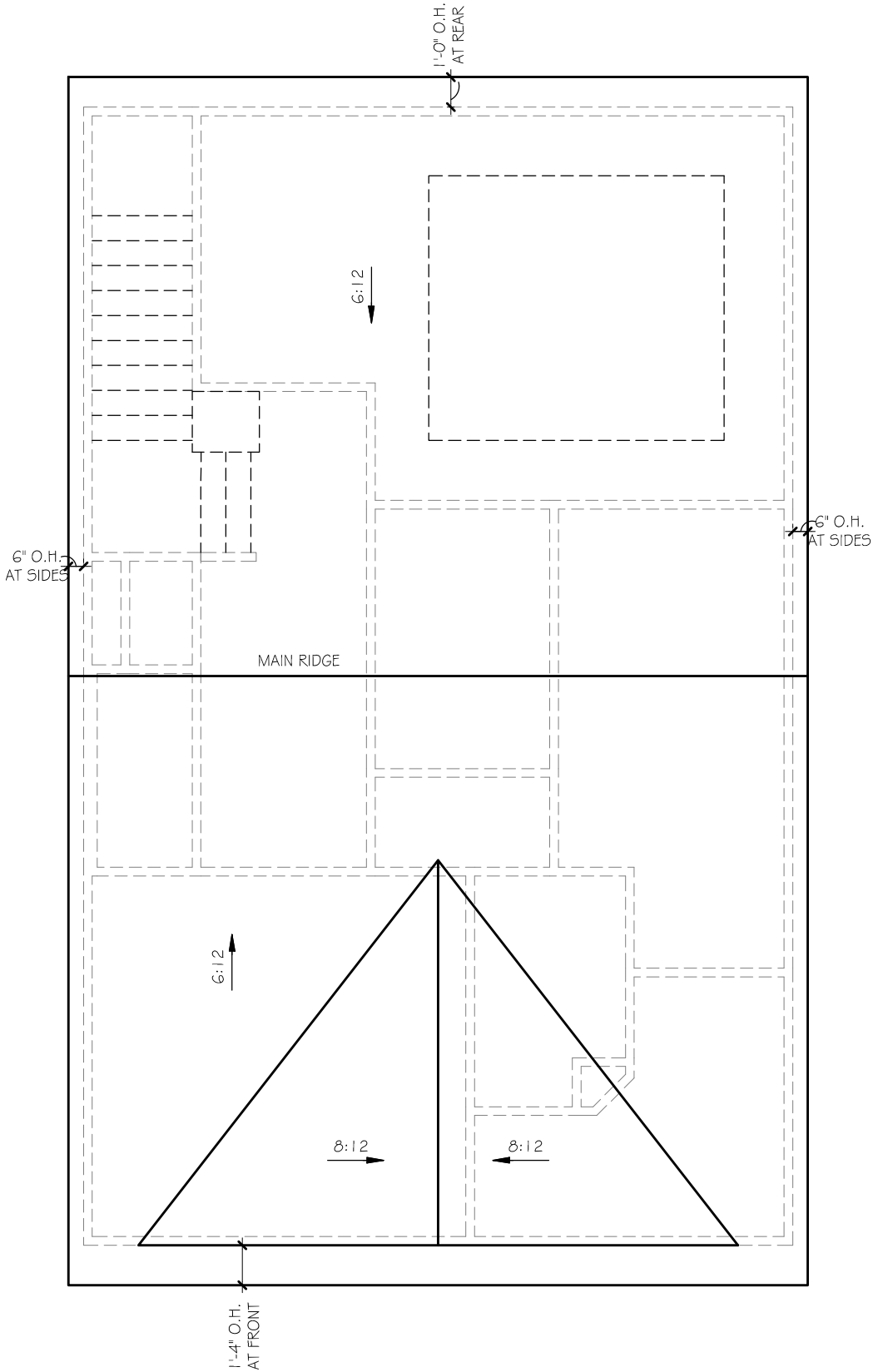
A1.7B

BEDFORD II B

ROOF AND REAR ELEV.

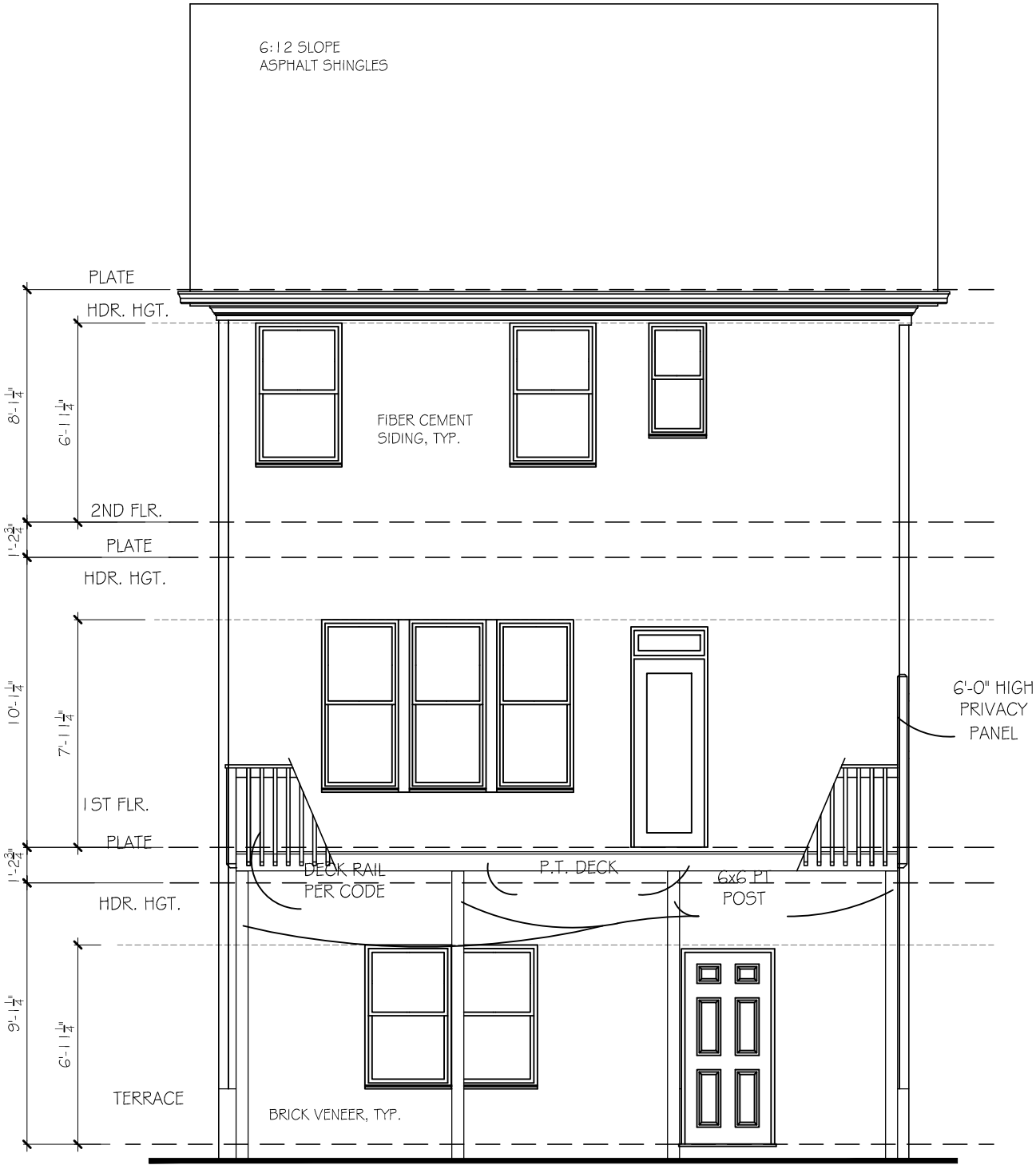
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REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

3 BEDROOM OPTION

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BEDFORD II A
ROOF AND REAR ELEV.

REVISION CHANGES:	
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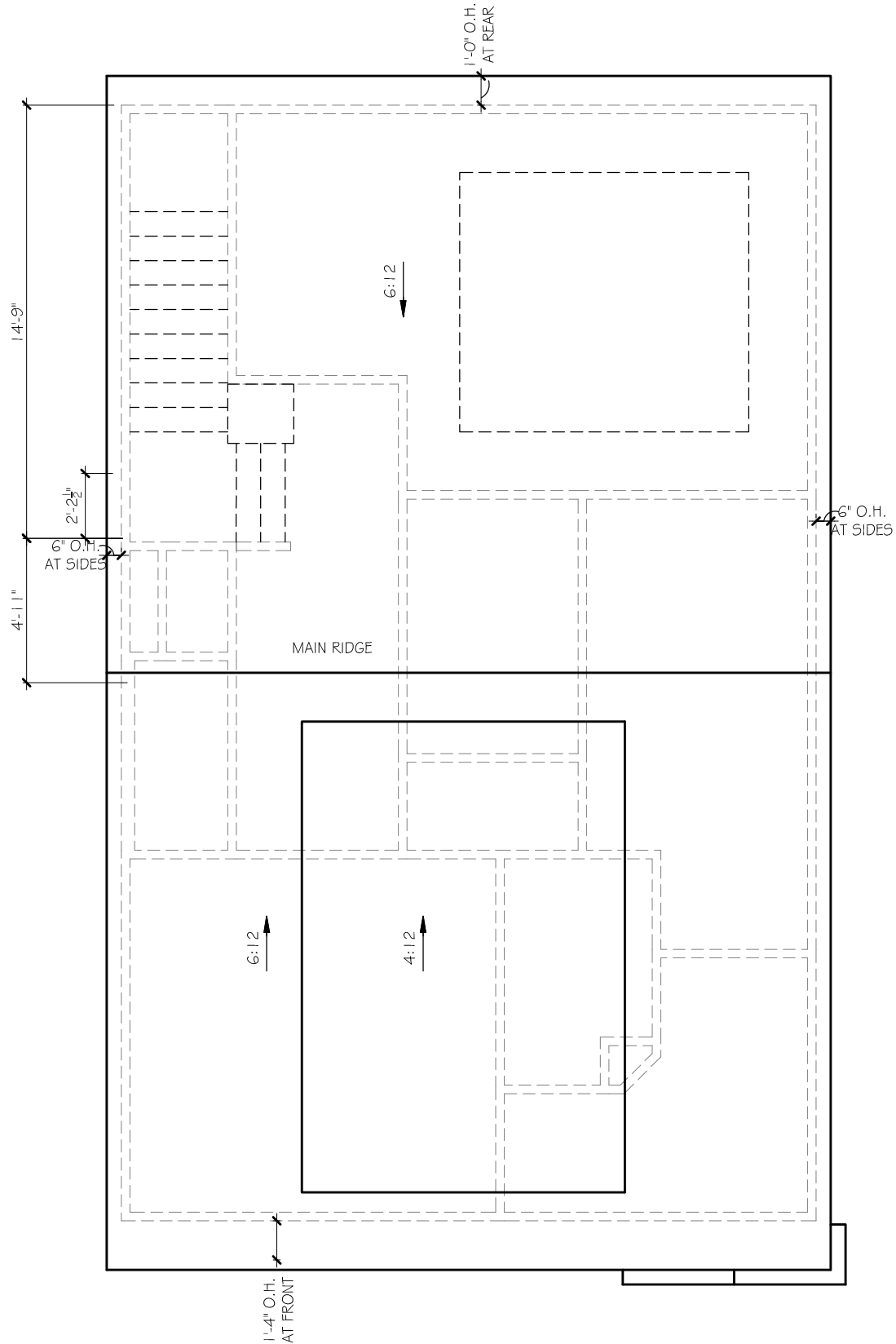
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MHART

SCALE:
3/16"=1'-0"

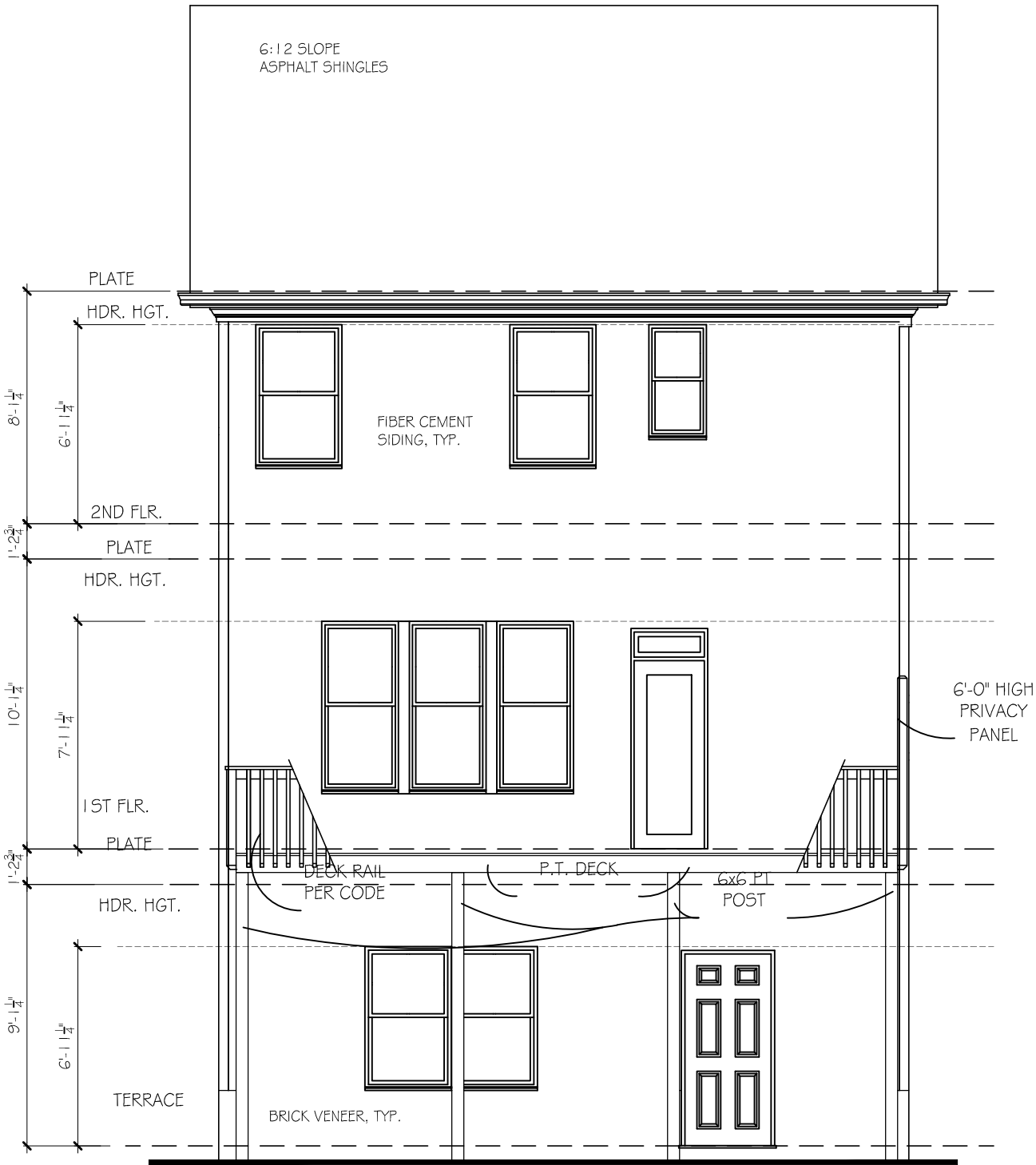
SHEET NO.

A1.8/13.



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

3 BEDROOM OPTION

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BEDFORD II B

ROOF AND REAR ELEV.

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SCALE: 3/16"=1'-0"

SHEET NO.

A1.8B

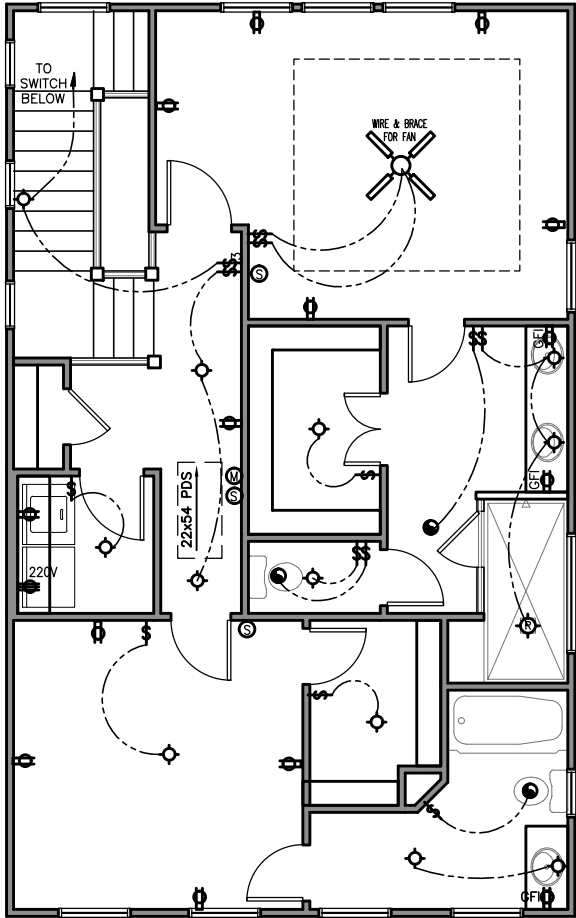
OF

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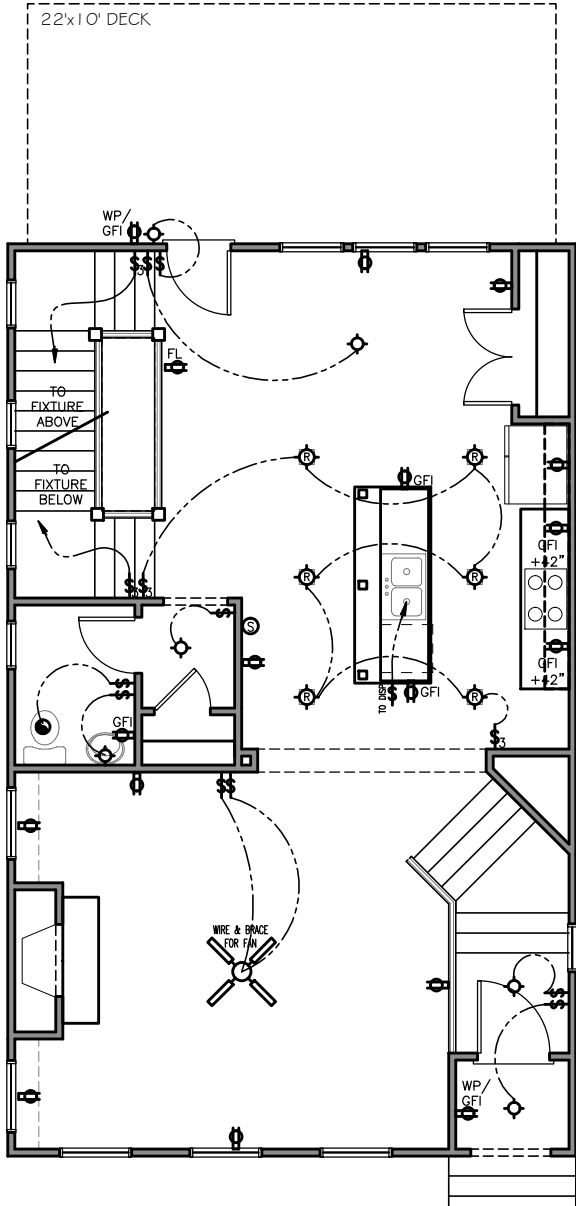
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



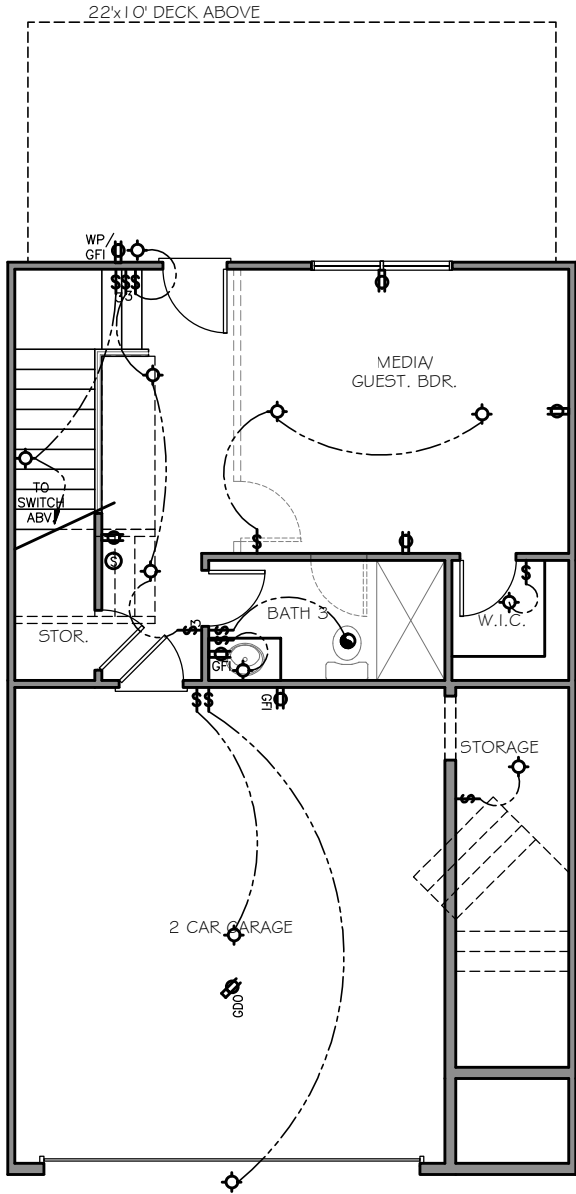
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

BEDFORD II A
ELECTRICAL PLAN

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REV. NO.	REV. DATE

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

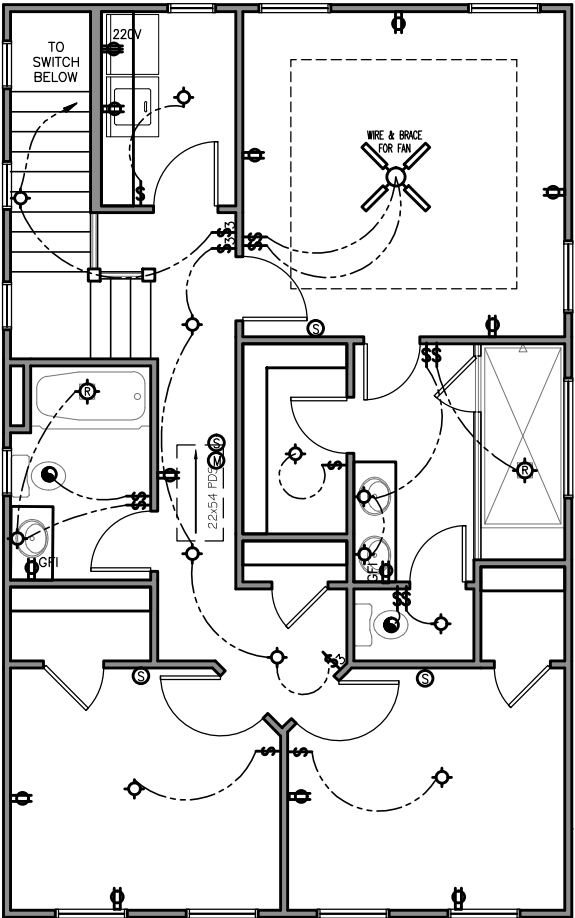
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E0.01#13.

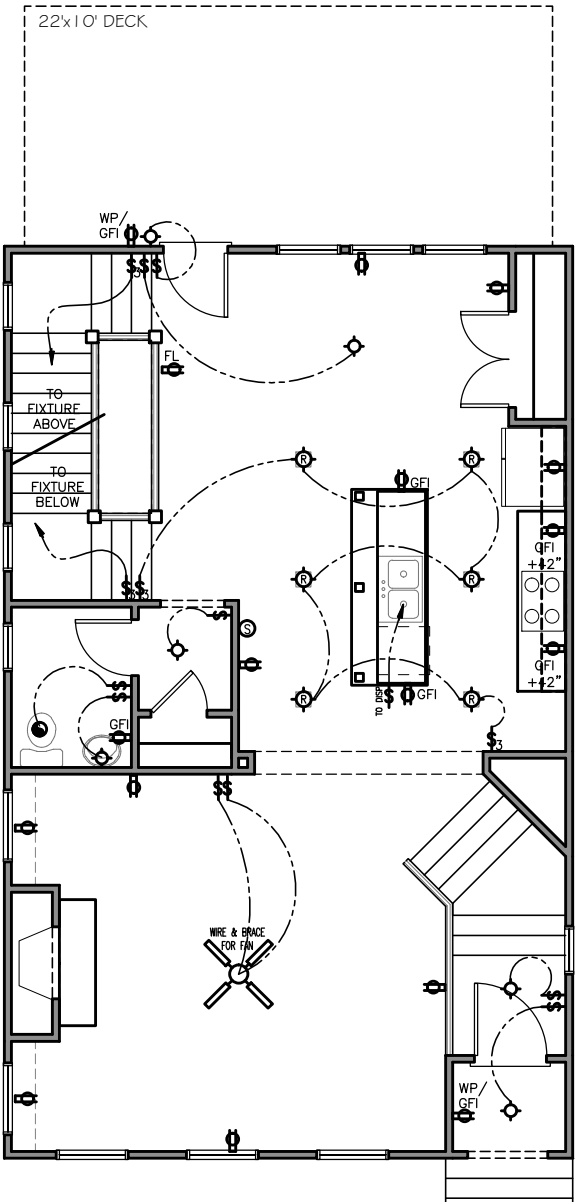
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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

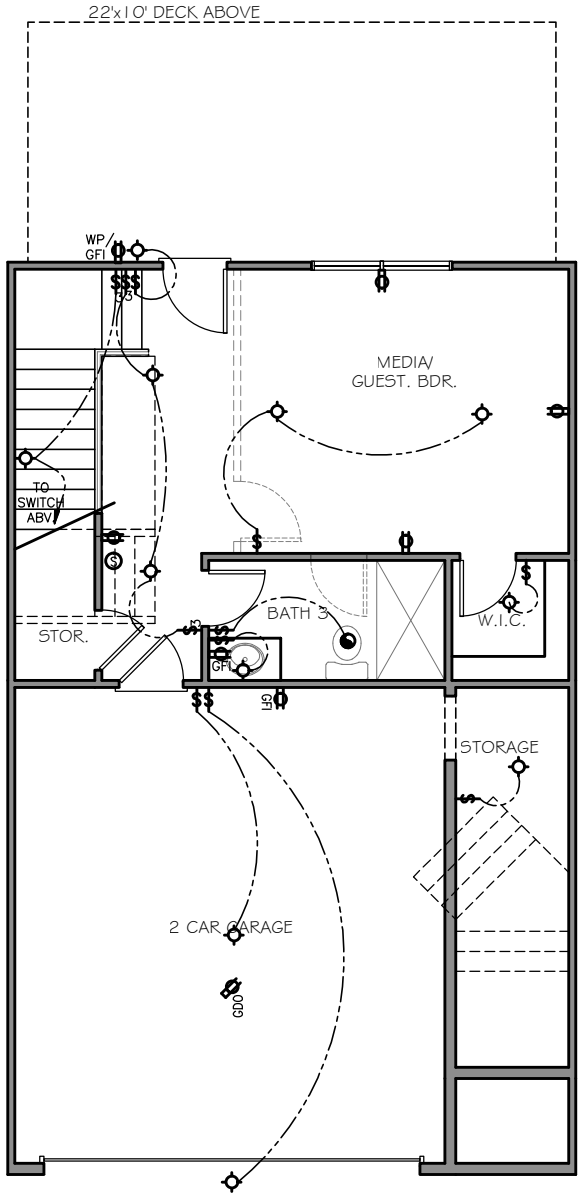
NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

#13.

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
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BEDFORD II A

ELECTRICAL PLAN

REVISION CHANGES:

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

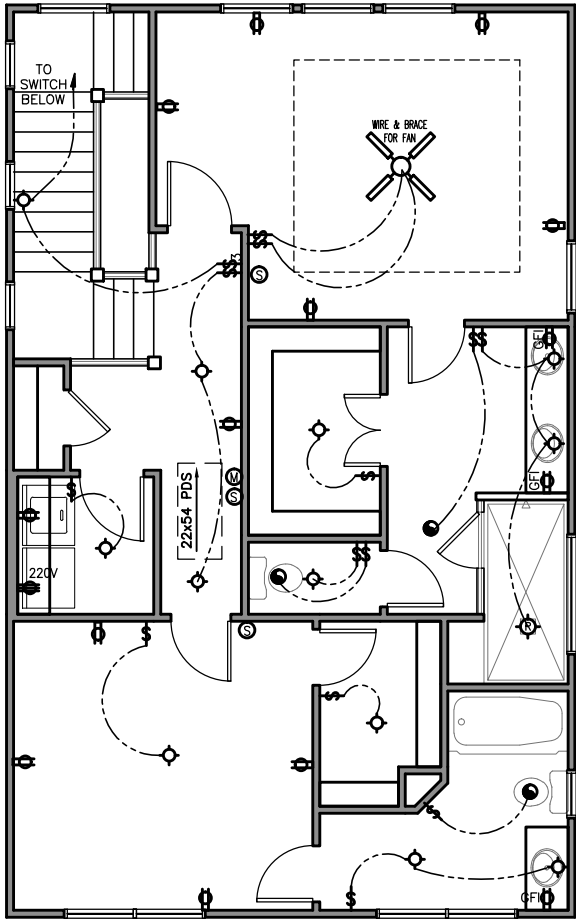
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OF

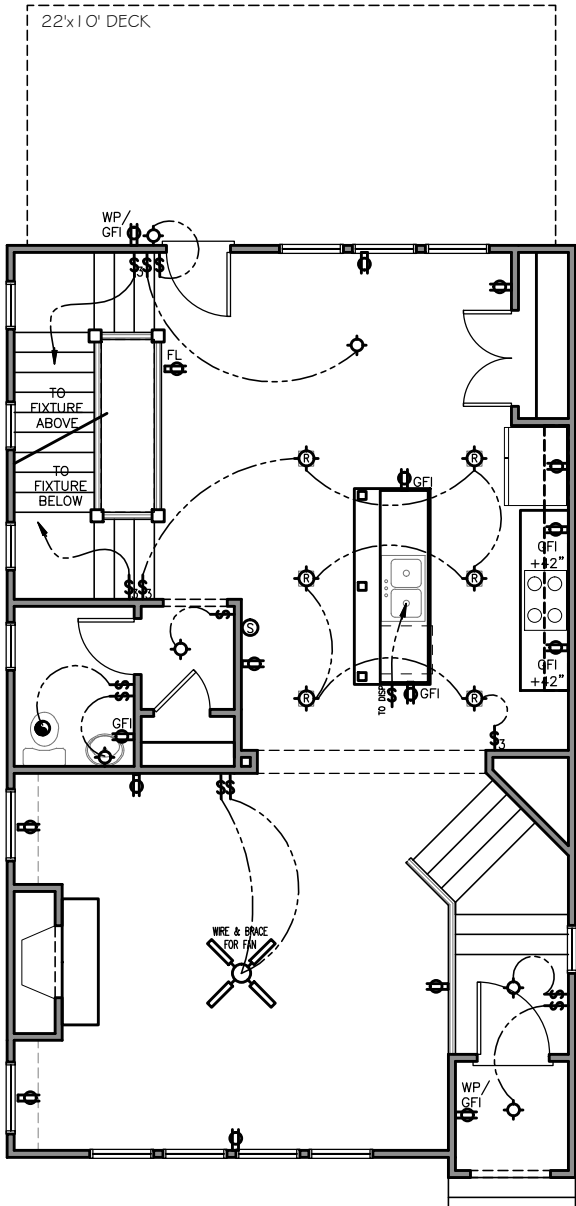
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



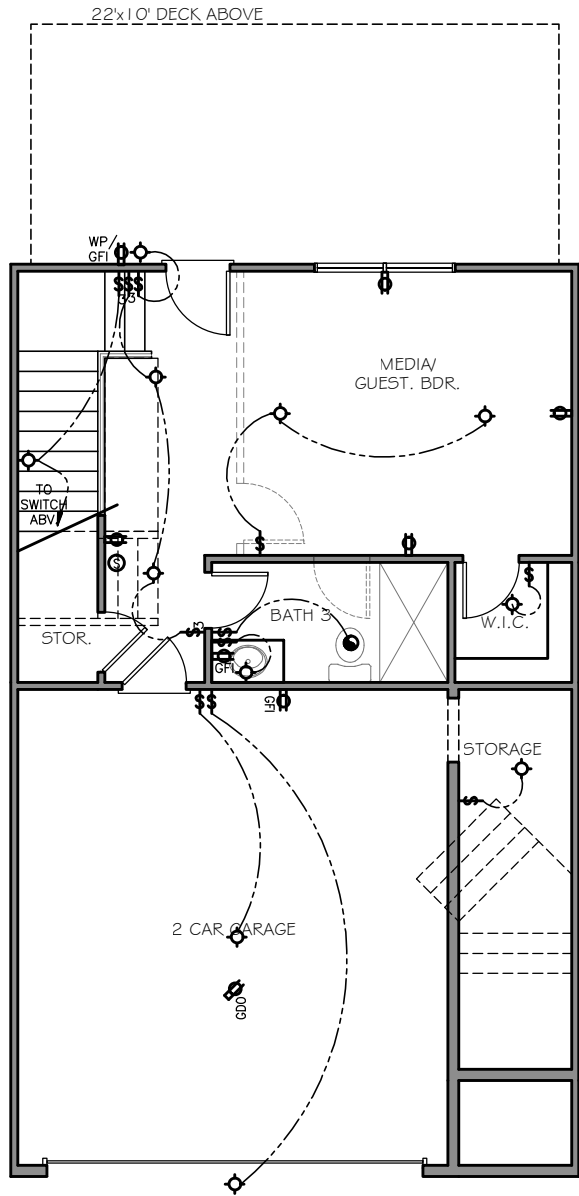
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

ACADIA

HOMES & NEIGHBORHOODS

2100 POWERS FERRY ROAD, SUITE 300

ATLANTA, GA 30339

OFFICE-770.319.7424

BEDFORD II B

ELECTRICAL PLAN

REVISION CHANGES:

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DRAWN BY: MHART

SCALE: 3/16"=1'-0"

SHEET NO.




























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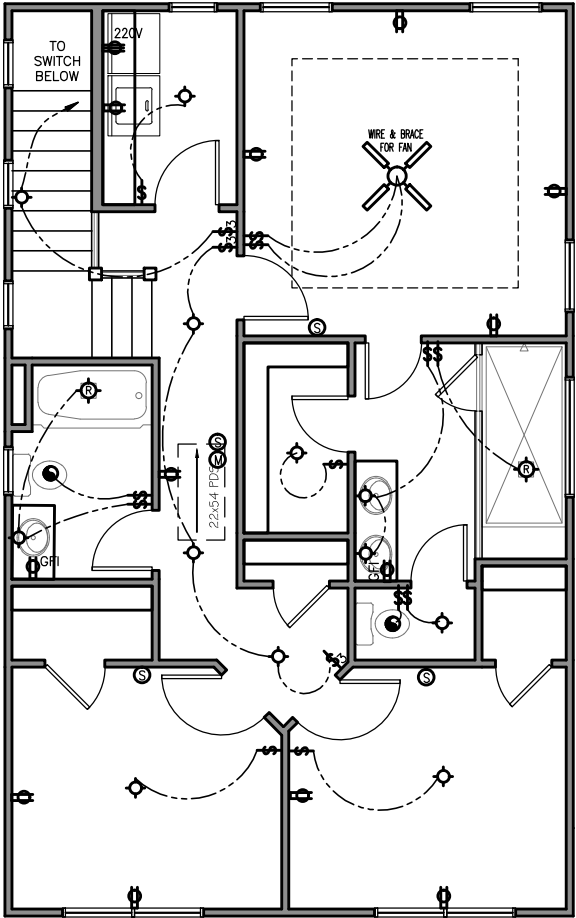
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-220-

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

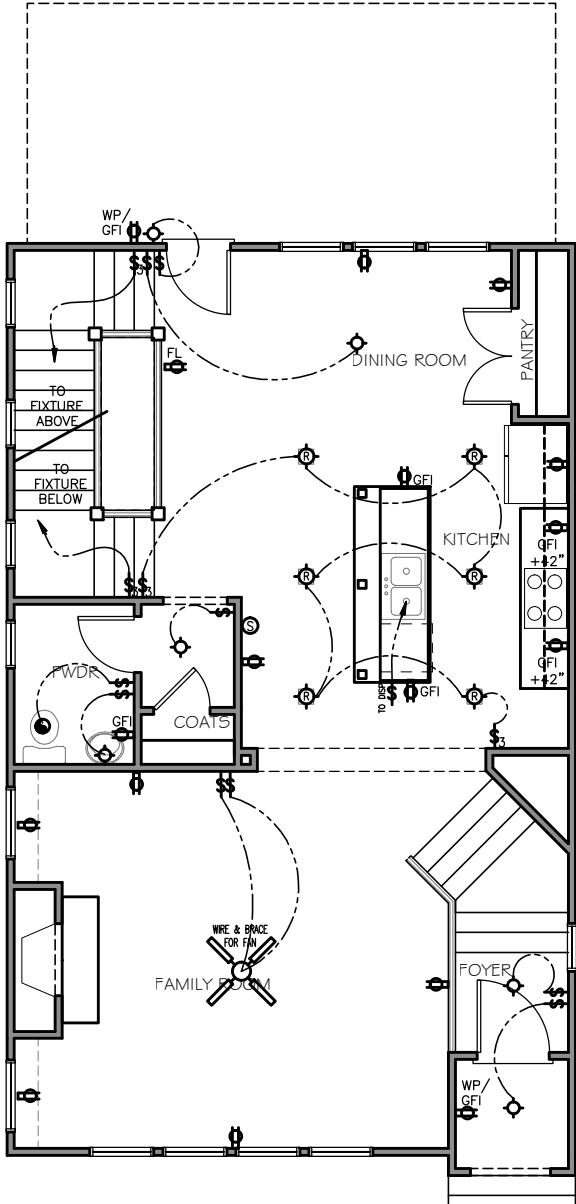
NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL

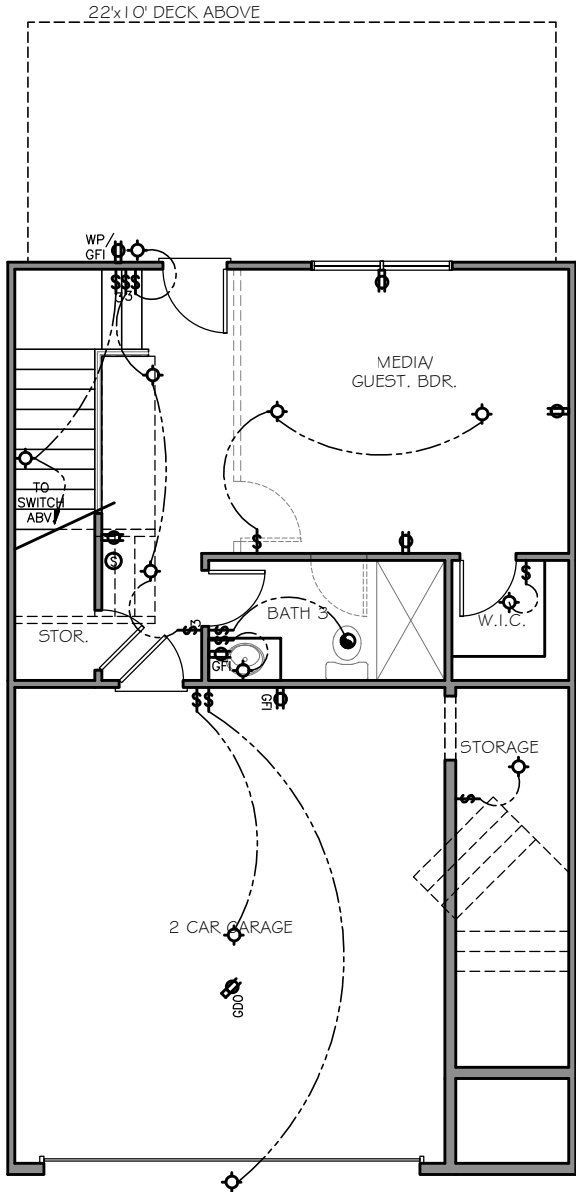
SCALE: 3/16"=1'-0"

3 BEDROOM PLAN



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

BEDFORD II B
ELECTRICAL PLAN

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

SHEET NO.

E0.1B

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THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "A"



THIS ELEVATION IS FOR ILLUSTRATIVE PURPOSES ONLY.

Elevation "B"

NOTE: SEE ELEVATION FACADE PLAN FOR WINDOW SIZES & LOCATIONS, PORCH ROOF, LOCATION OF BRICK VENEER & BUILDING OFFSETS.

NOTA: VEA LAS ELEVACIONES DE LA FACHADA PARA TAMAÑO Y LOCALIZACION DE VENTANAS, PORCHES, PAREDES DE LADRILLO Y EL PERIMETRO DE LA CASA.

ARCHITECTURAL INDEX	
PAGE NO.	PAGE NAME
A0.0	COVER SHEET
A1.0	SLAB AND TERRACE PLAN
A1.1	1ST AND 2ND FLOOR PLAN
A1.1A	OPT. 2ND FLOOR PLAN
A1.2	FRONT ELEVATION A
A1.3	FRONT ELEVATION B
A1.4	LEFT ELEVATION (END UNIT)
A1.5	RIGHT ELEVATION (END UNIT)
A1.6	ROOF PLAN AND REAR ELEV.
E0.0	FIRST FLOOR ELECTRICAL PLAN
E0.1	SECOND FLOOR ELECTRICAL PLAN

DESIGN CRITERIA:

2012 International Residential Code with Georgia Amendments

Roof:
Live Load = 20 psf
Dead Load = 10 psf
Floors:
Live Load = 40 psf
Dead Load = 10 psf

Wind Speed = 90 mph
Max. Height = 35'-0"

MORGAN II

Terrace - 419 sf
1st Floor - 887 sf
2nd Floor - 907 sf
Total - 2,213 sf
Garage - 455 sf

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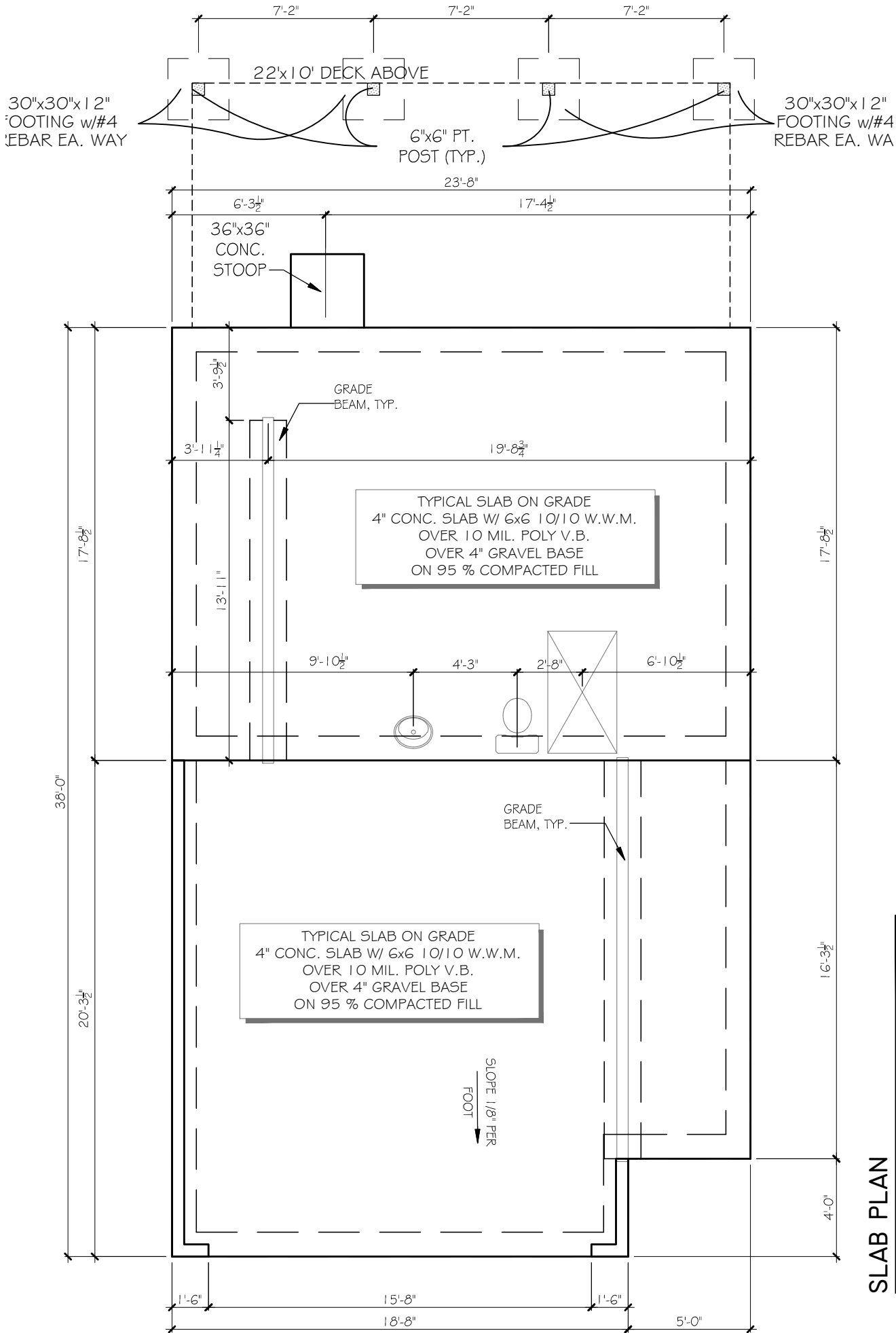
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PLOT DATE: 07/30/2015

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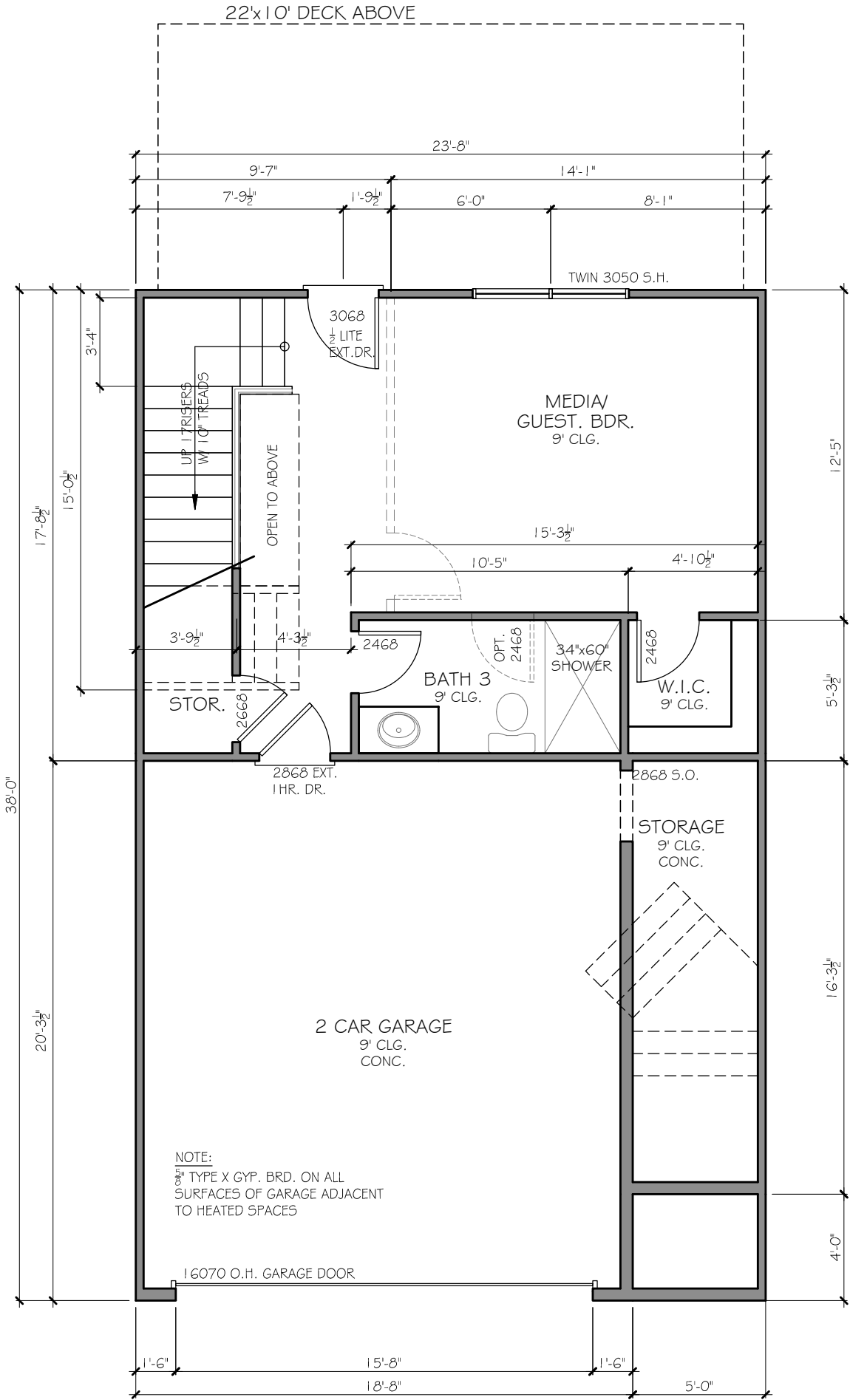
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SHEET NO.



SLAB PLAN

SCALE: 3/16"=1'-0"



TERRACE PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES:		
REV. NO.	REV. DATE	
1	10/08/07	
2	11/19/07	

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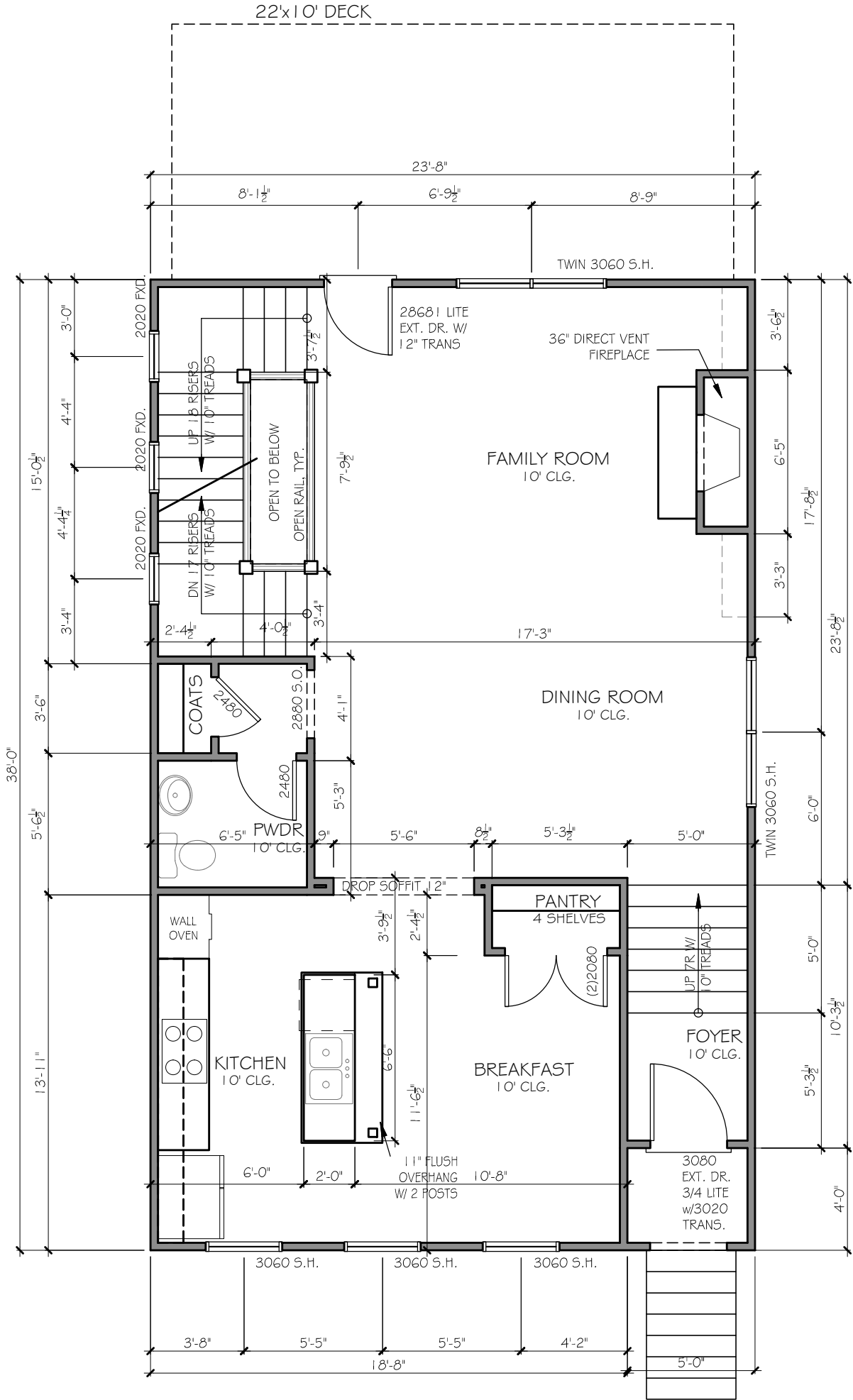
PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: NONE

SHEET NO.

A1.0



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES:		
REV. NO.	REV.	DATE
1		10/08/07
2		11/19/07

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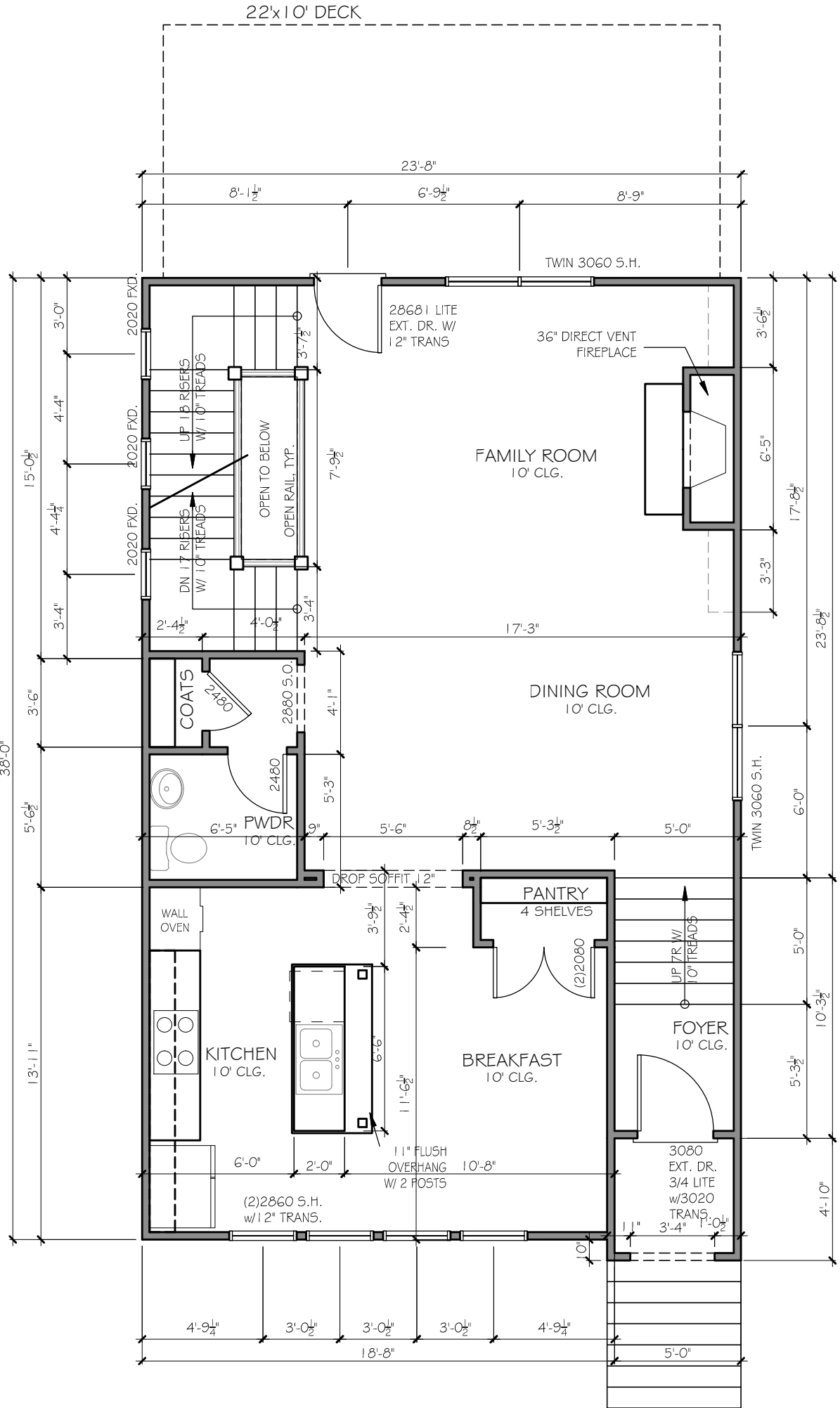
PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: NONE

SHEET NO.

A1.1A#13.



1ST FLOOR PLAN

SCALE: 3/16"=1'-0"

REVISION CHANGES:	
REV. NO.	REV. DATE
1	10/08/07
2	11/19/07

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: NONE

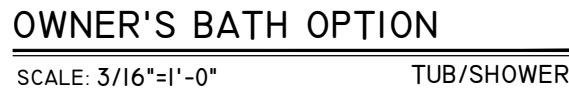
SHEET NO.

A1.1B

MORGAN II B

1ST FLOOR PLAN

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424



MORGAN II A
2ND FLOOR PLAN

ACADIA
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2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
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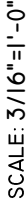
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MHART

SCALE:

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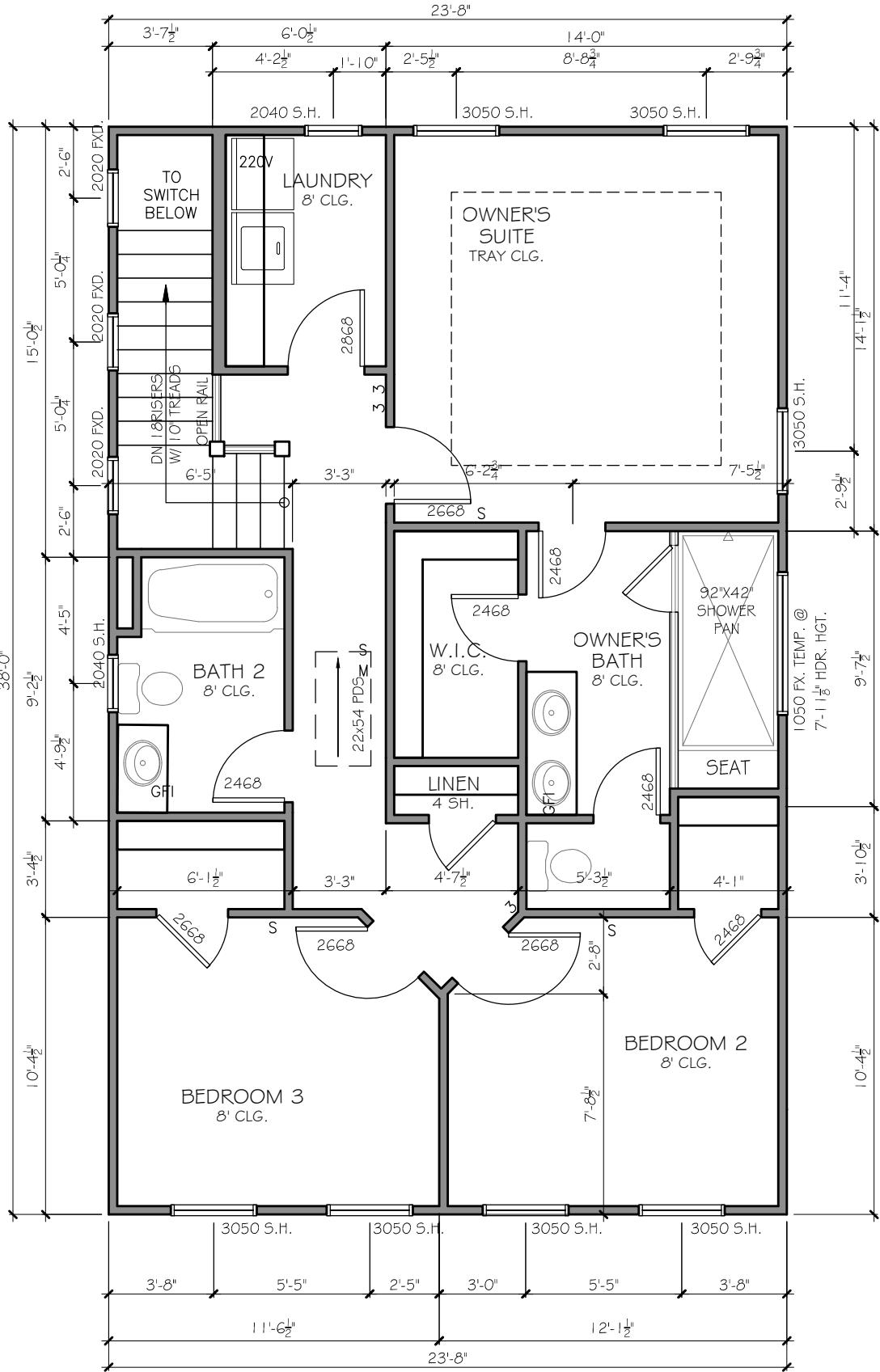
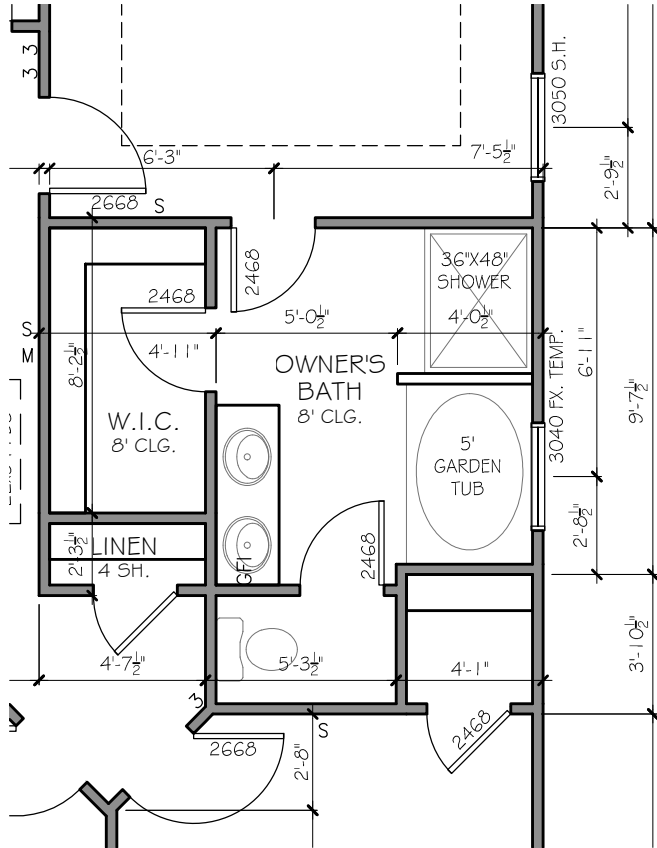
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A1.2/#13.

2 OF 13

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2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
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2ND FLOOR PLAN



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1	10/08/07	
2	11/19/07	

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SUBDIVISION COLLECTION:

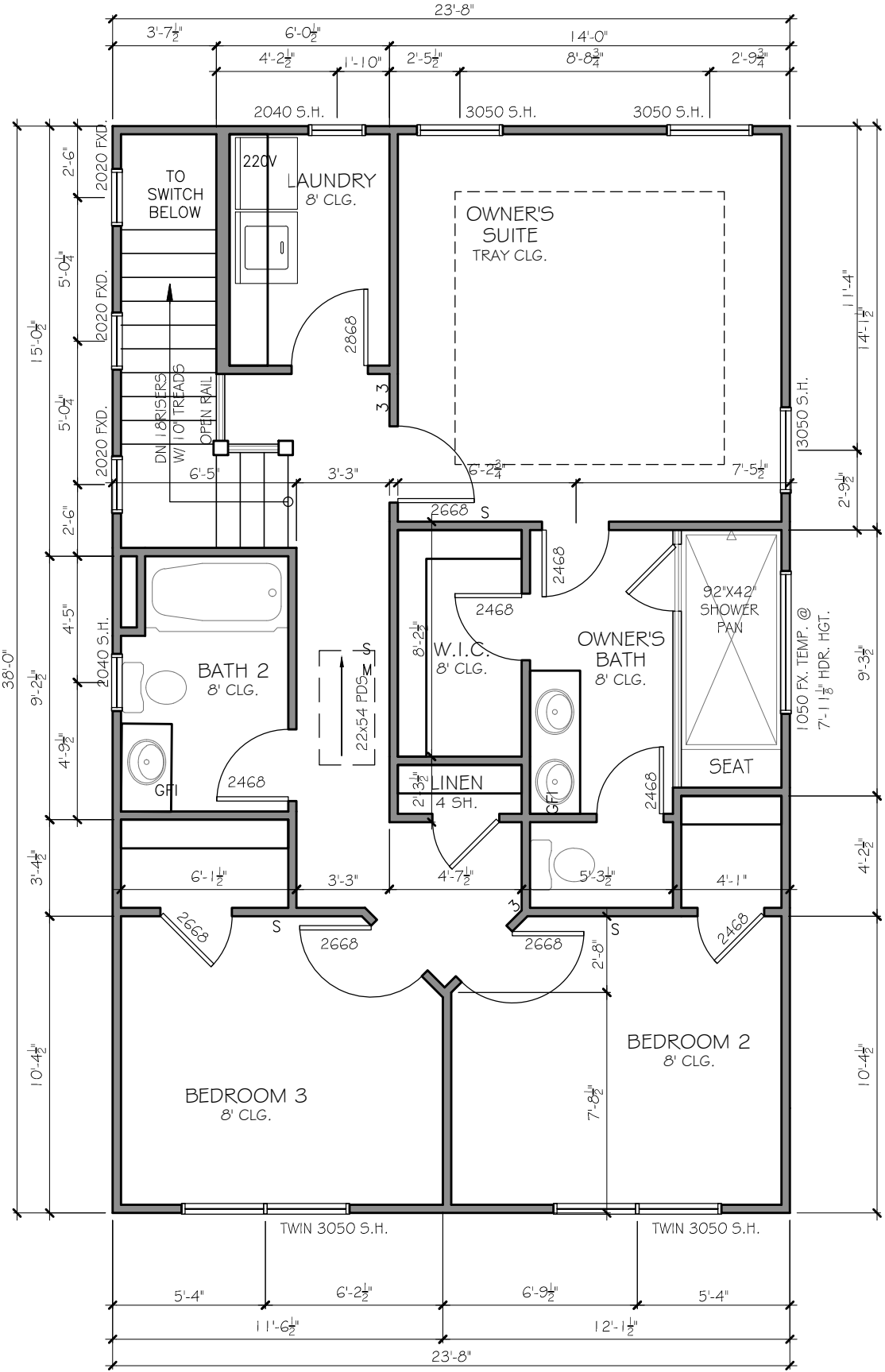
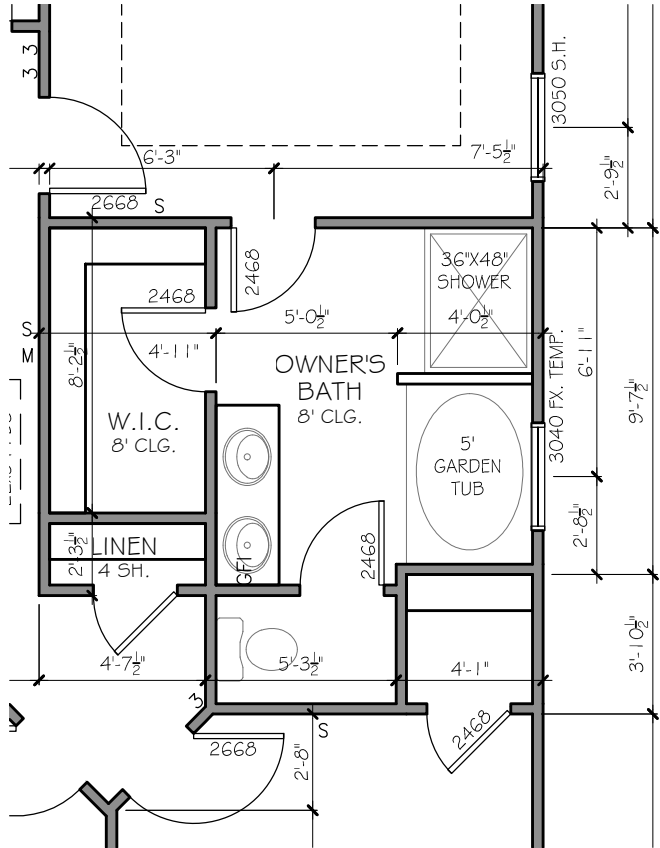
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DRAWN BY: MHART

SCALE: NONE

SHEET NO.

A1.3#13



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MORGAN II B
OPTIONAL 2ND. FLOOR

REVISION CHANGES:		
REV. NO.	REV.	DATE
1		10/08/07
2		11/19/07

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

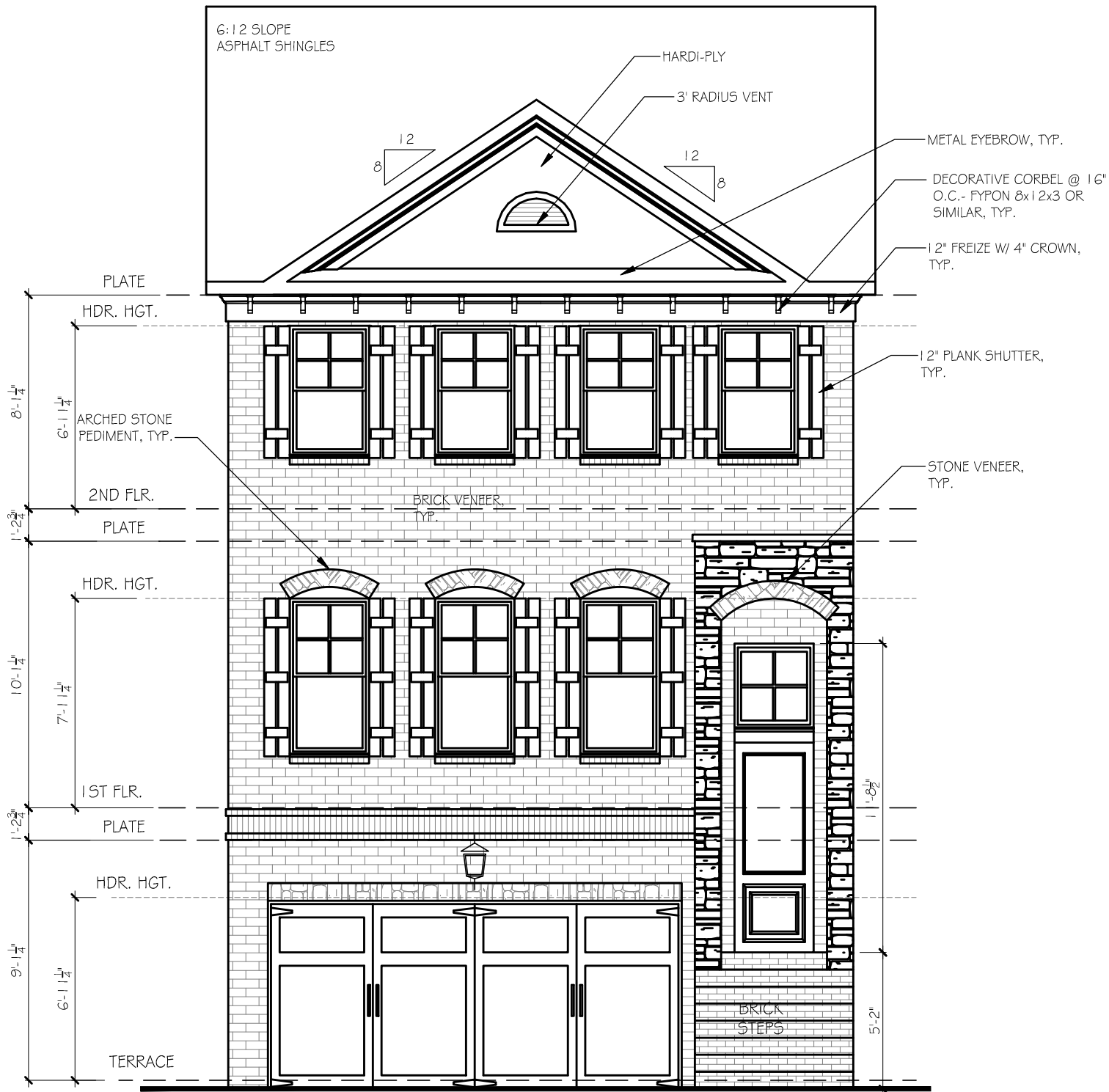
DRAWN BY: MHART

SCALE: NONE

SHEET NO. A1.3B

2 OF 13

#13



MORGAN II

FRONT ELEVATION A

REVISION CHANGES:		
REV. NO.	REV.	DATE

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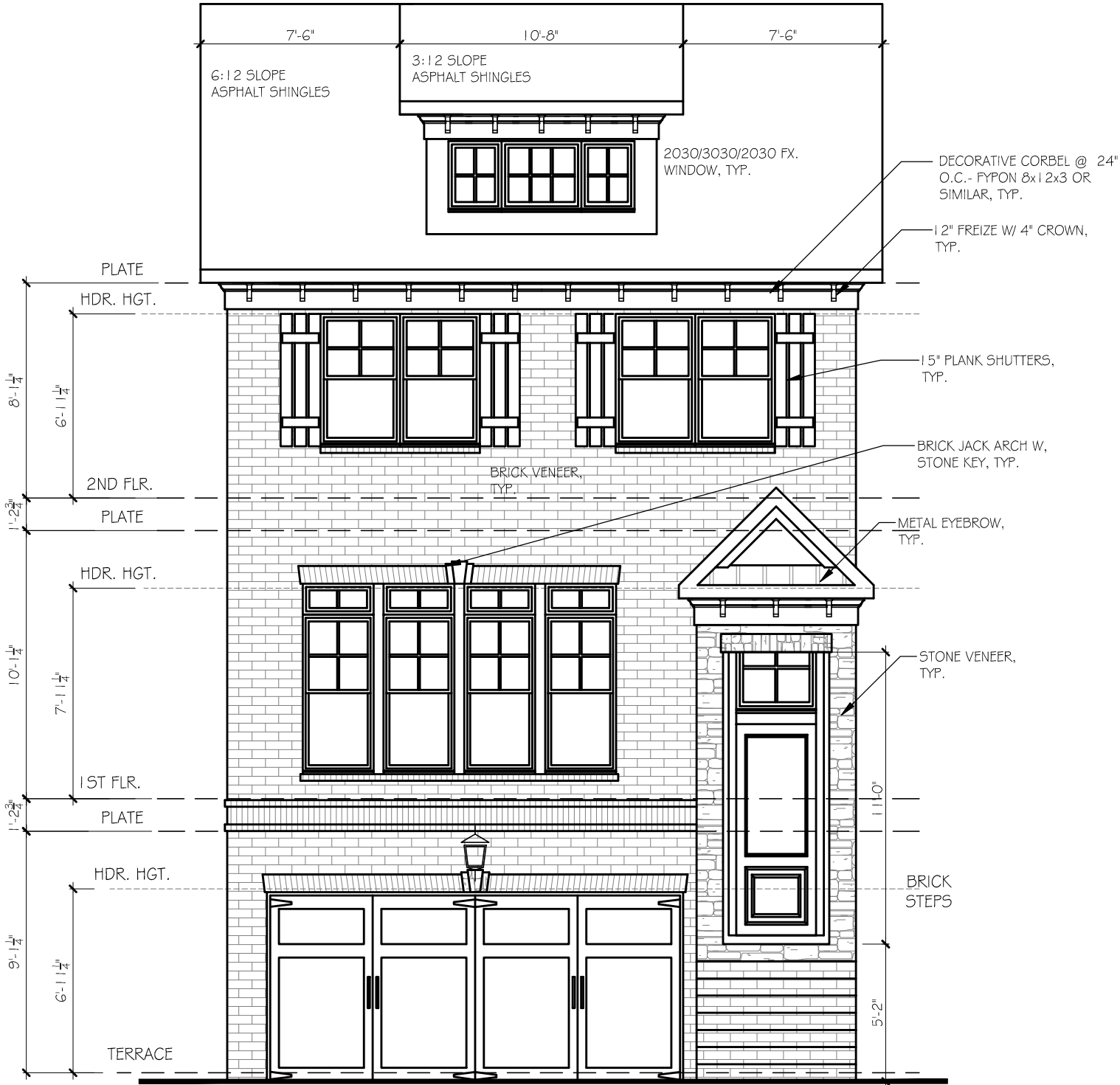
PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

SHEET NO.

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ELEVATION B

SCALE: 3/16"=1'-0"

MORGAN II
FRONT ELEVATION B

REVISION CHANGES:		
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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

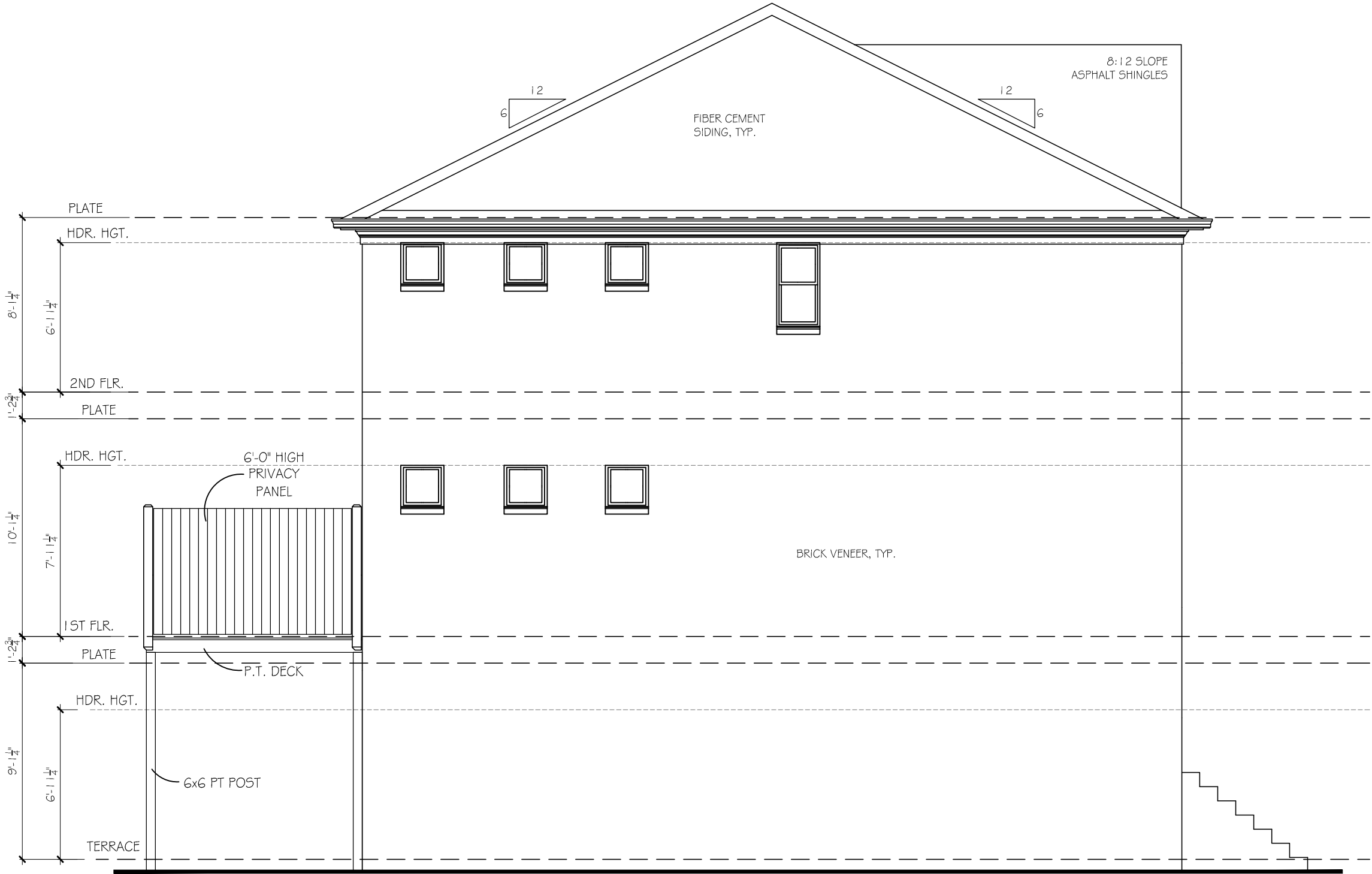
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SCALE: 3/16"=1'-0"

SHEET NO.

A1.4B

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LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

ACADIA
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2100 POWERS FERRY ROAD, SUITE 300
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OFFICE-770.319.7424

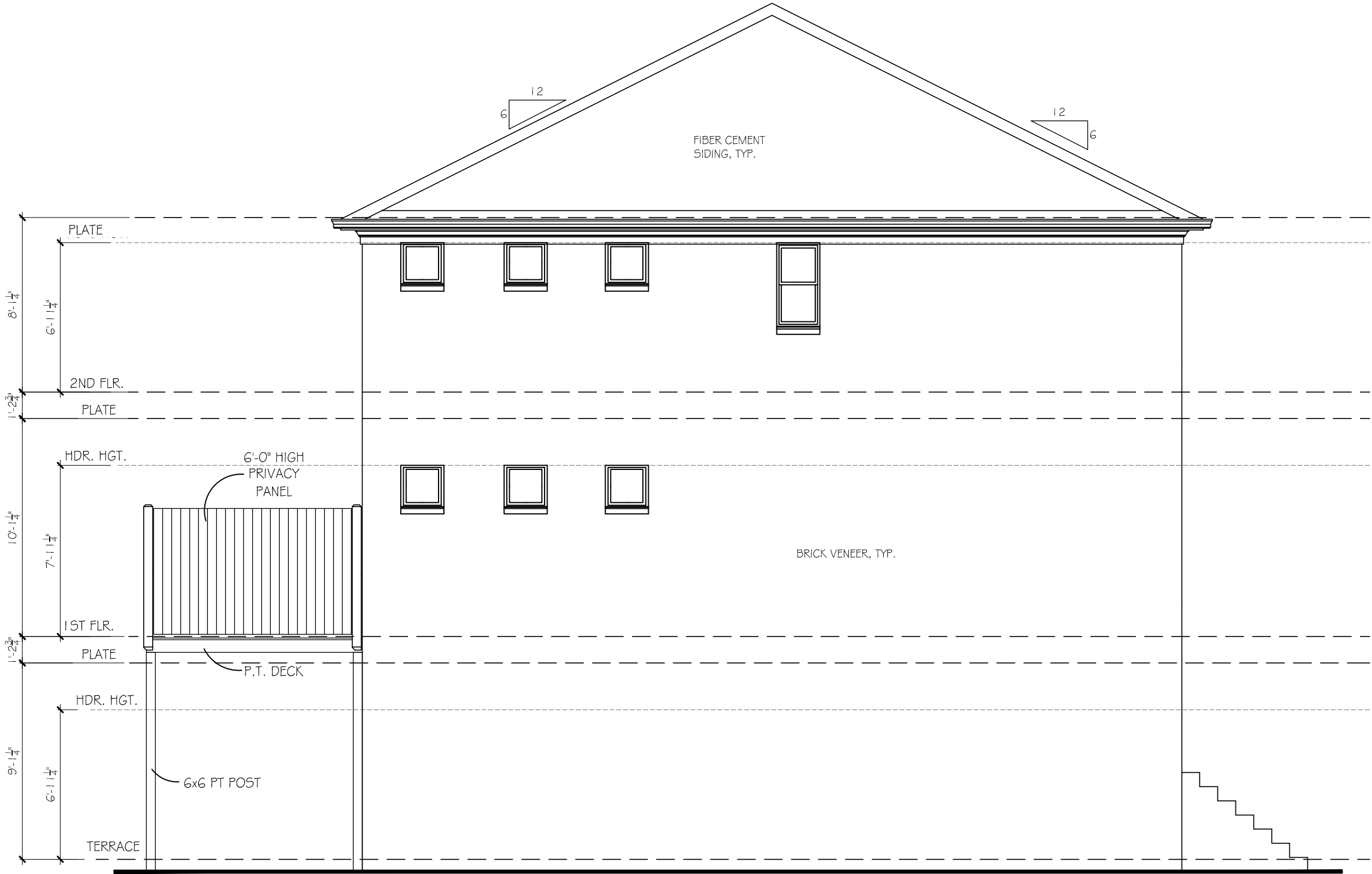
MORGAN II A

LEFT ELEVATION (END)

A1.5/13.

OF

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LEFT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

MORGAN II B

LEFT ELEVATION (END)

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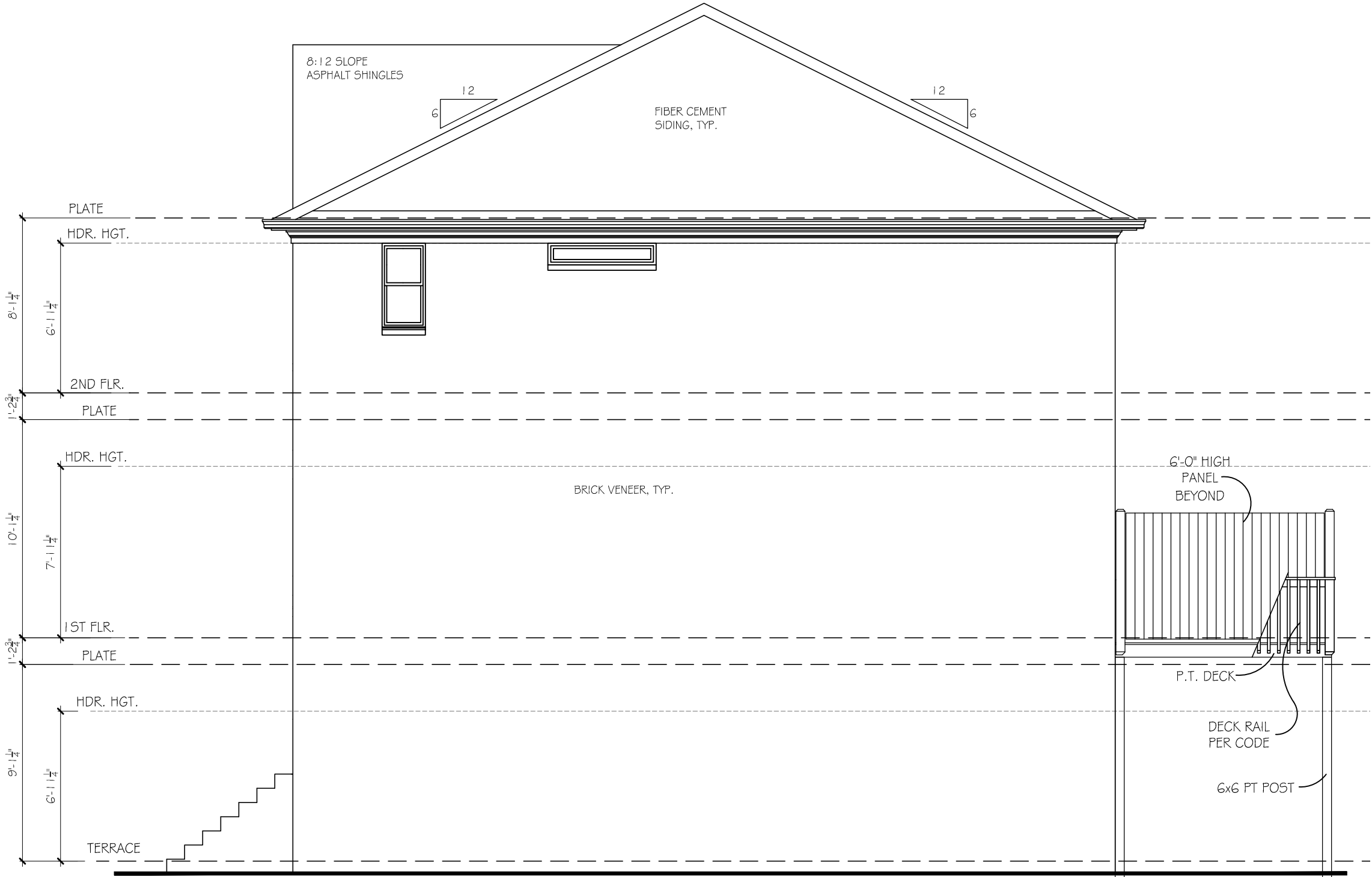
SCALE: 3/16"=1'-0"

SHEET NO.

A1.5B

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RIGHT ELEVATION (END UNIT)
SCALE: 3/16"=1'-0"

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
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MORGAN II A
RIGHT ELEVATION (END)

REVISION CHANGES:	
REV. NO.	REV. DATE

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PLOT DATE: 07/30/2015

DRAWN BY: **MHART**

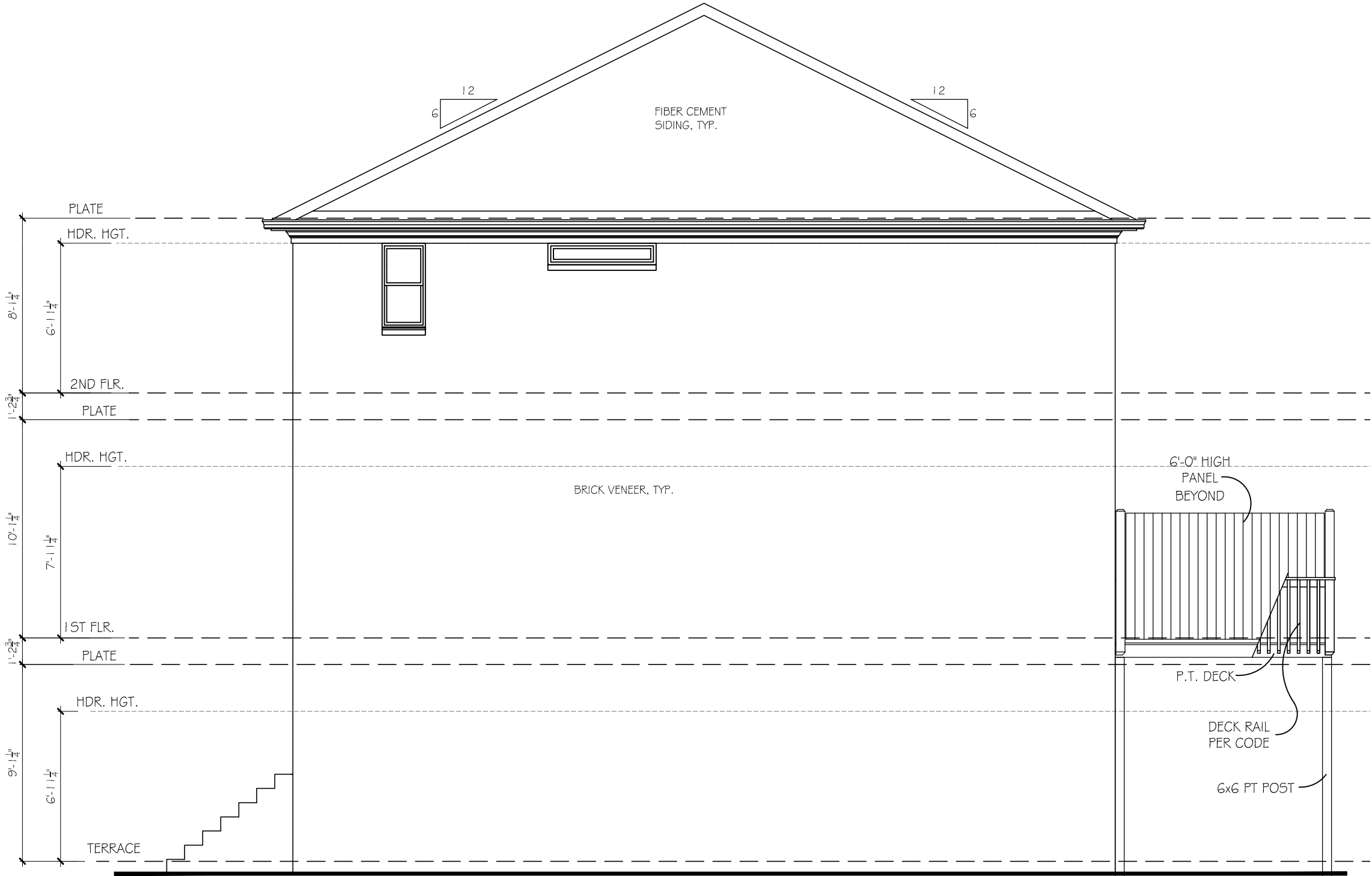
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SHEET NO.

A1.6 #13.

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-234-



RIGHT ELEVATION (END UNIT)

SCALE: 3/16"=1'-0"

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MORGAN II B

RIGHT ELEVATION (END)

REVISION CHANGES:

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PLOT DATE: 07/30/2015

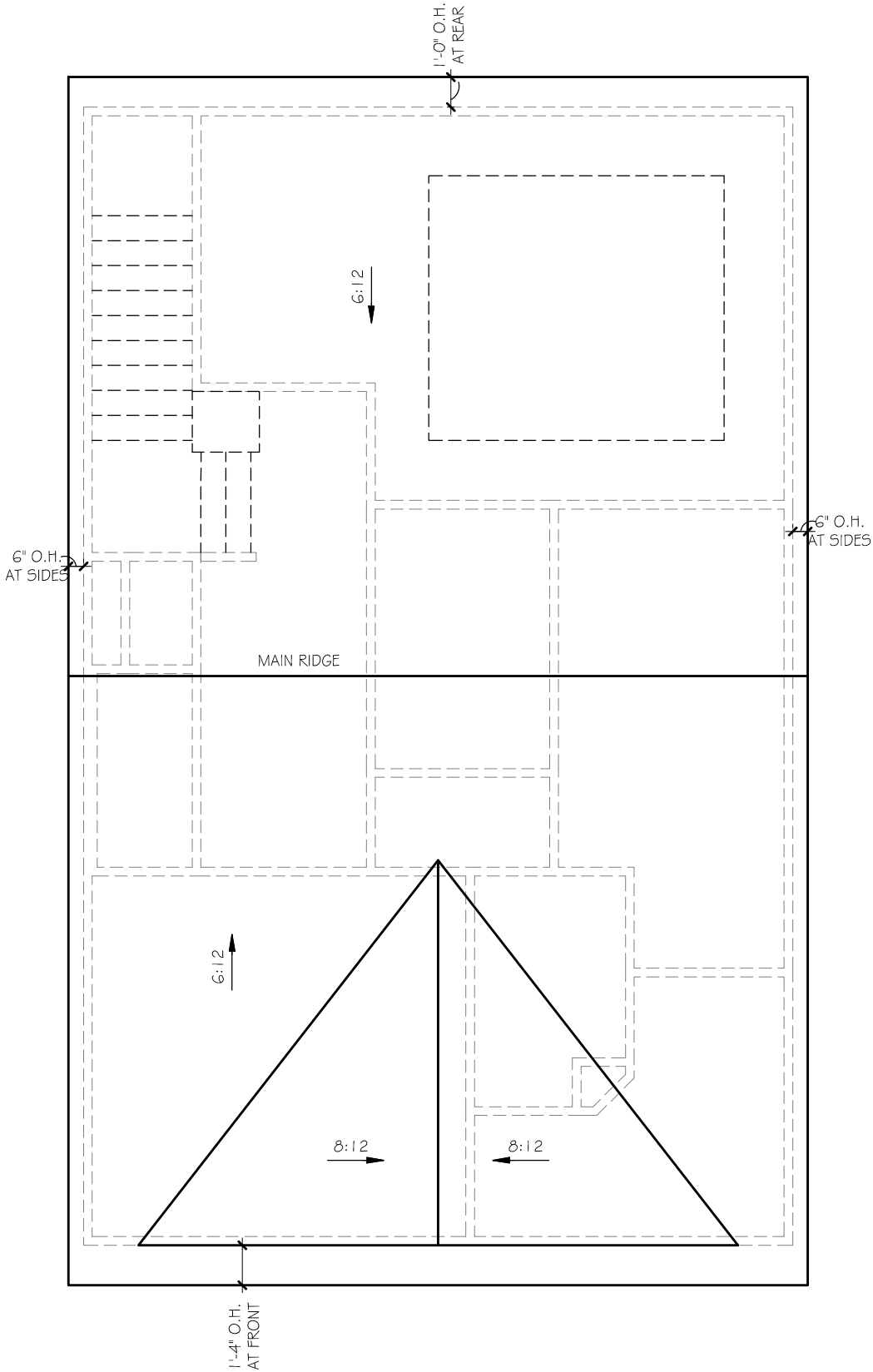
DRAWN BY:
MHART

SCALE:
3/16"=1'-0"

SHEET NO.

A1.6B

OF



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

REVISION CHANGES:		
REV. NO.	REV. DATE	

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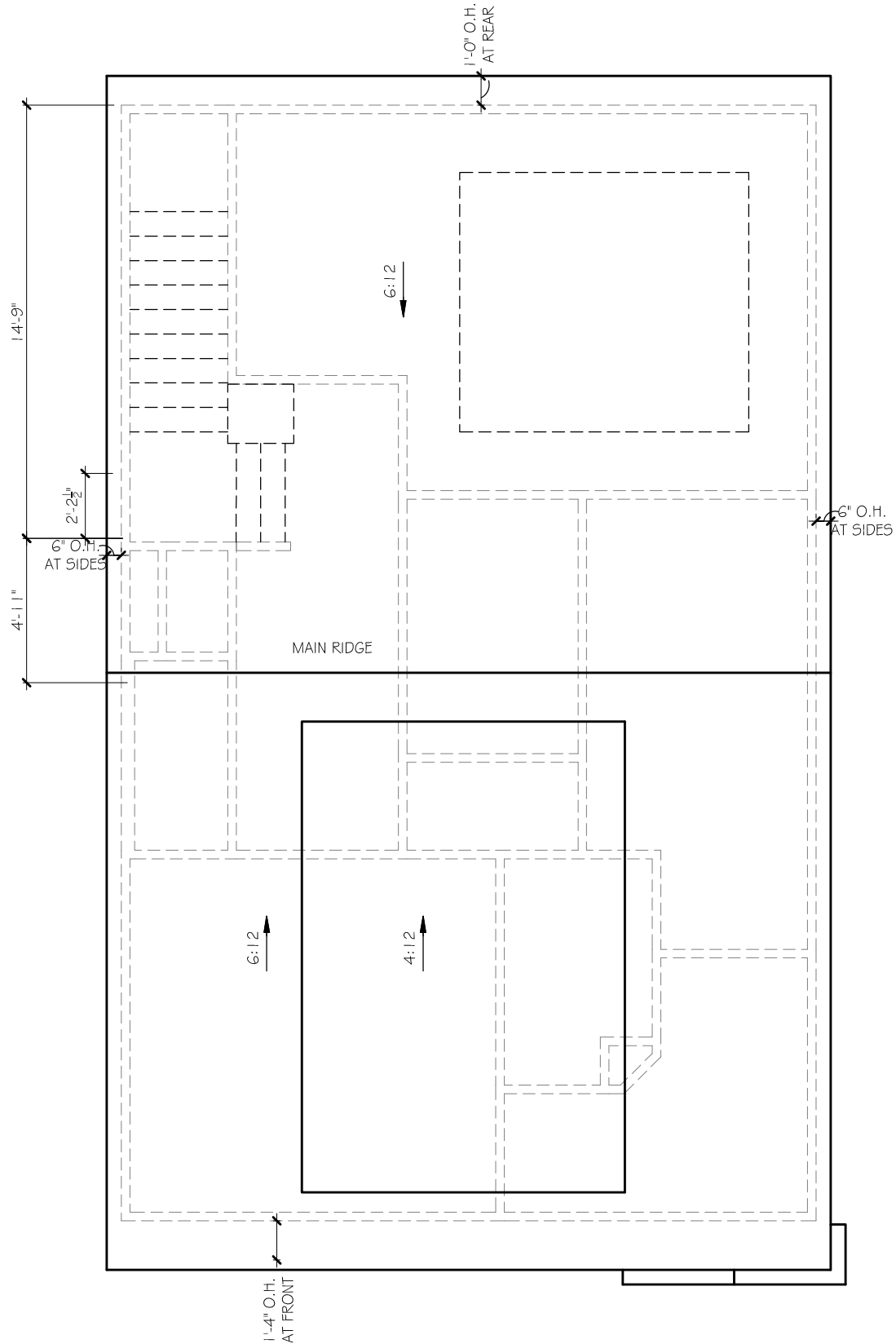
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PLOT DATE: 07/30/2015

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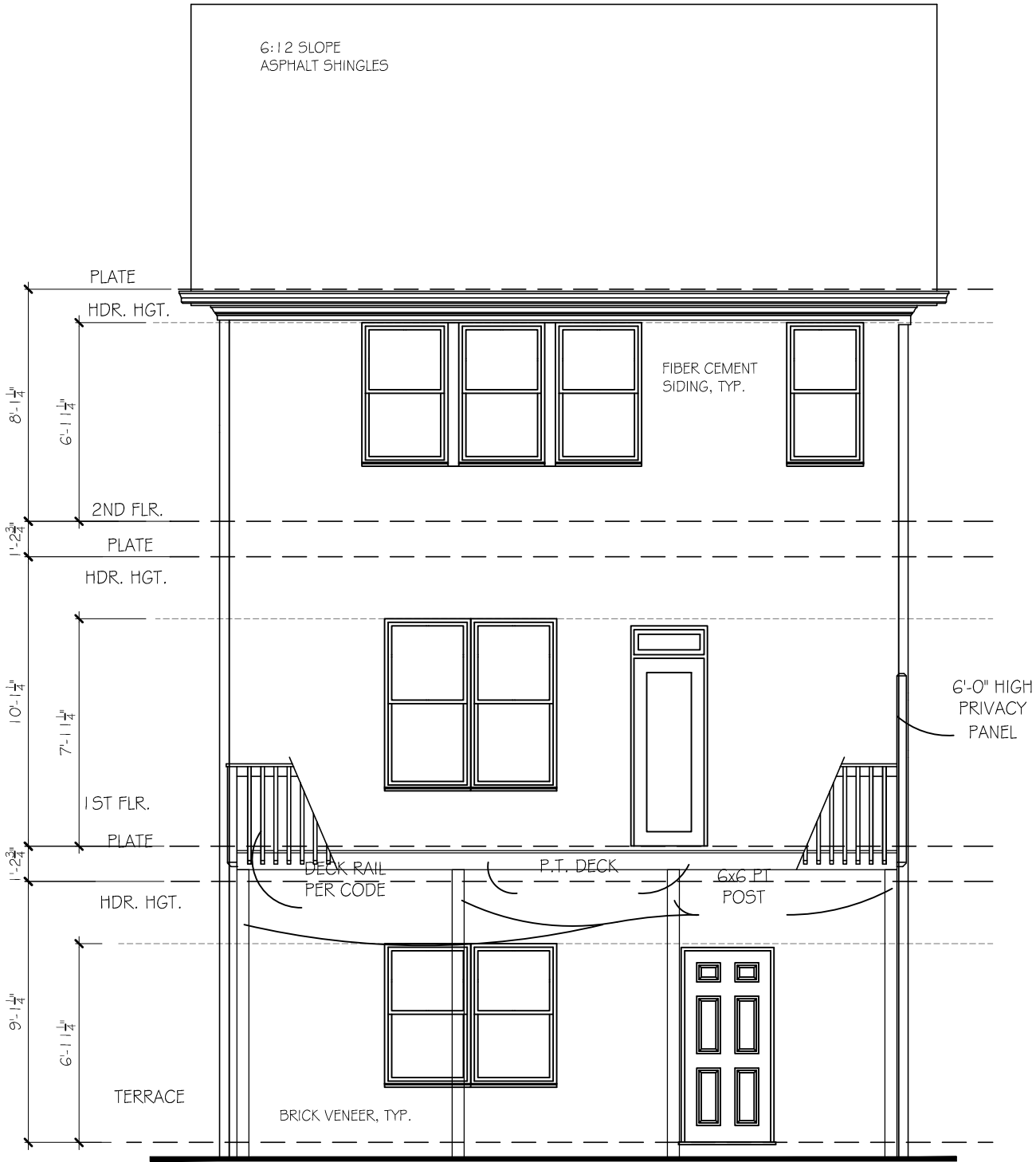
SCALE: 3/16"=1'-0"

SHEET NO.



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

MORGAN II B

ROOF AND REAR ELEV.

REVISION CHANGES:

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

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SCALE: 3/16"=1'-0"

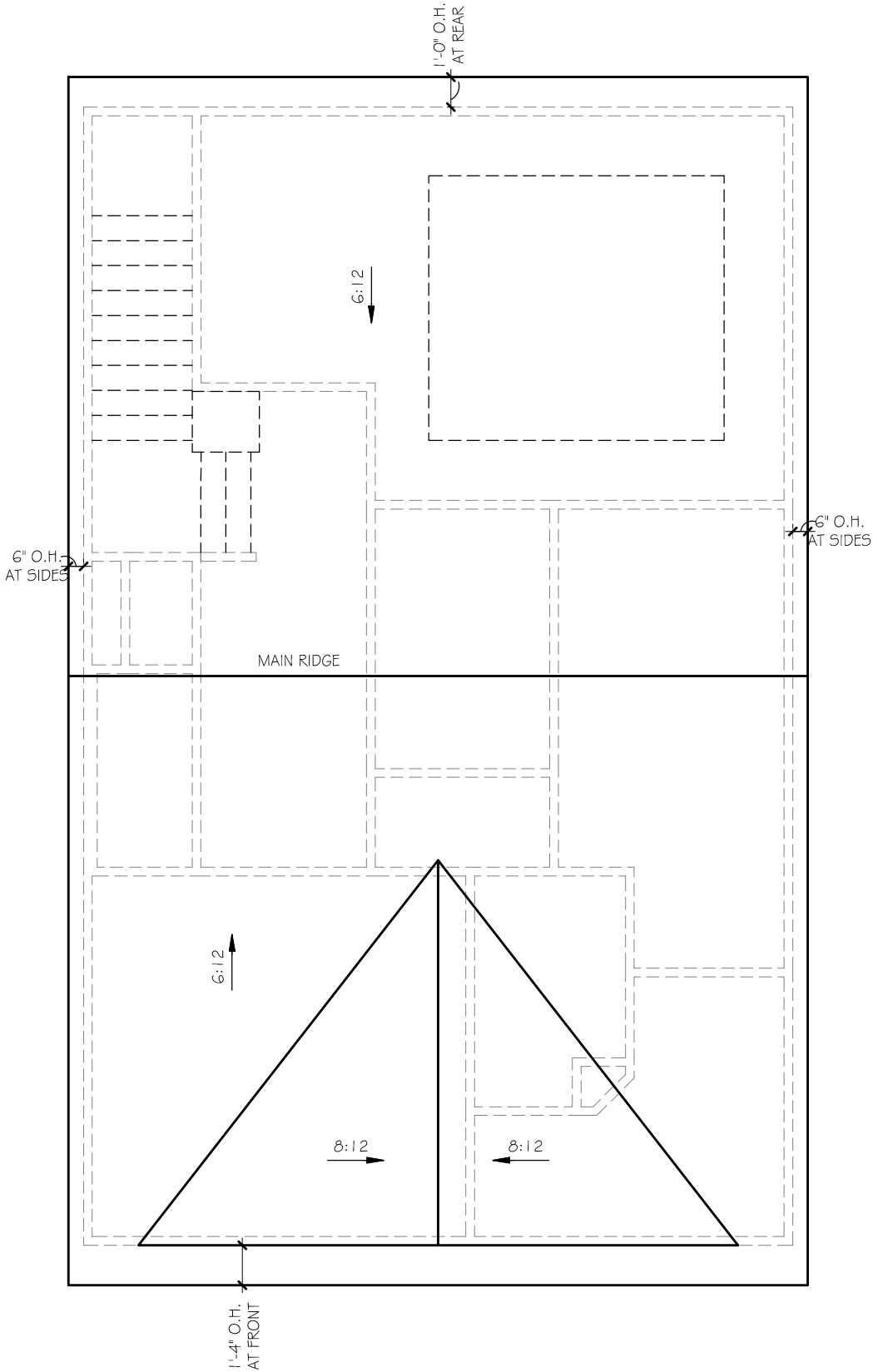
SHEET NO.

A1.7B

OF

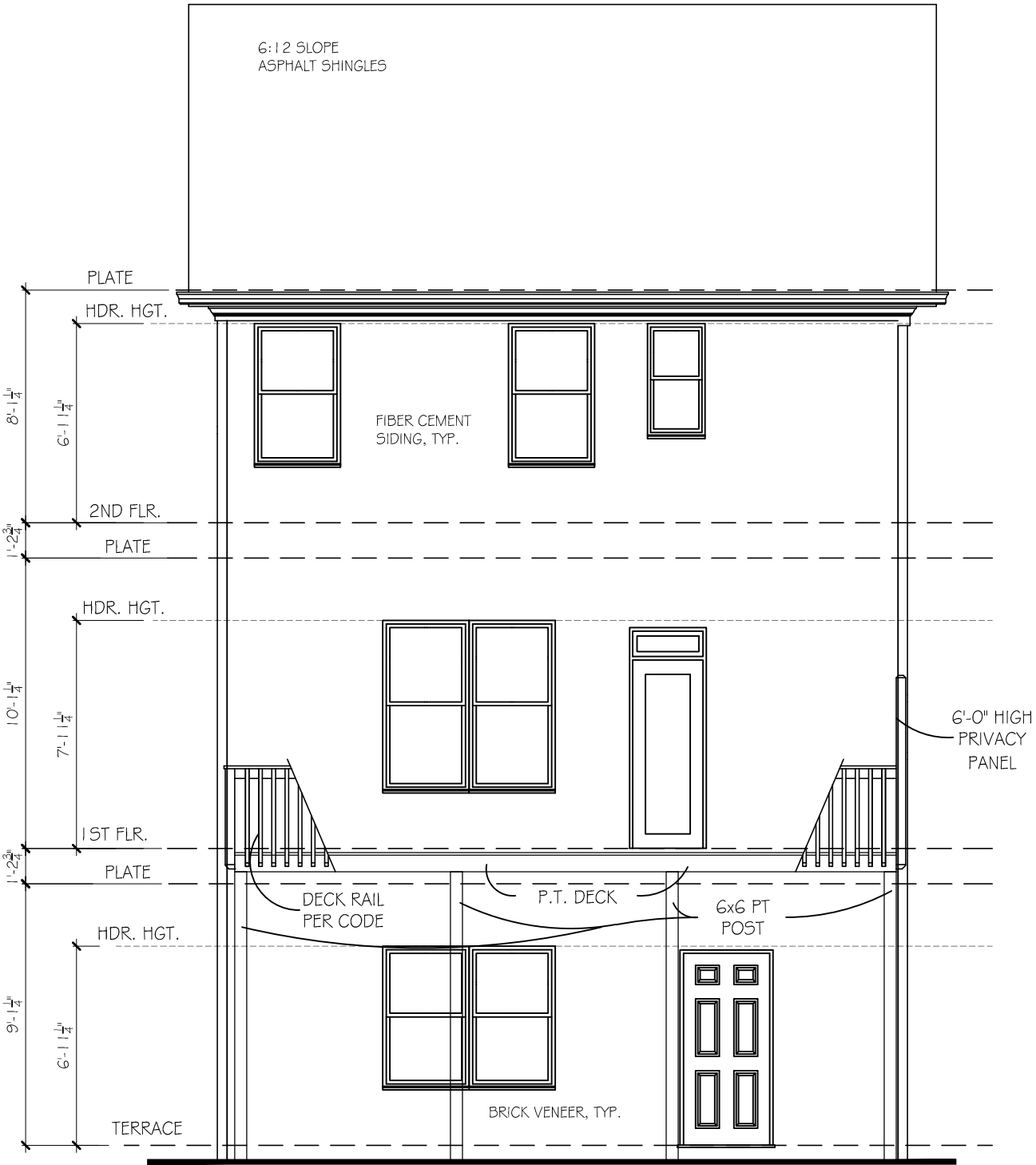
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#13.



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

3 BEDROOM OPTION

REVISION CHANGES:

REV. NO.	REV. DATE

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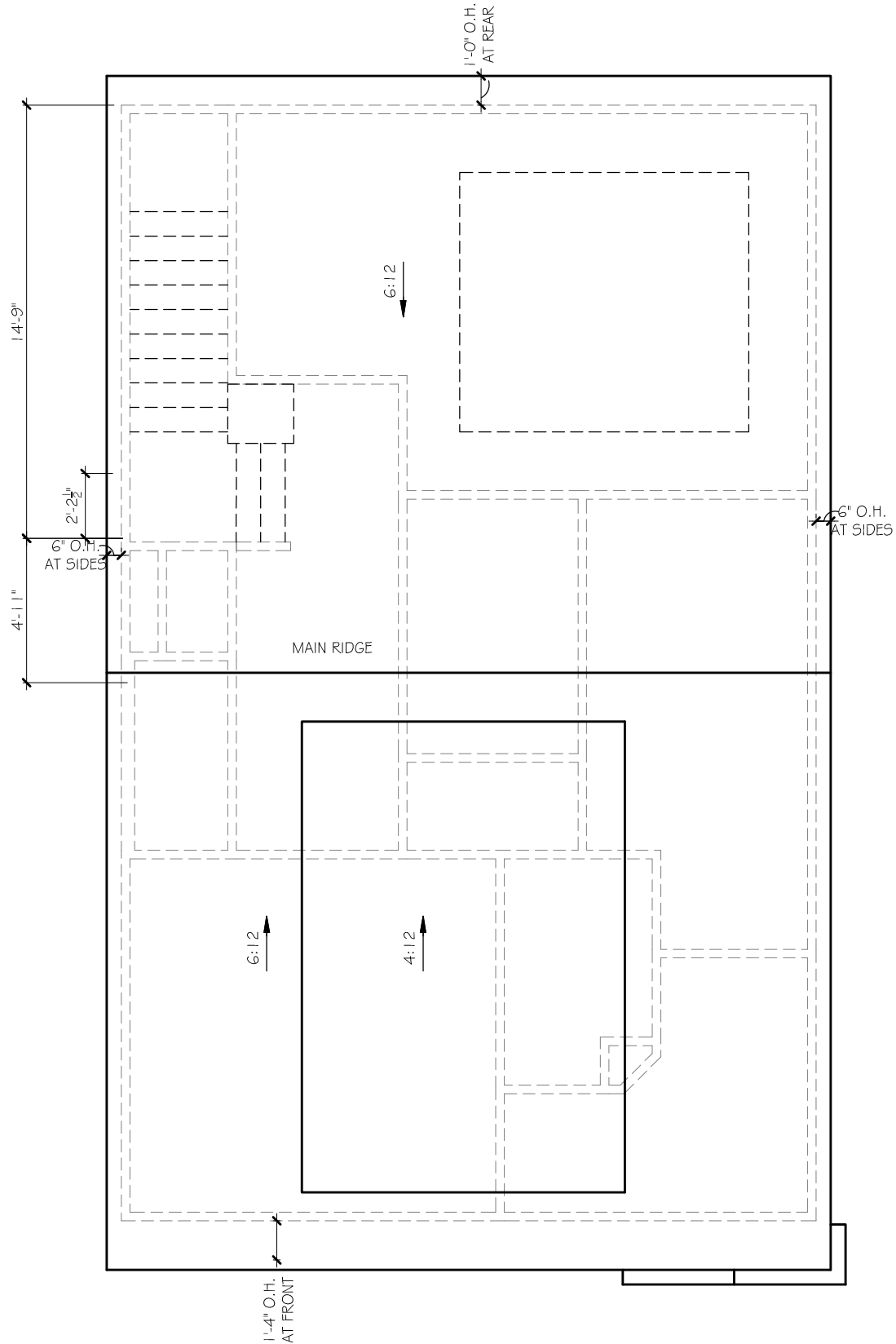
PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

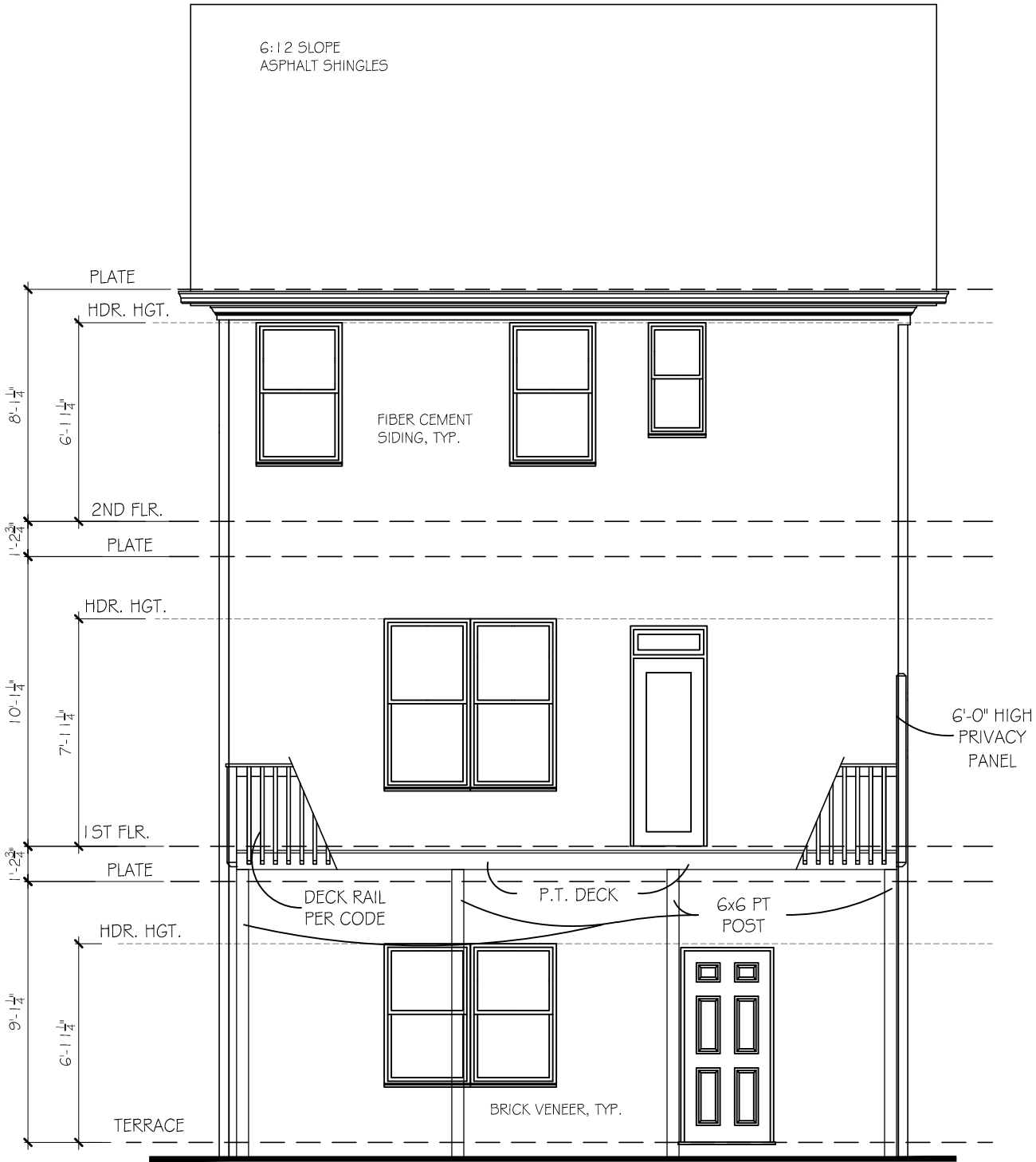
SHEET NO.

A1.8/13



REAR ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

3 BEDROOM OPT.

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MORGAN II B
ROOF AND REAR ELEV.

REVISION CHANGES:	
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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015




























DRAWN BY:
MHART

SCALE:
3/16"=1'-0"

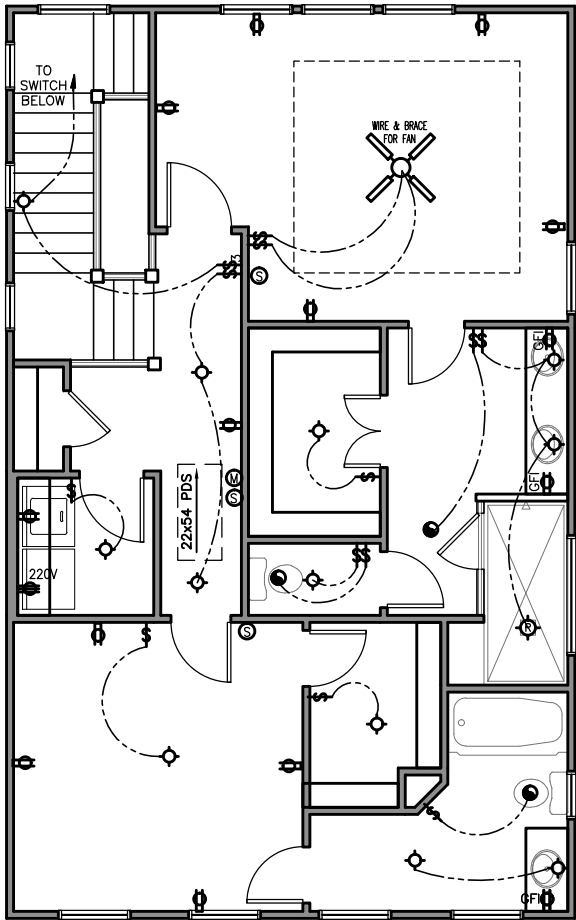
SHEET NO.

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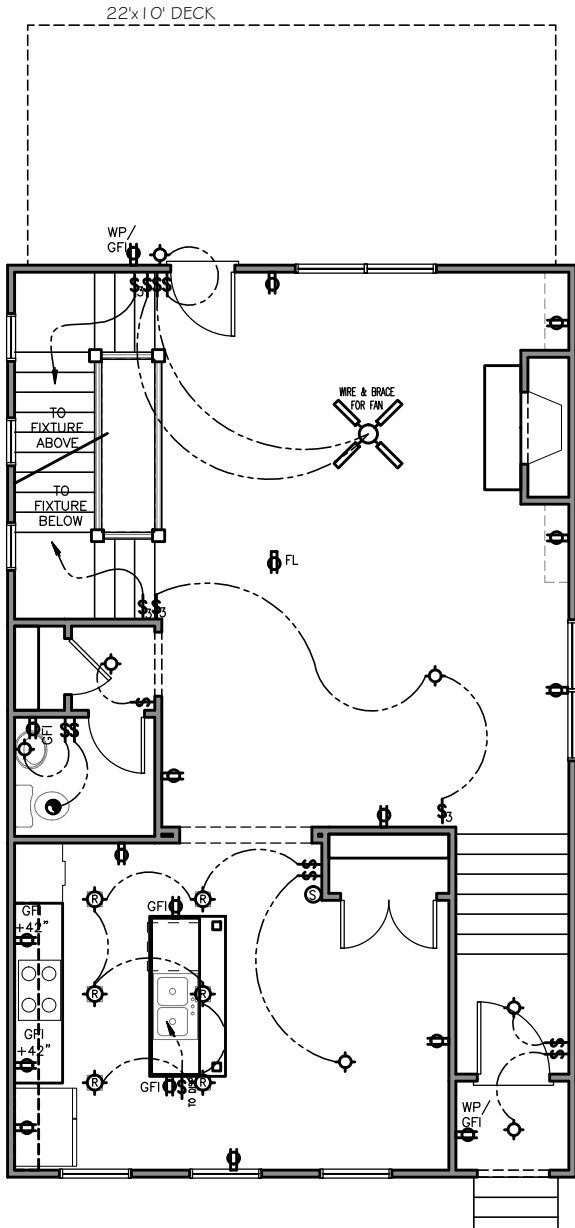
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



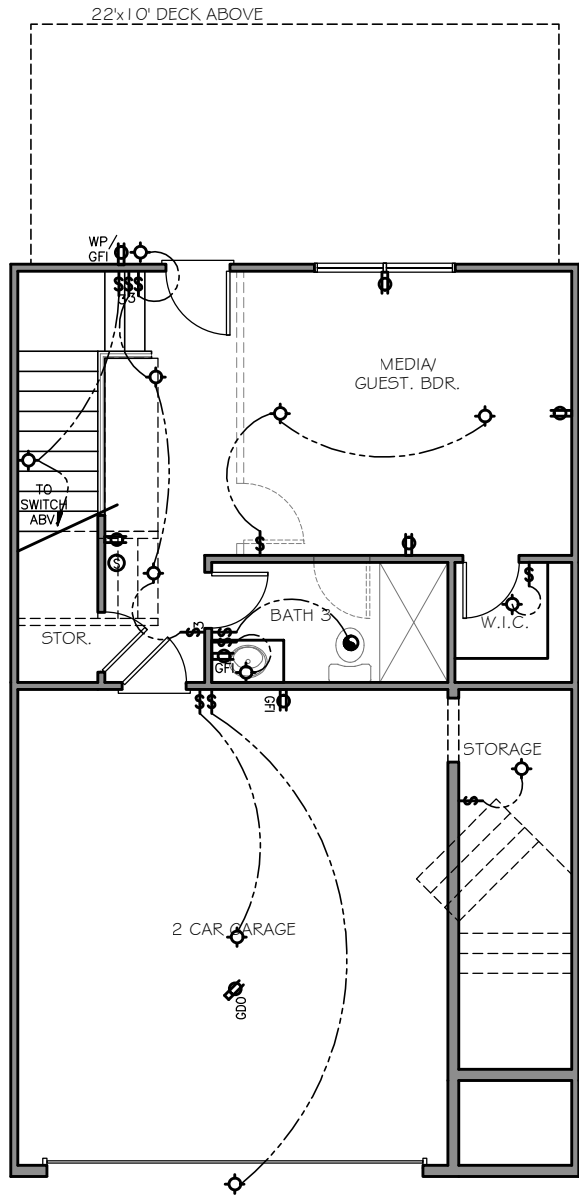
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

MORGAN II A
ELECTRICAL PLAN

REVISION CHANGES:		
REV. NO.	REV.	DATE

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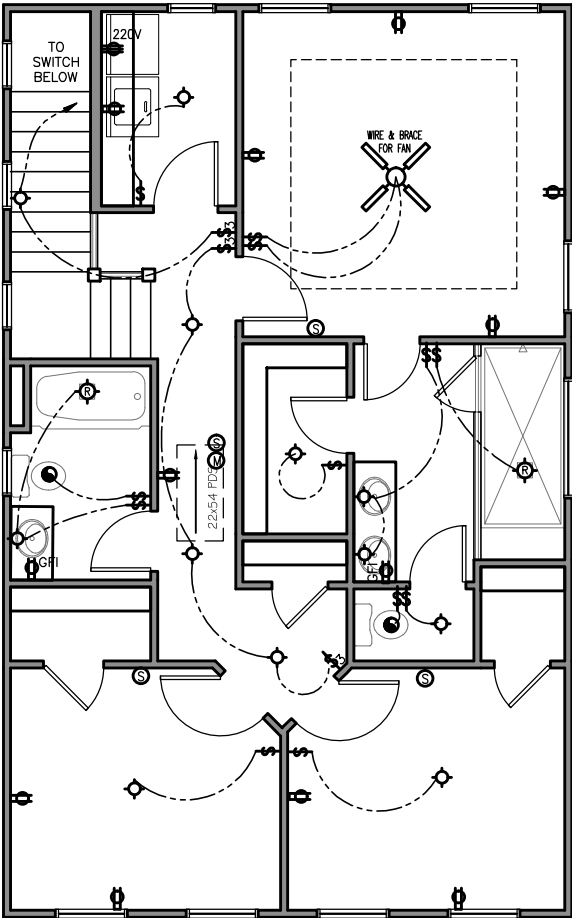
SUBDIVISION COLLECTION:	
PLOT DATE:	07/30/2015
DRAWN BY:	MHART
SCALE:	3/16"=1'-0"
SHEET NO.	

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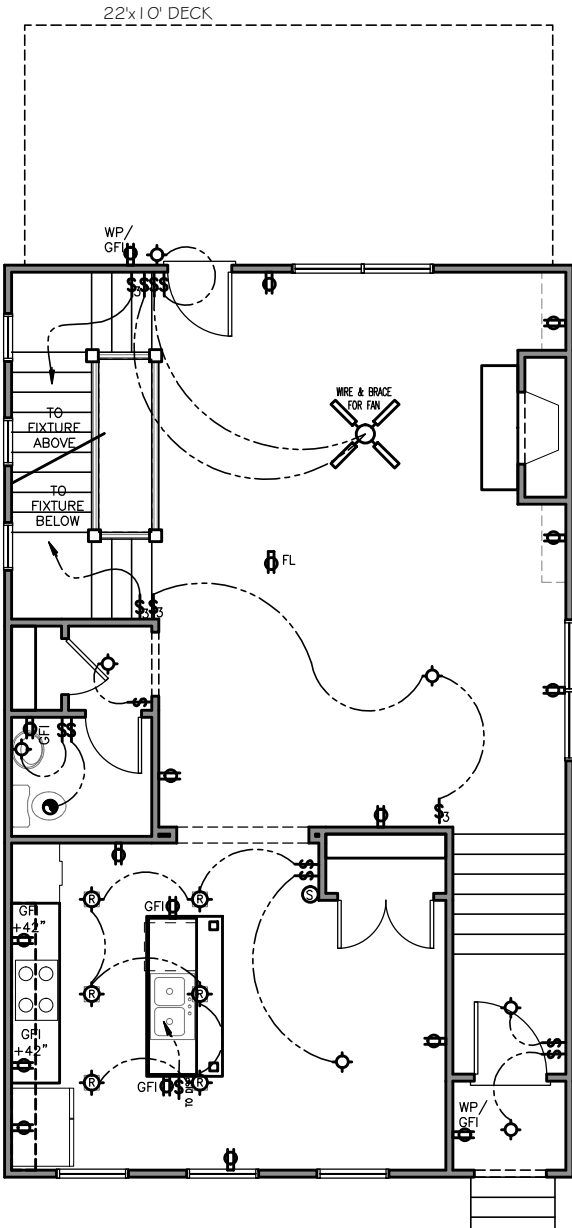
-240-

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

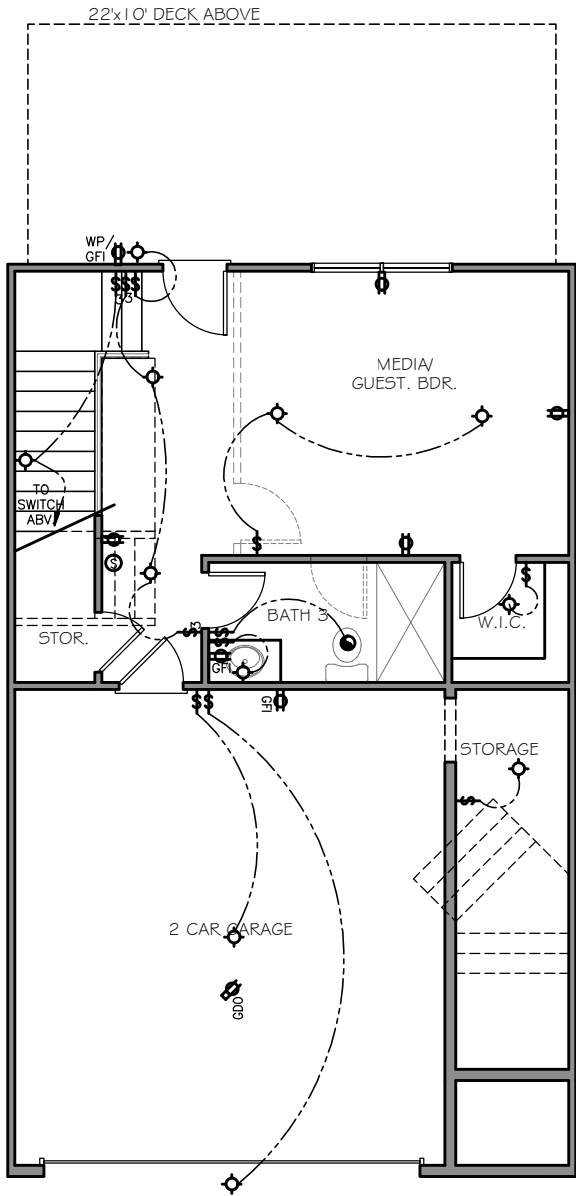
NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

#13.

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

MORGAN II A

ELECTRICAL PLAN

REVISION CHANGES:

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

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SCALE: 3/16"=1'-0"

SHEET NO.

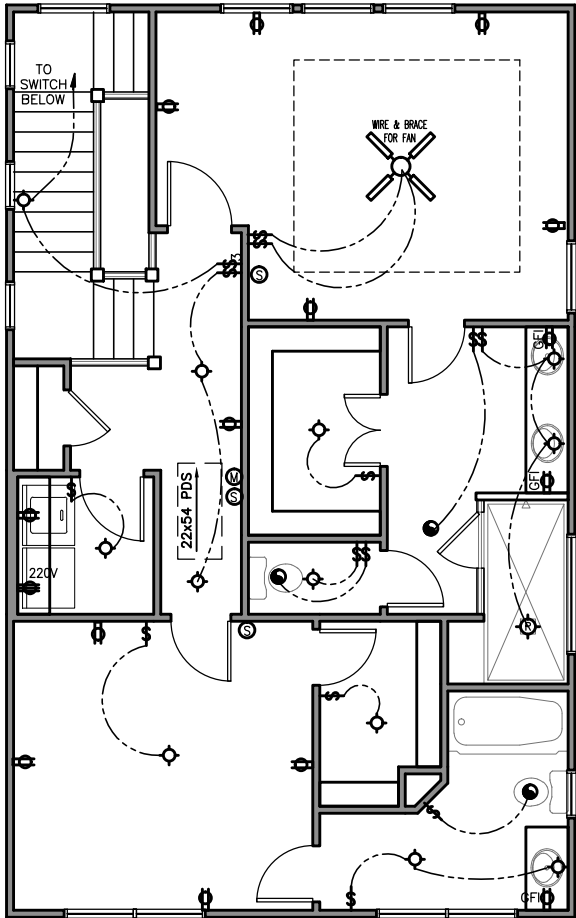
E0.1A

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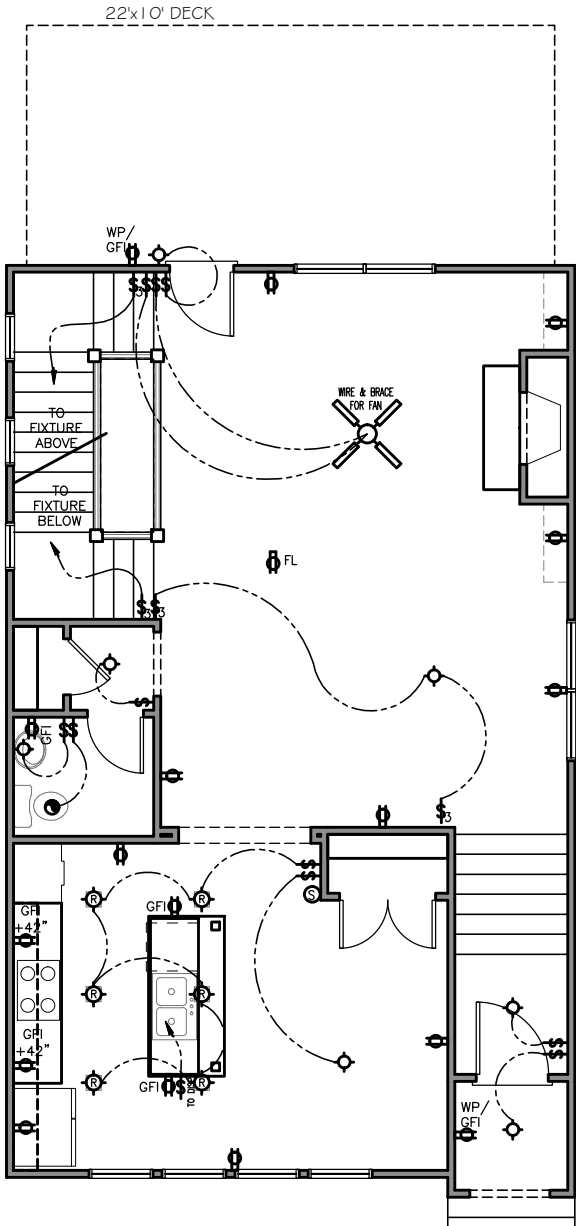
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

NOTE: 1. ALL WALL OUTLETS MOUNTED AT +22" A.F.F. (U.N.O.)
2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



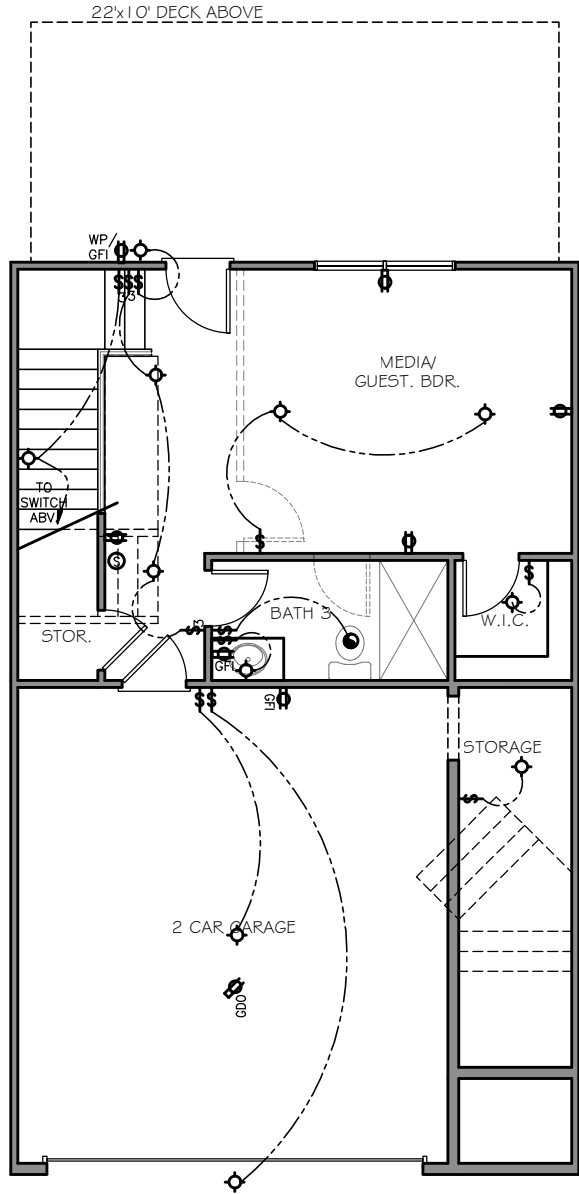
2ND FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



1ST FLOOR ELECTRICAL

SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL

SCALE: 3/16"=1'-0"

MORGAN II B
ELECTRICAL PLAN

REVISION CHANGES:	
REV. NO.	REV. DATE

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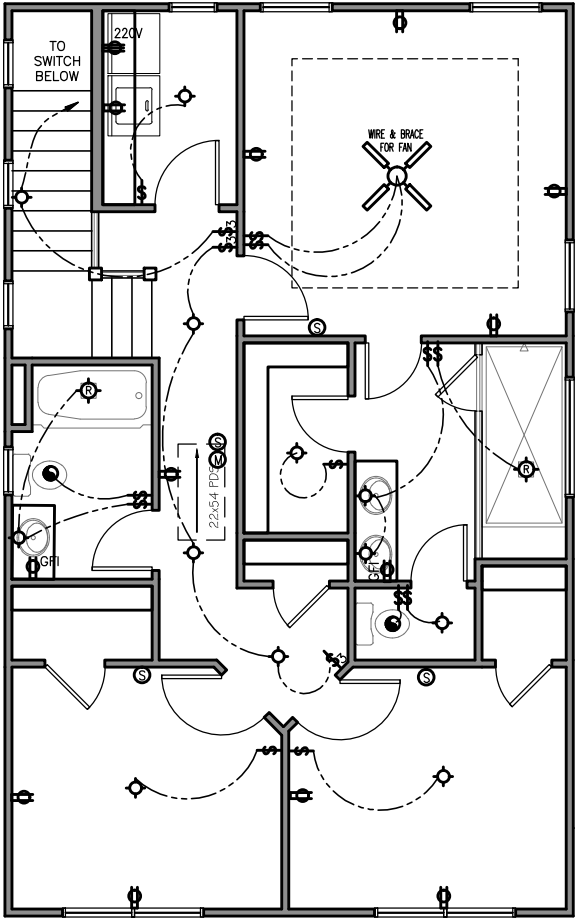
CAUTION: ONLY A QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR OR STRUCTURAL ENGINEER SHOULD ATTEMPT TO MODIFY THIS PLAN.

SUBDIVISION COLLECTION:	
PLOT DATE:	07/30/2015
DRAWN BY:	MHART
SCALE:	3/16"=1'-0"
SHEET NO.	

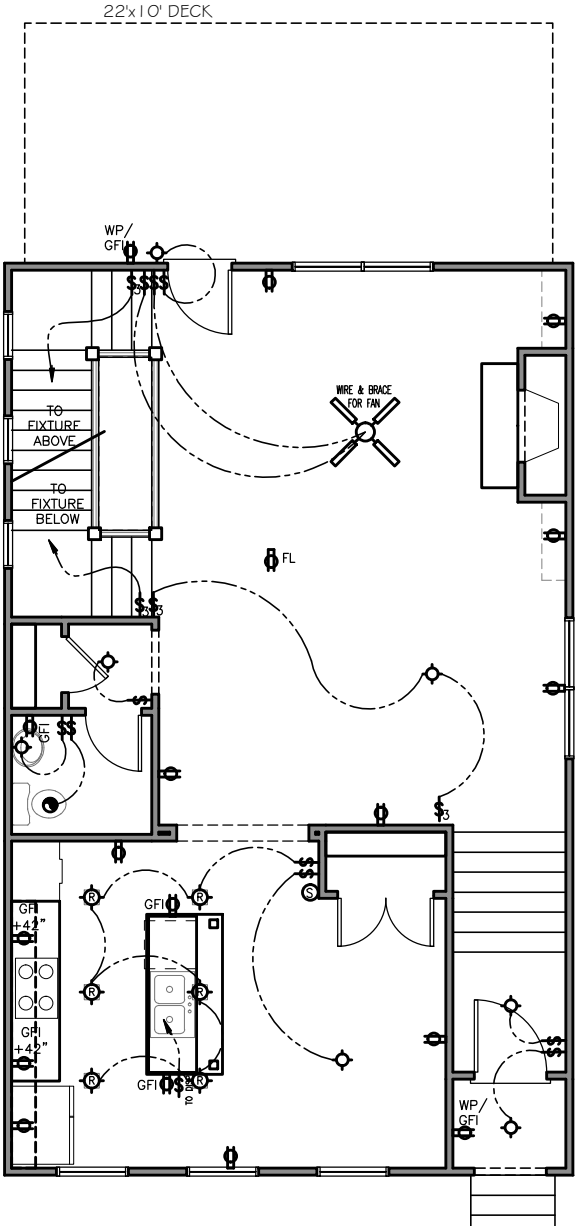
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ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET (GFI)
	WALL SWITCH CONTROLLED DUPLEX OUTLET (W.S.C.)
	ABOVE COUNTER LOCATION
	GROUND FAULT INTERCEPT ABOVE COUNTER
	GROUND FAULT INTERCEPT
	FLUSH FLOOR WALL SWITCH CONTROLLED
	220 VOLT OUTLET OR CONNECTION
	TELEVISION ANTENNA/CABLE OUTLET
	TELEPHONE OUTLET LOCATION
	DOOR CHIME LOCATION
	SINGLE POLE WALL SWITCH
	4-WAY WALL SWITCH
	3-WAY WALL SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	2' x 4' FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED FAN - PADDLE
	CEILING MOUNTED FAN - EXHAUST
	DOOR BELL BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	AUTOMATIC GARAGE DOOR OPENER OUTLET

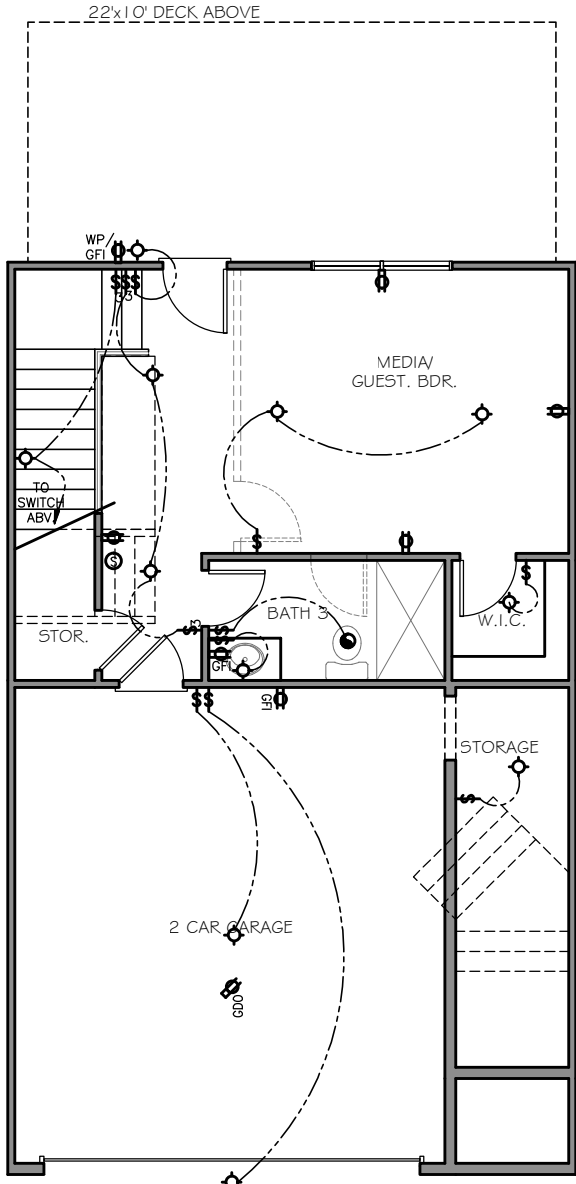
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2. ALL WALL SWITCHES MOUNTED AT +50" A.F.F. (U.N.O.)



2ND FLOOR ELECTRICAL
SCALE: 3/16"=1'-0" 3 BEDROOM PLAN



1ST FLOOR ELECTRICAL
SCALE: 3/16"=1'-0"



TERRACE ELECTRICAL
SCALE: 3/16"=1'-0"

#13.

ACADIA
HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GA 30339
OFFICE-770.319.7424

MORGAN II B
ELECTRICAL PLAN

REVISION CHANGES:

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SUBDIVISION COLLECTION:

PLOT DATE: 07/30/2015

DRAWN BY: MHART

SCALE: 3/16"=1'-0"

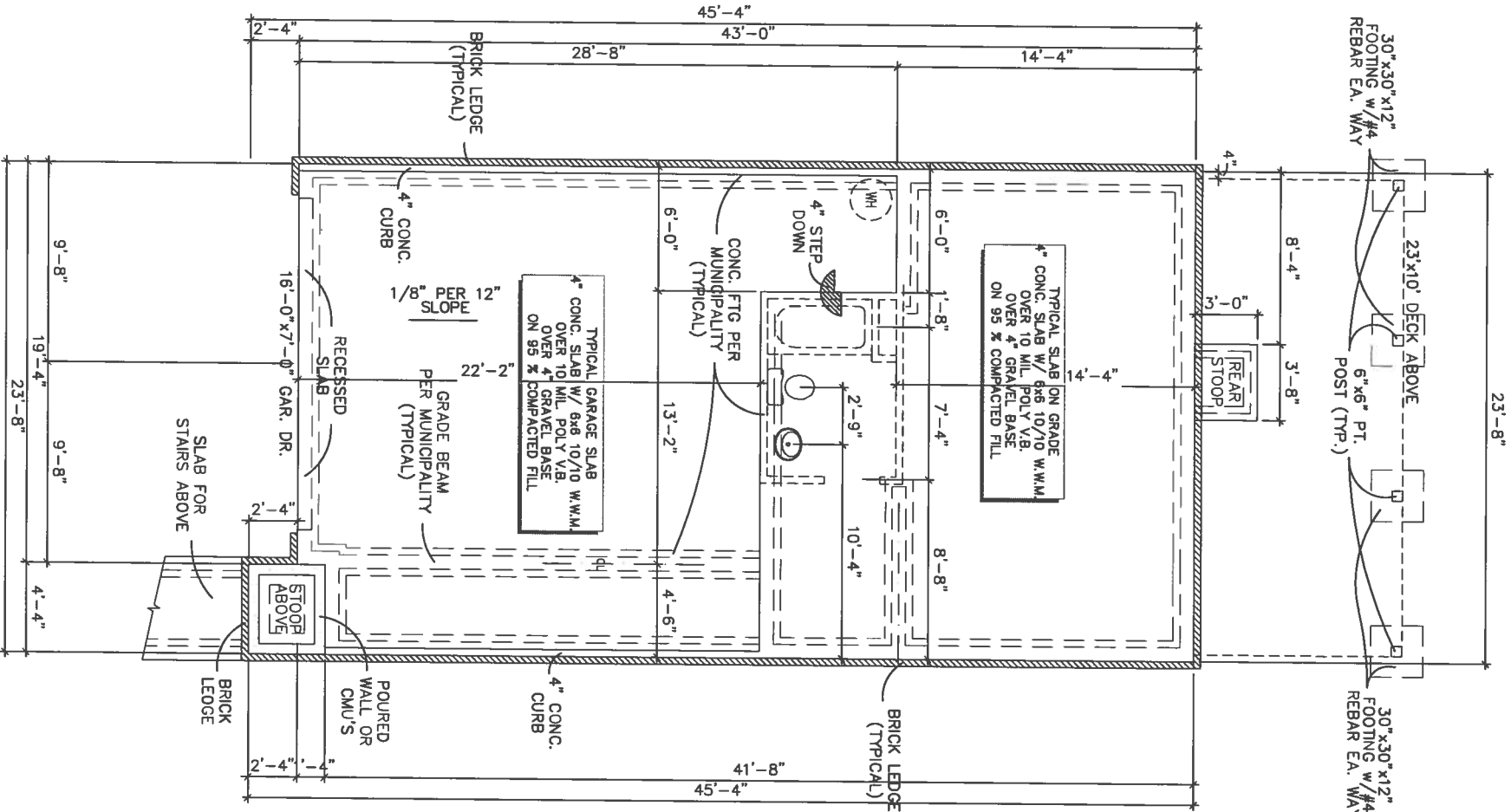
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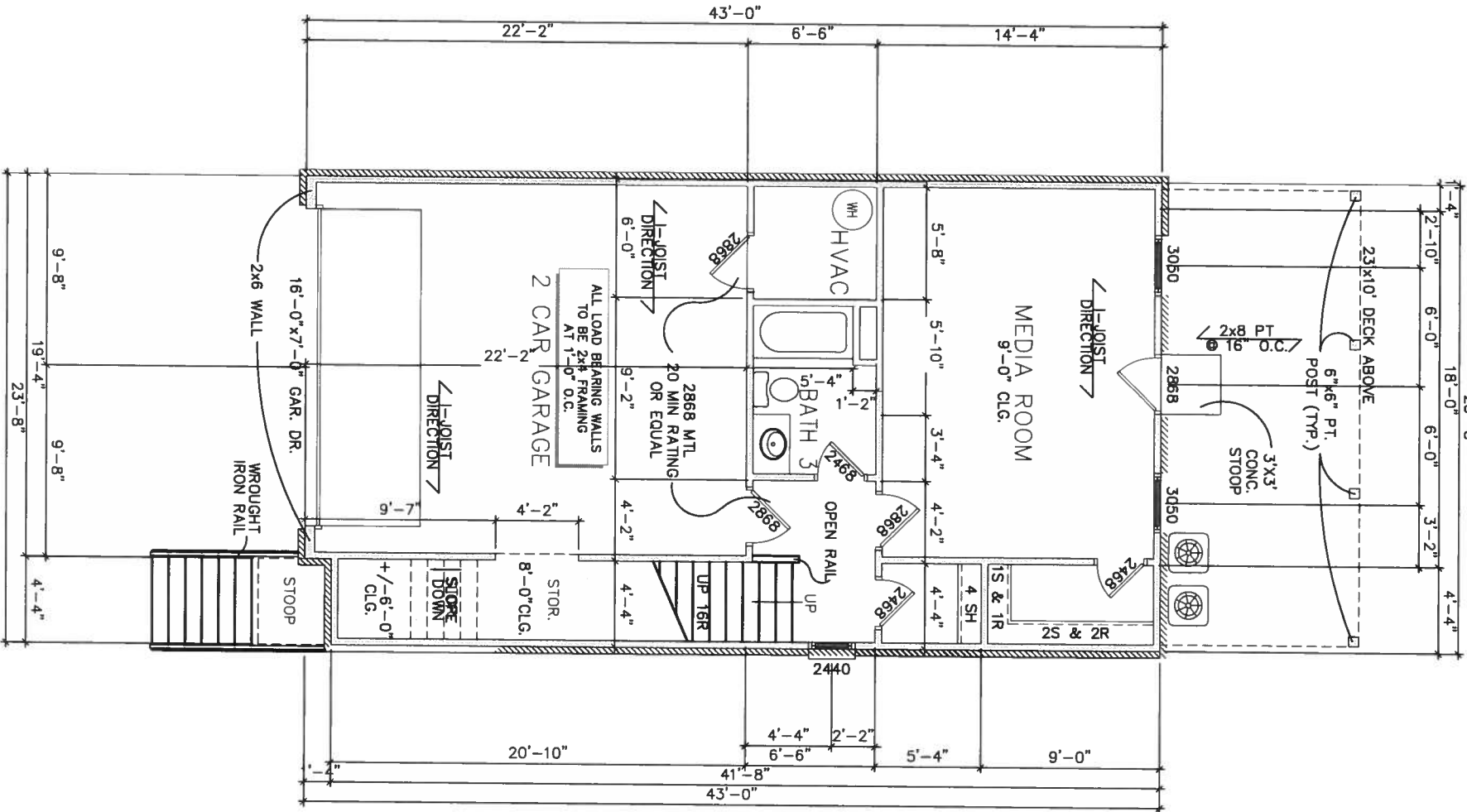
OF

FOUNDATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. IF DRAWINGS ARE IN CONFLICT WITH FIELD CONDITIONS OR OTHER DRAWINGS, CONTRACTOR SHOULD CONTACT LJM HOME DESIGN, INC. FOR JUSTIFICATION OR CORRECTION. ANY DISCREPANCIES FOUND AFTER START OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
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- HOUSE SLABS AND GARAGE SLABS TO BE 3000 PSI CONCRETE MINIMUM.
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- BEARING WALLS, SOLID FRAMING AND COLUMNS TO ALLOW FOR TRANSFER OF LOADS FROM ROOF THROUGH THE STRUCTURE TO FOUNDATION AND BEARING SOIL.



SLAB PLAN
11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"



TERRACE LEVEL PLAN
11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

REVISION CHANGES

REV NO	REV DATE

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SUBDIVISION COLLECTION

START DATE

04/24/2015

DRAWN BY

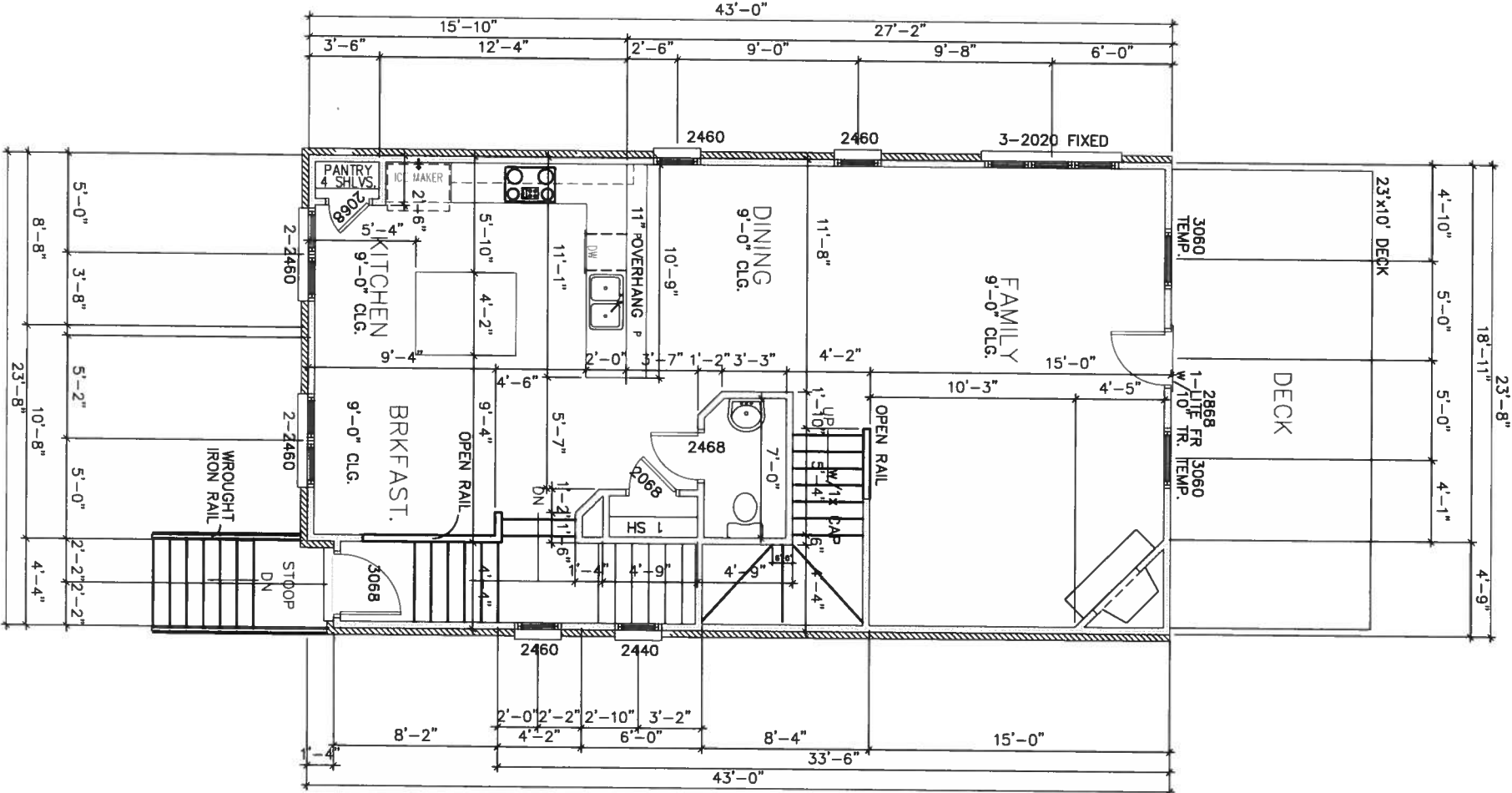
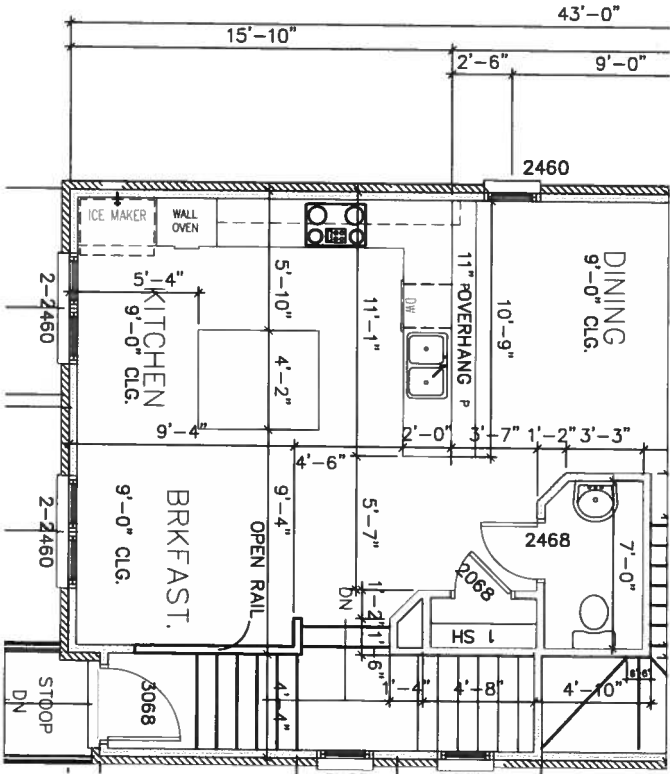
SCALE

SHEET NO

Slab Plan

A-3

OPTIONAL GOURMET KITCHEN
11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"



FIRST FLOOR PLAN

11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

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- ALL GYPSUM BOARD INSTALLED AT BATHTUBS AND SHOWERS SHALL BE WATER RESISTANT.

ASTOR UNIT

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ATLANTA, GEORGIA 30339

-244-

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SUBDIVISION COLLECTION:

START DATE:

04/24/2015

DRAWN BY:

SCALE:

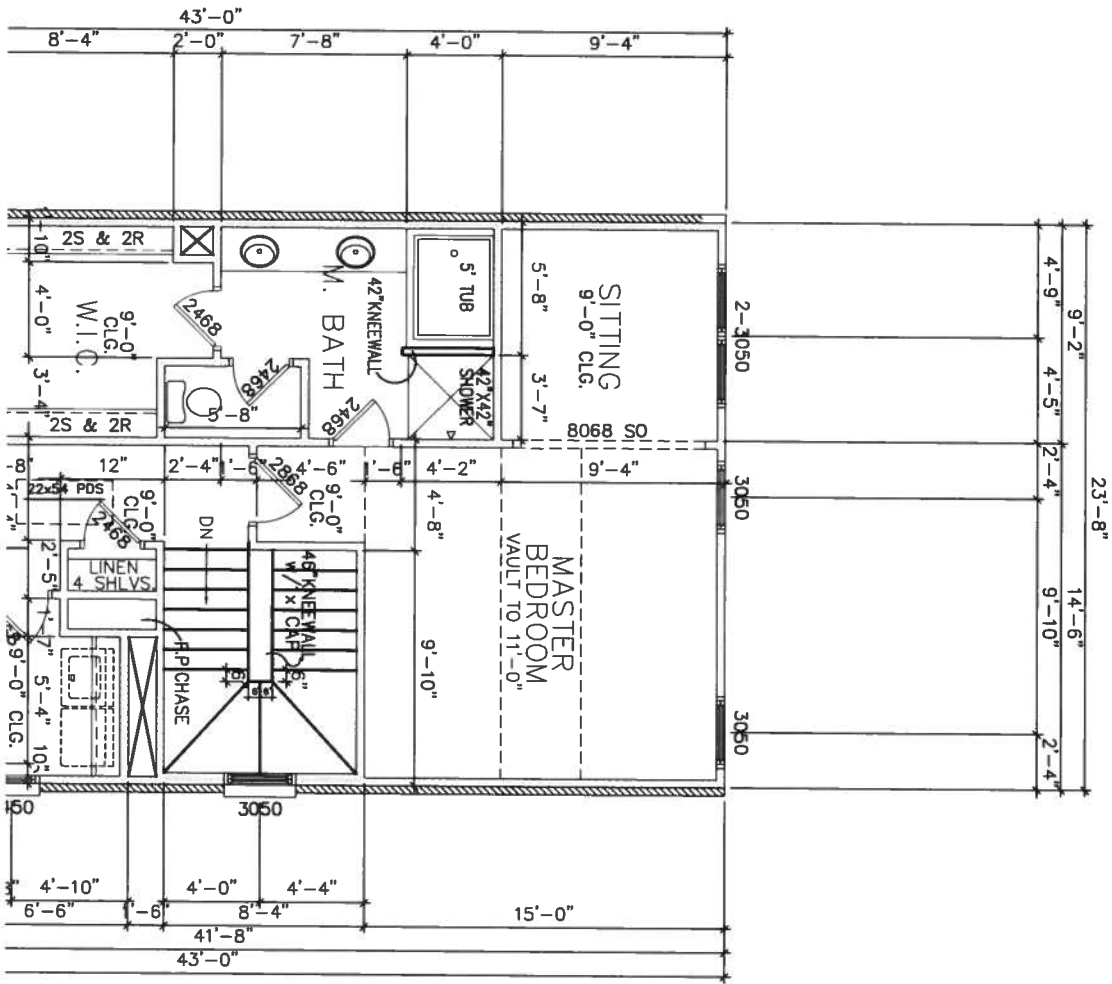
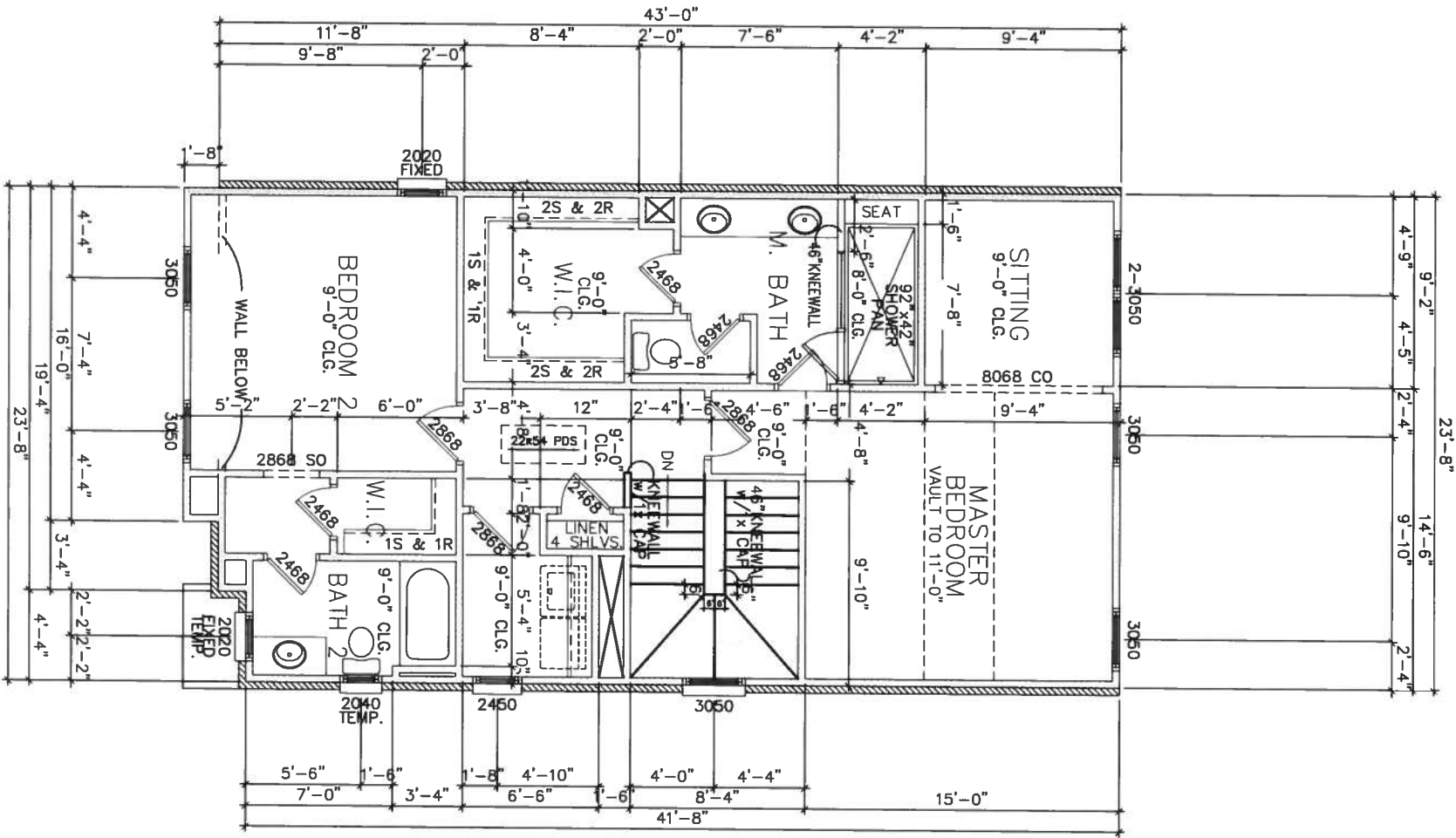
SHEET NO:

1st Floor

A-4

OF

REFER TO COVER SHEET FOR
SQUARE FOOTAGE



SECOND FLOOR PLAN

11x17 SCALE: 1/8" = 1' - 0"

22x34 SCALE: 1/4" = 1' - 0"

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REFER TO COVER SHEET FOR SQUARE FOOTAGE



ACADIA HOMES & NEIGHBORHOODS, L.L.C.
OWERS FERRY ROAD, SUITE 300
-245- ATLANTA, GEORGIA 30339

ASTOR UNIT

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SUBDIVISION COLLECTION

START DATE

04/24/2015

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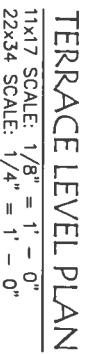
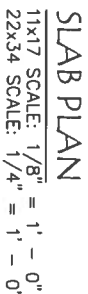
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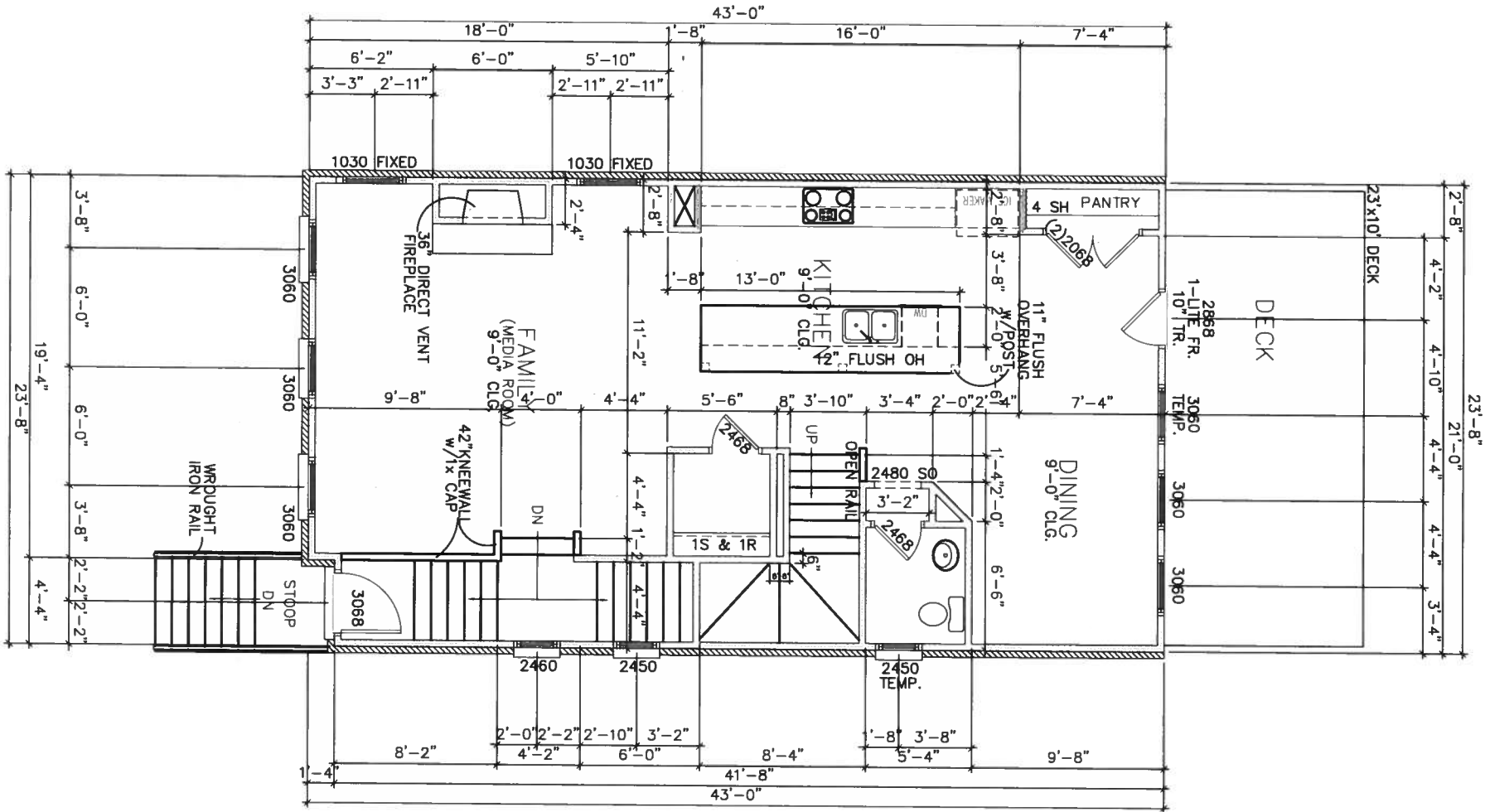
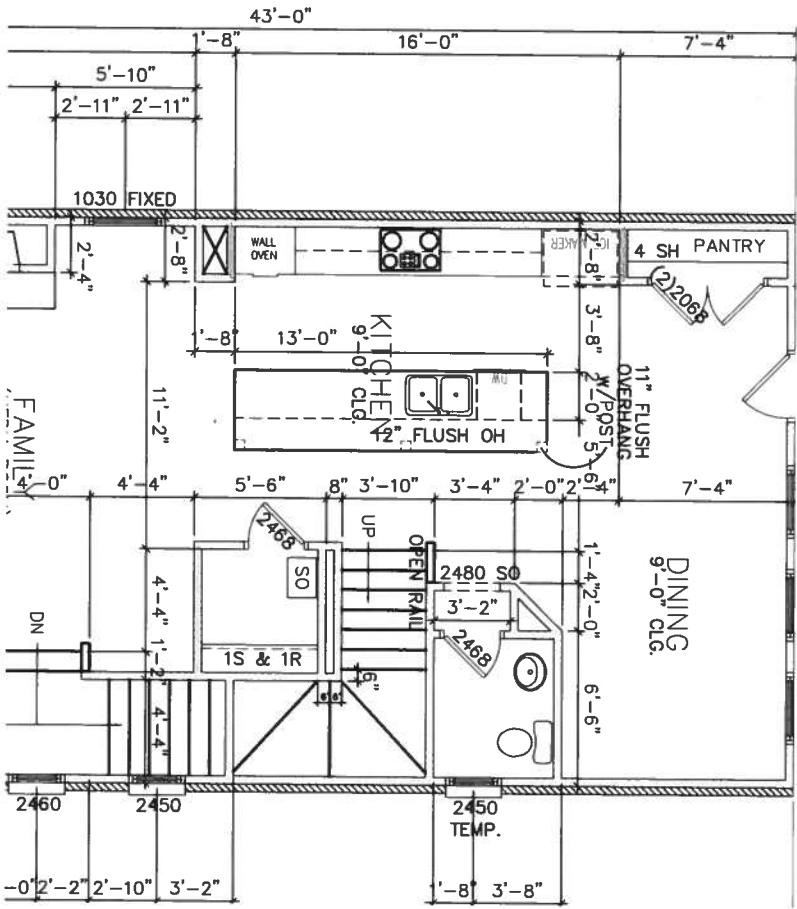
SHEET NO

2nd Floor

A-4.1

OF





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REFER TO COVER SHEET FOR SQUARE FOOTAGE

ACADIA
HOMES & NEIGHBORHOODS

ACADIA HOMES & NEIGHBORHOODS, L.L.C.
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GEORGIA 30339

CHELSEA UNIT

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SUBDIVISION COLLECTION

START DATE

07/22/2015

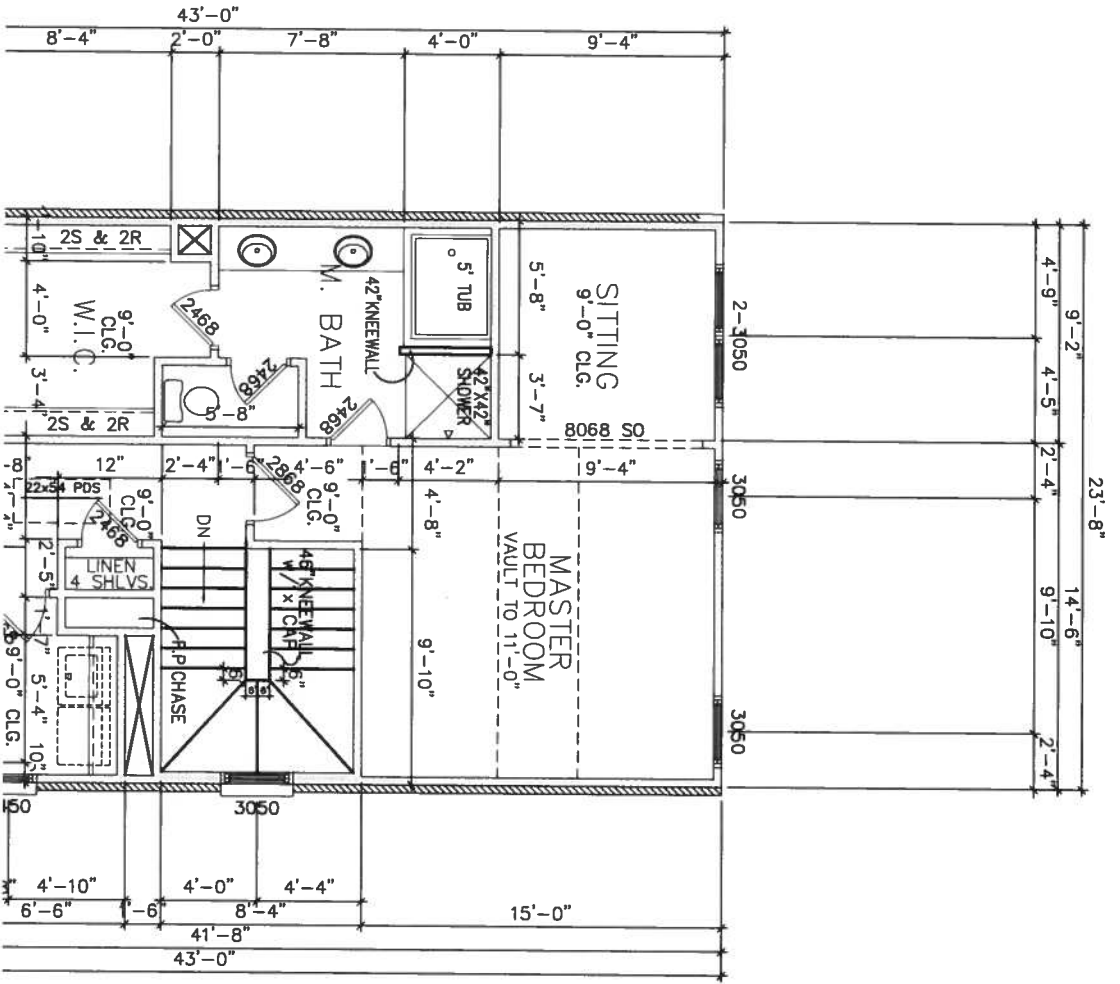
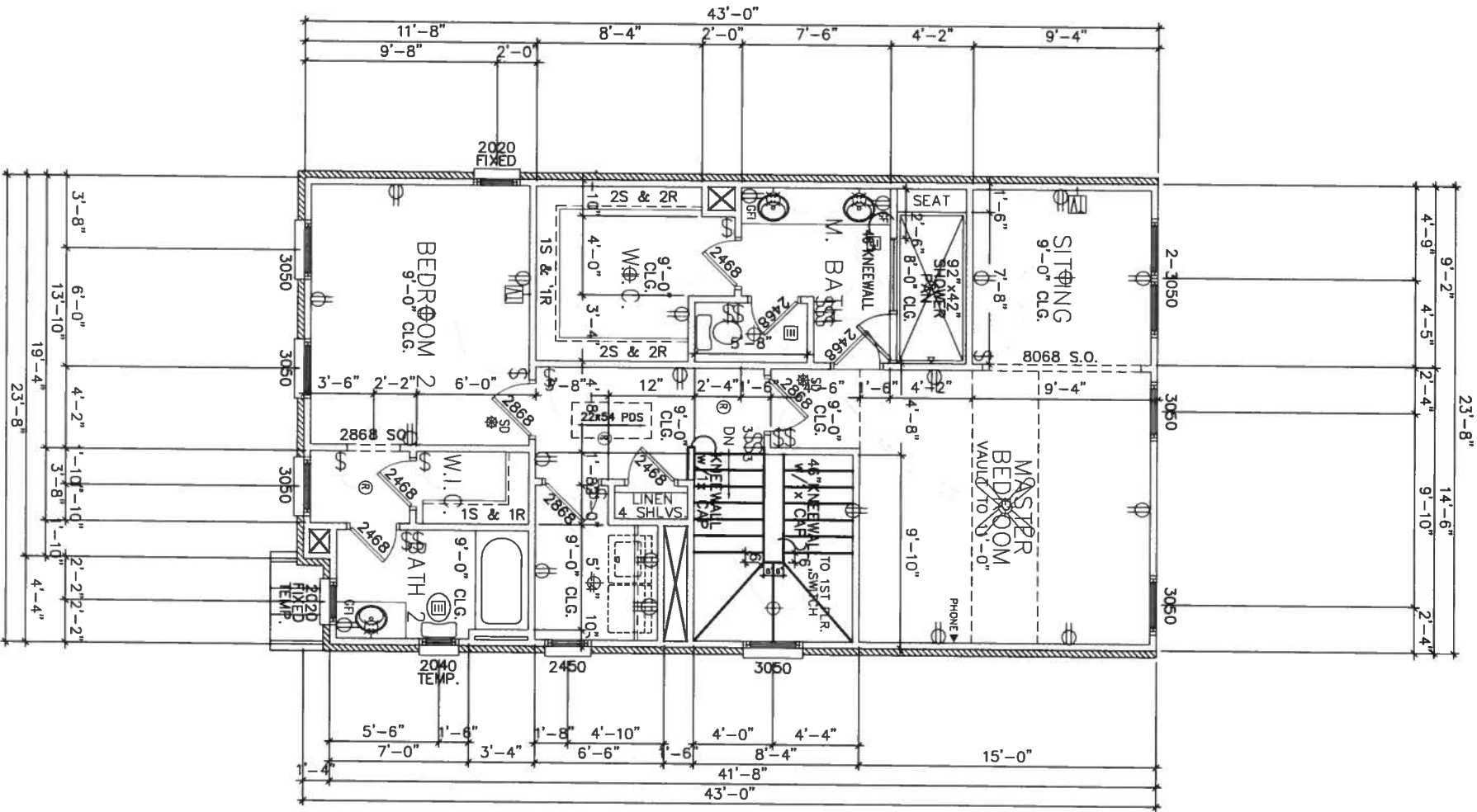
DRAWN BY

SCALE

SHEET NO

1st FLOOR

A-4



SECOND FLOOR PLAN
11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

OPTIONAL MASTER BATH
11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

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REFER TO COVER SHEET FOR
SQUARE FOOTAGE



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START DATE

07/22/2015

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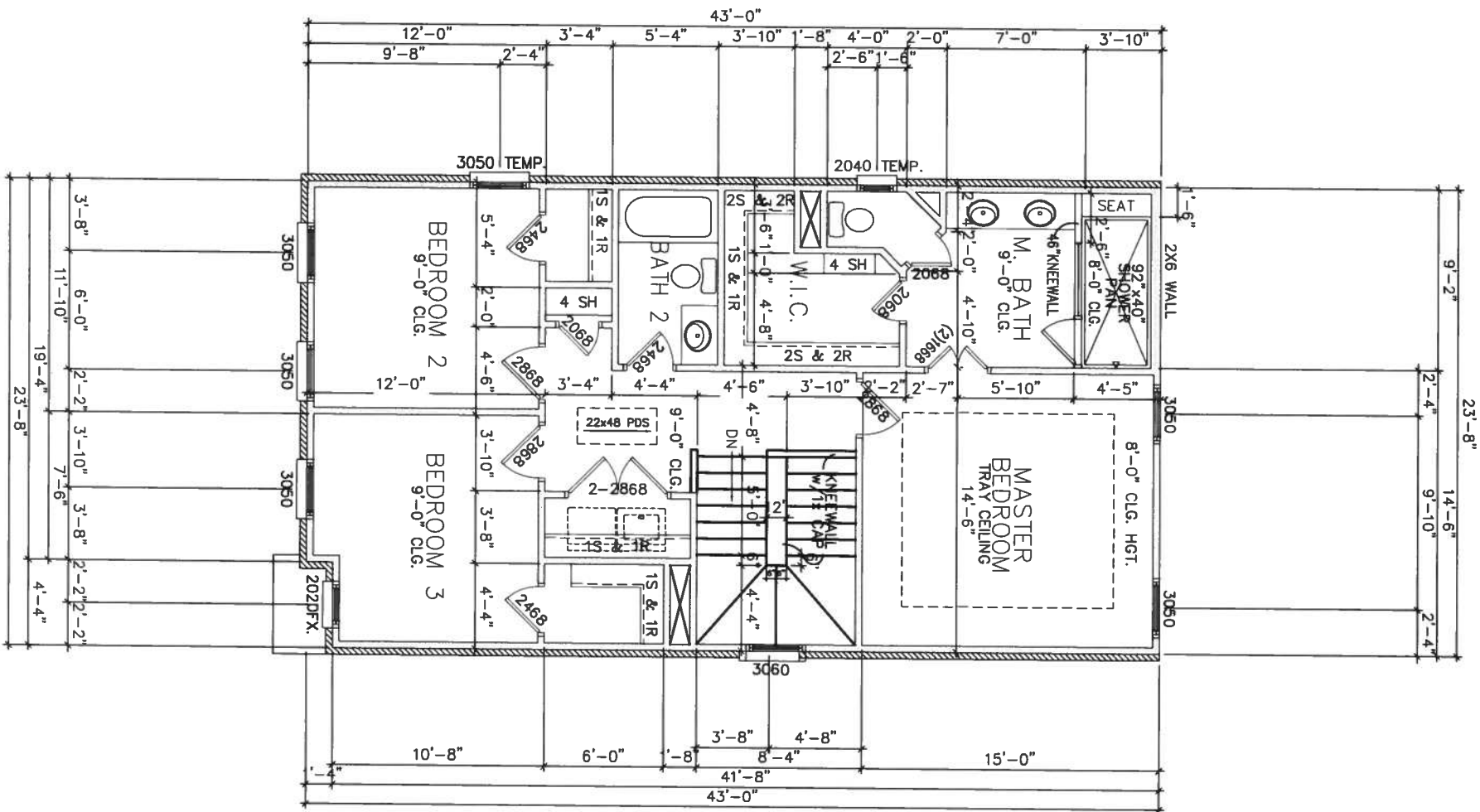
SCALE:

SHEET NO

2nd Floor

A-4.1

OF



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ATLANTA, GEORGIA 30339

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CONTRACTOR OR STRUCTURAL
ENGINEER SHOULD ATTEMPT TO
MODIFY THIS PLAN

SUBDIVISION COLLECTION

START DATE 07/22/2015

DRAWN BY

SCALE

SHEET NO.

2nd Floor
3 Bedroom Opt.

A-4.2

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11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"



11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

ACADIA

HOMES & NEIGHBORHOODS

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**CAUTION ONLY A QUALIFIED
DESIGNER ARCHITECT
CONTRACTOR OR STRUCTURAL
ENGINEER SHOULD ATTEMPT
MODIFY THIS PLAN**

SUBDIVISION COLLECTION

START DATE

04/24/2015

DRAWN BY

1

SCALE

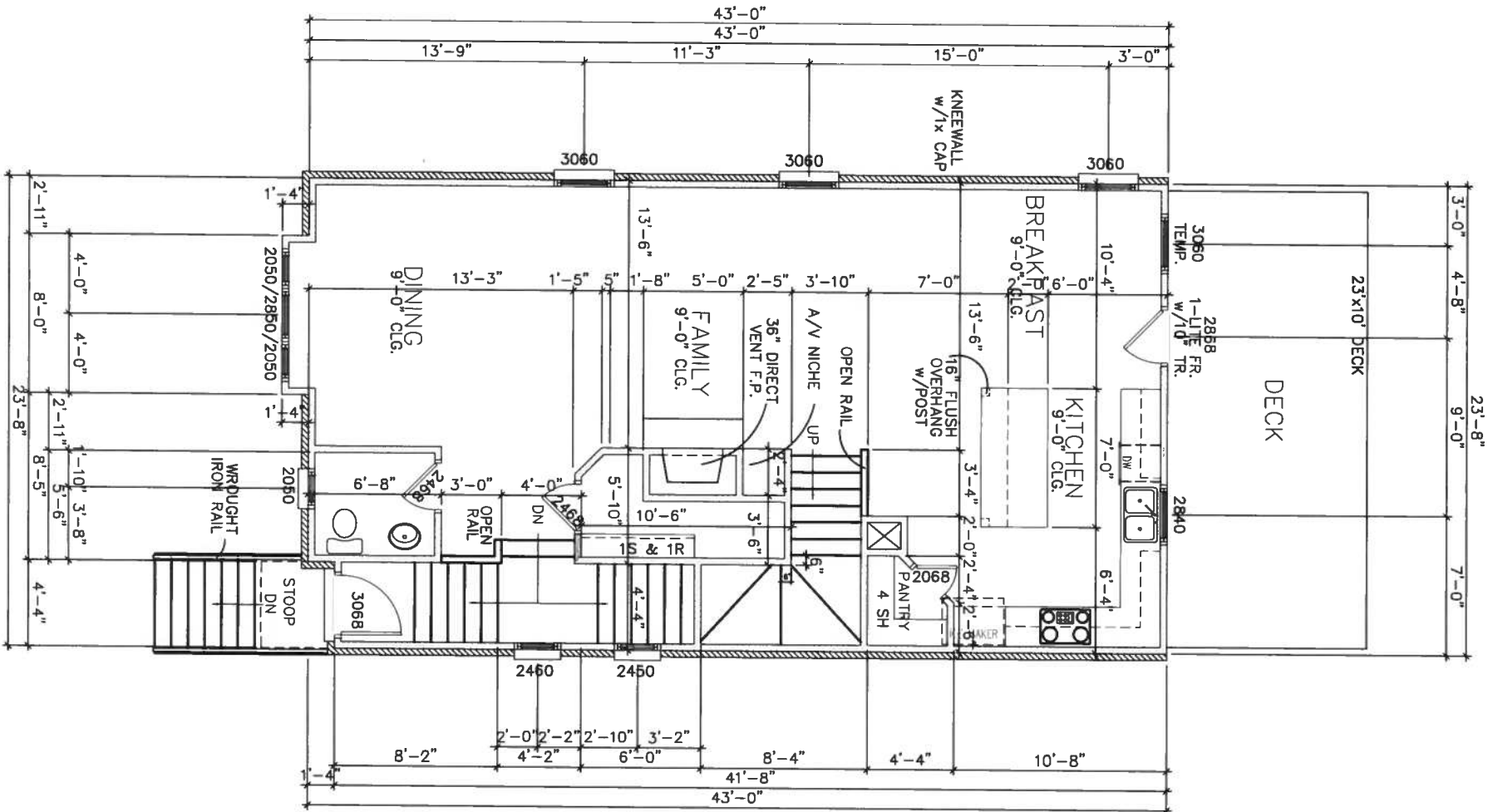
1

SHEET NO.

101

Slab Plan
A-3

11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"



11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

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- TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE.
- ALL GYPSUM BOARD INSTALLED AT BATHTUBS AND SHOWERS SHALL BE WATER RESISTANT.

- ALL GYPSUM BOARD INSTALLED AT BATHTUBS AND SHOWERS SHALL BE WATER RESISTANT.

ACADIA HOMES & NEIGHBORHOODS, L.L.C.
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GEORGIA 30339

ACADIA

HOMES & NEIGHBORHOODS

REVISION CHANGES	
REV NO	REV DATE

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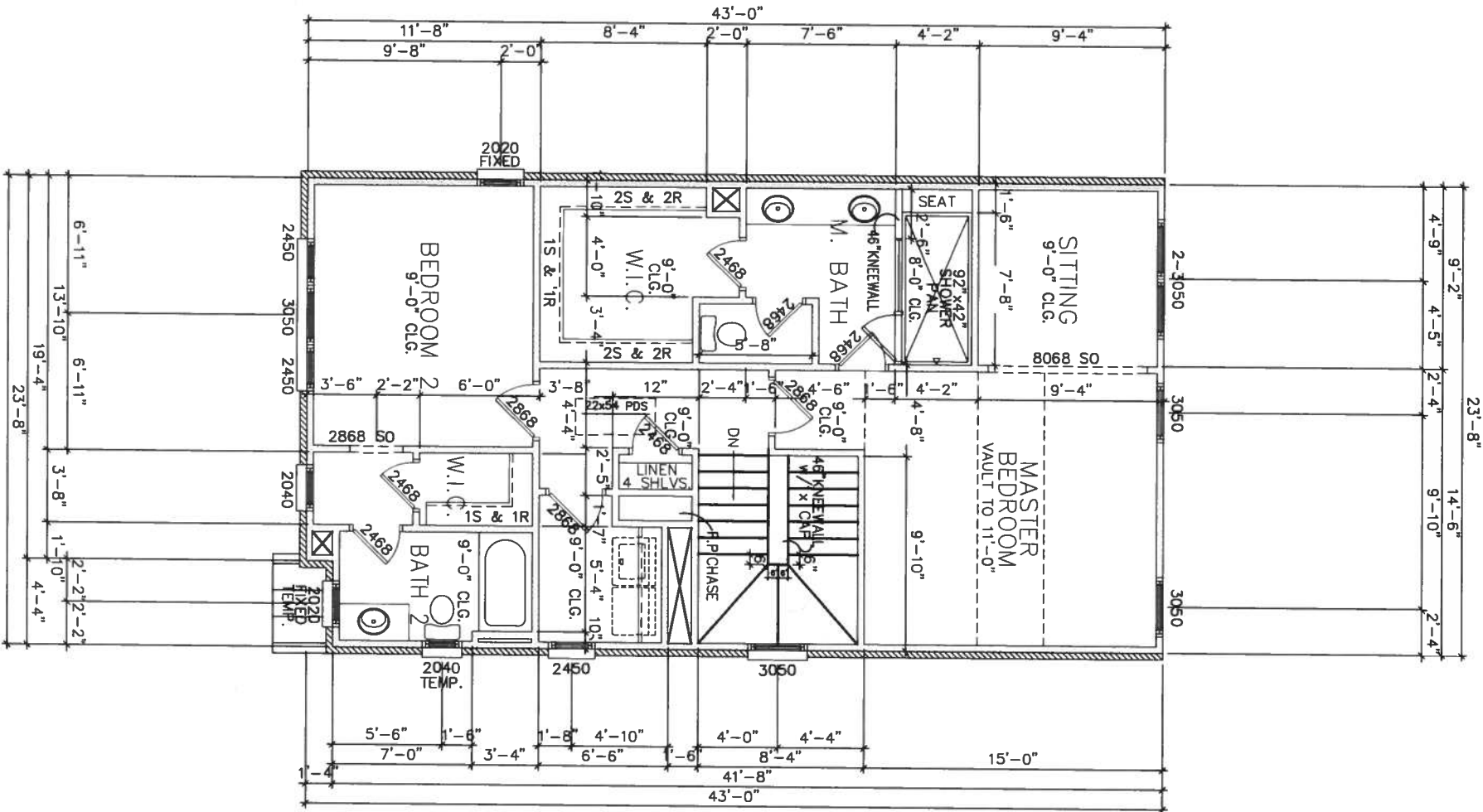
CAUTION ONLY A QUALIFIED
DESIGNER ARCHITECT
CONTRACTOR OR STRUCTURAL
ENGINEER SHOULD ATTEMPT TO
MODIFY THIS PLAN

04/24/2015

1

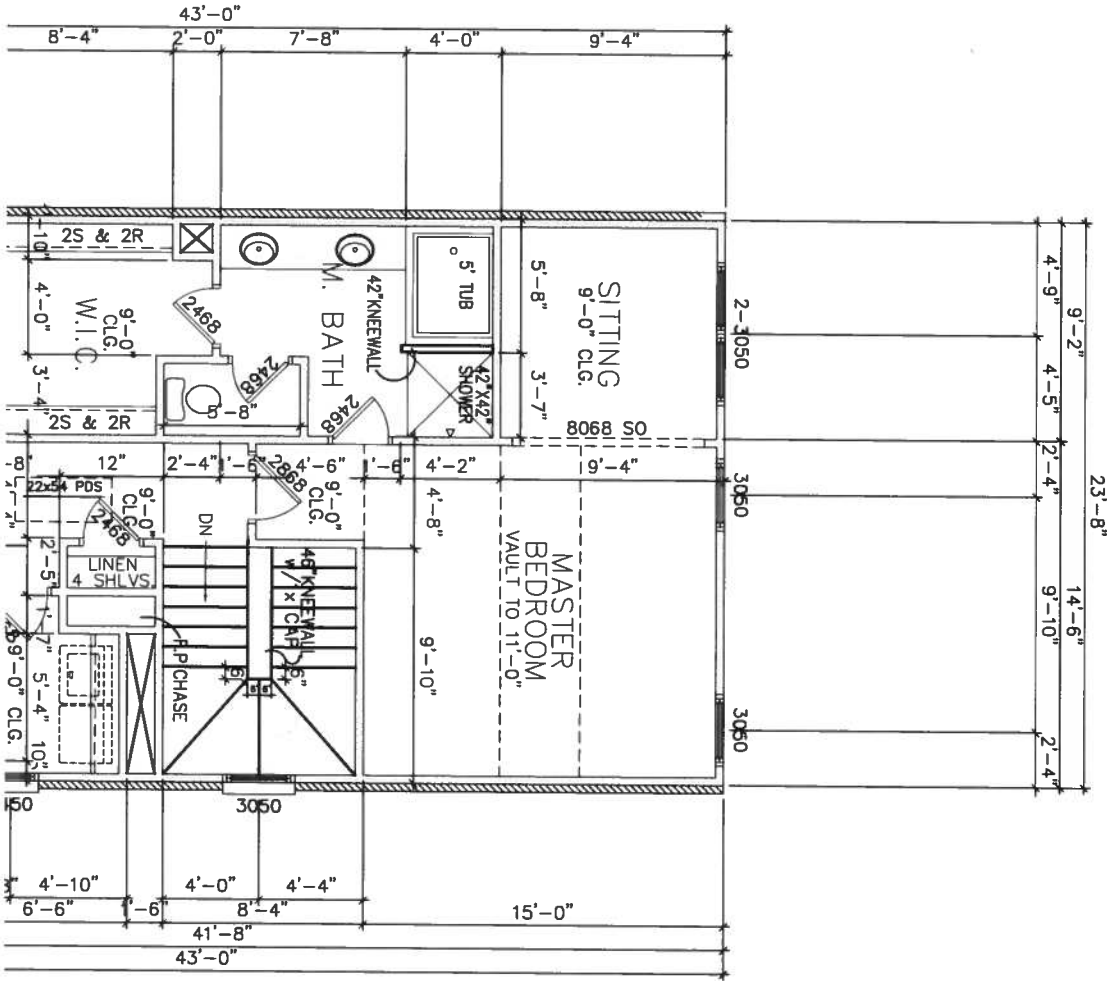
1

1st Floor
A-4



SECOND FLOOR PLAN

11x17 SCALE: 1/8" = 1' - 0"



OPTIONAL MASTER BATH

11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

CONSTRUCTION NOTES

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GRAMERCY UNIT

ACADIA HOMES & NEIGHBORHOODS, L.L.C.
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GEORGIA 30339

ACADIA
HOMES & NEIGHBORHOODS

REVISION CHANGES	
REV NO	REV DATE

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CAUTION: ONLY A QUALIFIED DESIGNER ARCHITECT, CONTRACTOR OR STRUCTURAL ENGINEER SHOULD ATTEMPT TO MODIFY THIS PLAN.

SUBDIVISION COLLECTION

START DATE

04/24/2015

DRAWN BY

SCALE

SHEET NO

2nd Floor

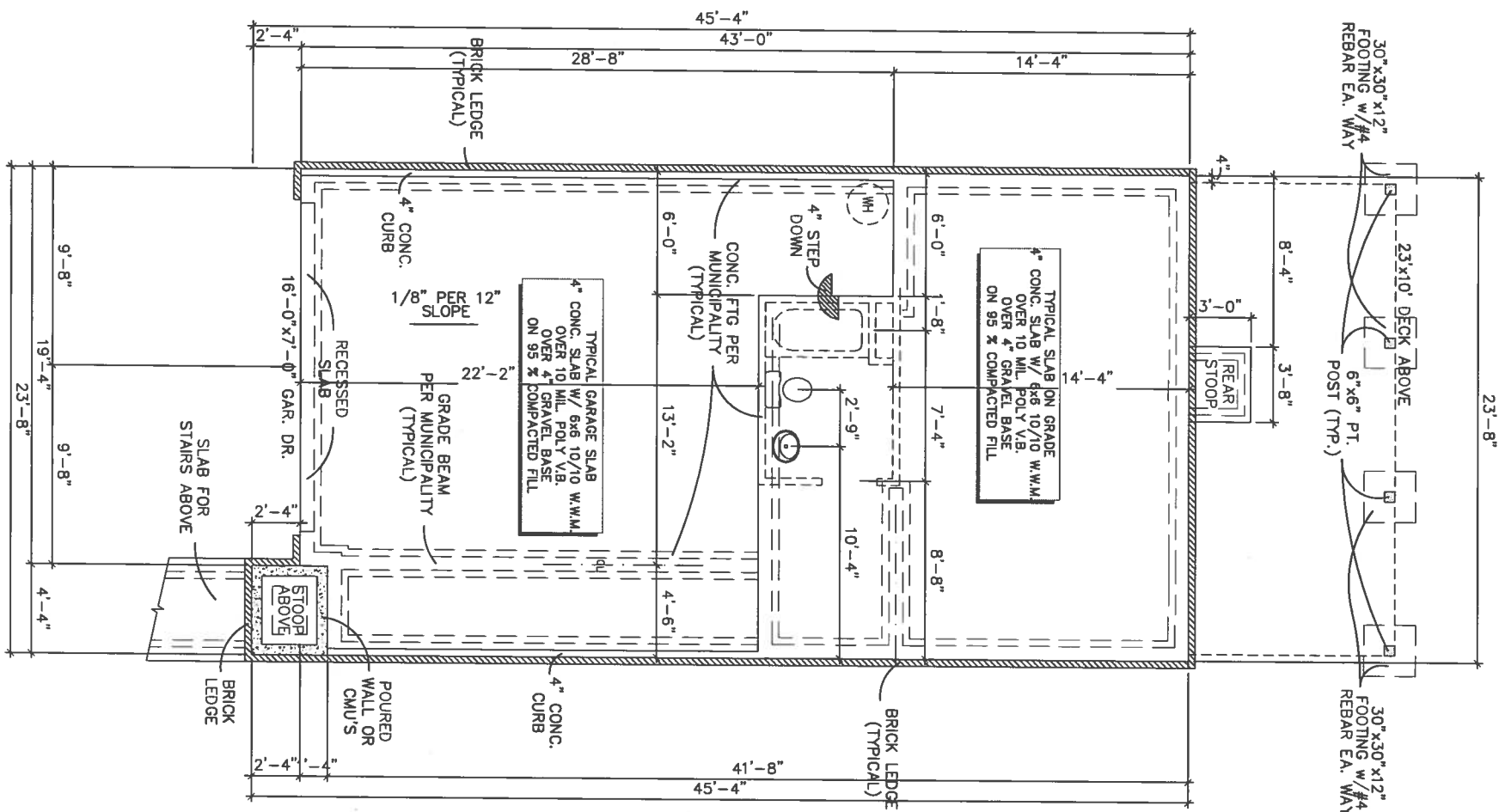
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OF

REFER TO COVER SHEET FOR
SQUARE FOOTAGE

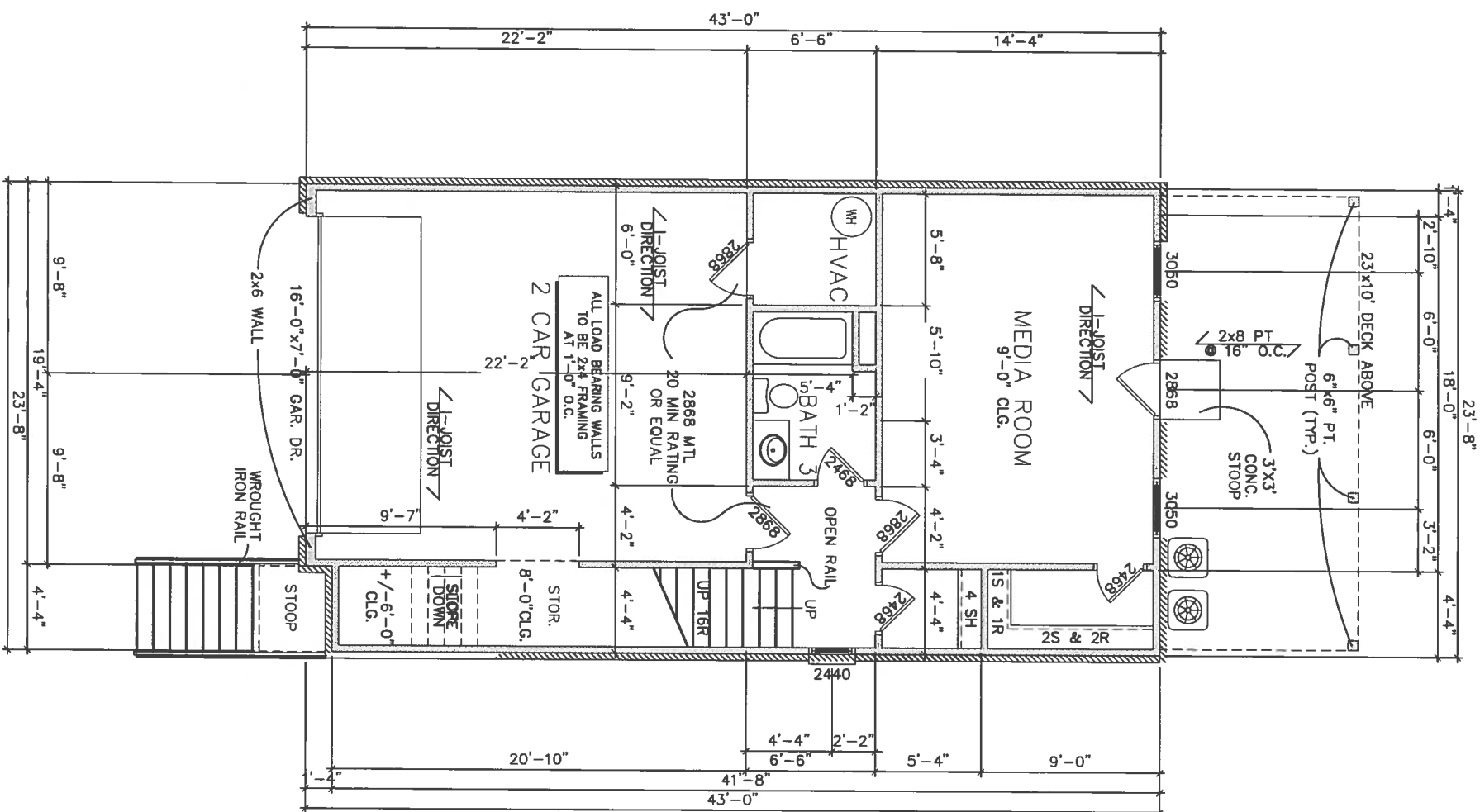
FOUNDATION NOTES

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- ALL FOOTINGS ARE TO BE BELOW LOCAL FROST LINES AND REST ON UNDISTURBED SOIL WITH ENOUGH BEARING TO PROPERLY SUPPORT THE BUILDING.
- ALL FOUNDATIONS, FOUNDATION WALLS AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY LOCAL ENGINEER. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY SITE CONDITIONS, LOCAL CODES AND INSURE A WELL CONSTRUCTED BUILDING.
- BEARING SOIL PRESSURE TO BE 2000 LBS/SF MINIMUM.
- HOUSE SLABS AND GARAGE SLABS TO BE 2000 PSI CONCRETE MINIMUM.
- WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS TO MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES.
- BEARING WALLS, SOLID FRAMING AND COLUMNS TO ALLOW FOR TRANSFER OF LOADS FROM ROOF THROUGH THE STRUCTURE TO FOUNDATION AND BEARING SOIL.



SLAB PLAN

11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"



TERRACE LEVEL PLAN

11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

SUTTON UNIT

ACADIA HOMES & NEIGHBORHOODS, L.L.C.
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GEORGIA 30339

ACADIA

HOMES & NEIGHBORHOODS

[illegible]

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START DATE

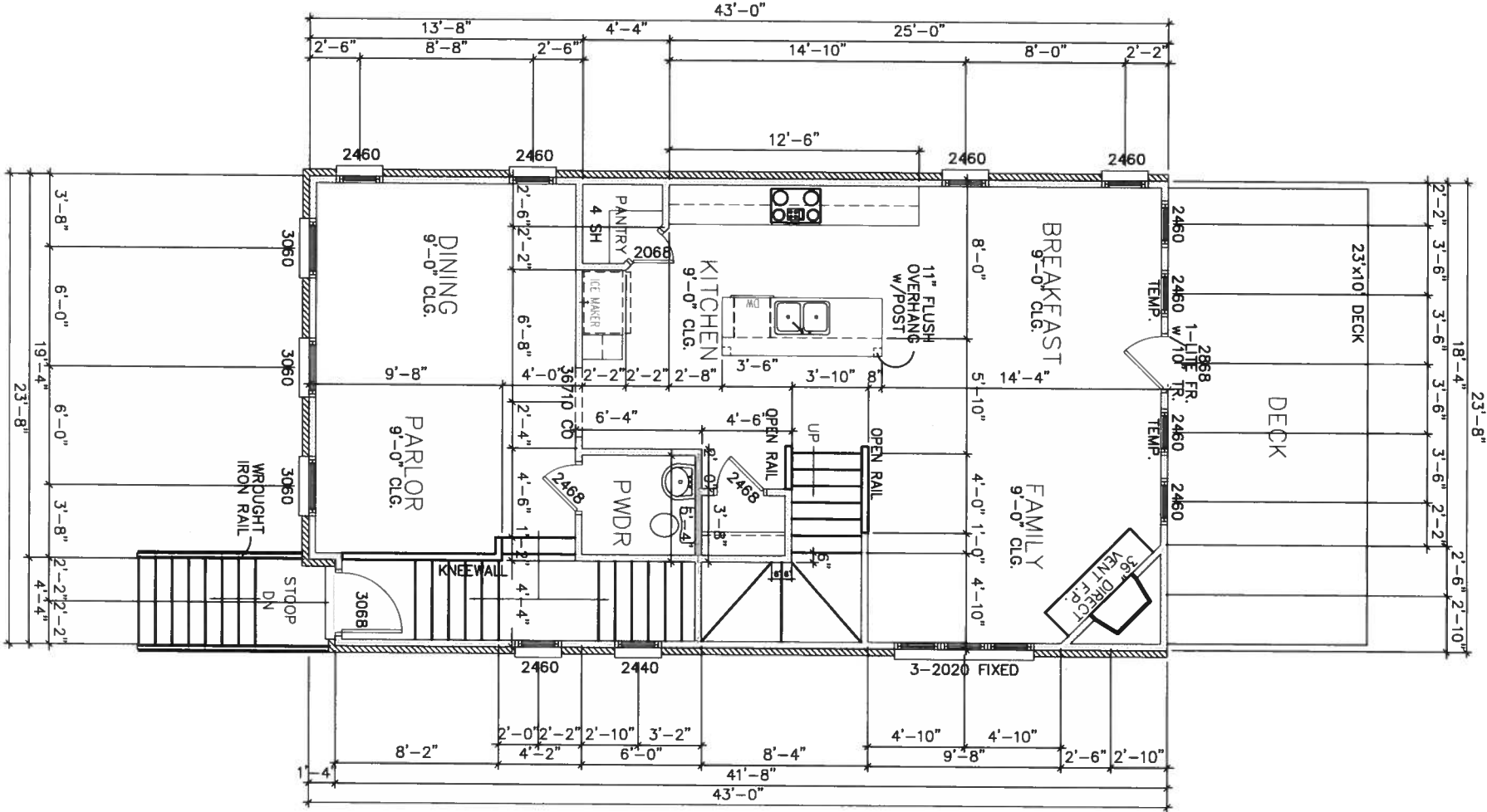
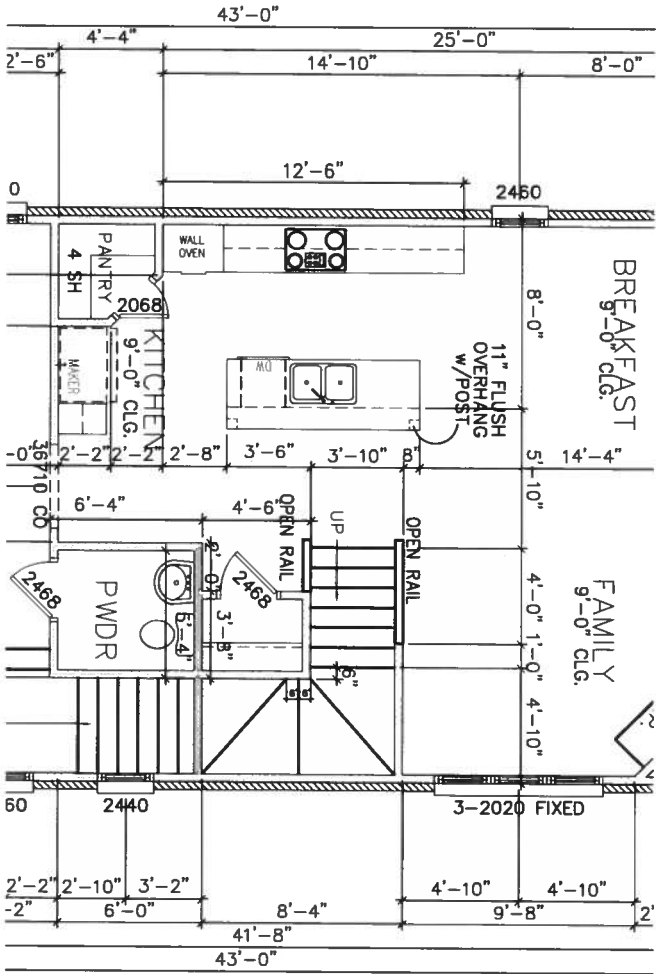
04/24/2015

DRAWN BY

SCALE

SHEET NO.

A-3



CONSTRUCTION NOTES

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REFER TO COVER SHEET FOR SQUARE FOOTAGE

ACADIA
HOMES & NEIGHBORHOODS

ACADIA HOMES & NEIGHBORHOODS, L.L.C.
2100 POWERS FERRY ROAD, SUITE 300
ATLANTA, GEORGIA 30339

SUTTON UNIT

1st Floor

A-4

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CAUTION: ONE Y A QUAL FIELD DESIGNER, ARCHITECT, ENGINEER OR STRUCTURAL ENGINEER SHALL ATTEMPT TO MODIFY THIS PLAN

SUBDIVISION COLLECTION

START DATE
04/24/2015

DRAWN BY

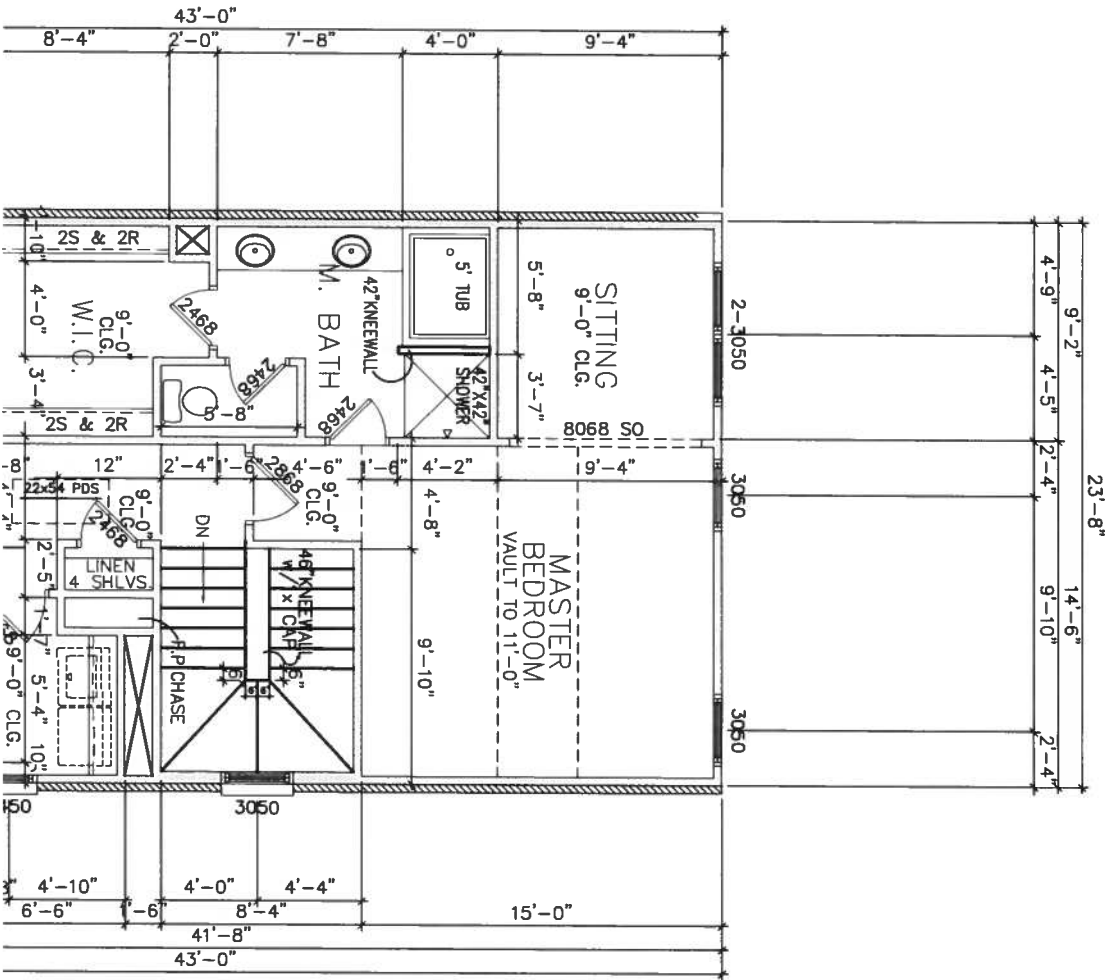
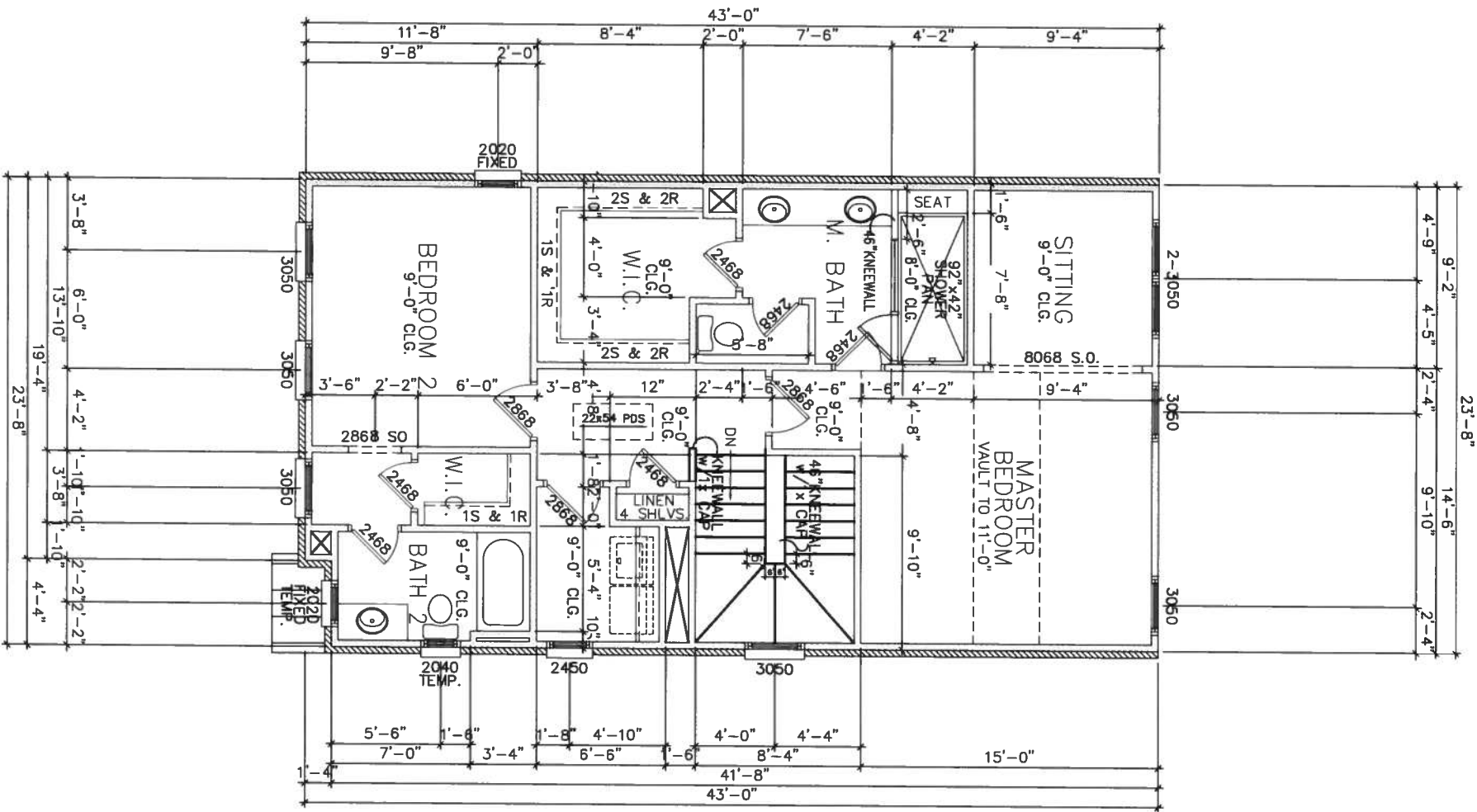
SCALE

SHEET NO

REVISION CHANGES

REV NO

REV DATE



OPTIONAL MASTER BATH

11x17 SCALE: 1/8" = 1' - 0"
22x34 SCALE: 1/4" = 1' - 0"

SECOND FLOOR PLAN

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SUTTON UNIT

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ATLANTA, GEORGIA 30339



REFER TO COVER SHEET FOR
SQUARE FOOTAGE

DISCLAIMER

CAUTION: ONLY A QUALIFIED PROFESSIONAL ENGINEER SHOULD ATTEMPT TO MODIFY THIS PLAN.

SUBDIVISION COLLECTION

START DATE

DRAWN BY

SCALE

SHEET NO

2nd Floor

A-4.1

04/24/2015

11x17 SCALE: 1/8" = 1' - 0"

22x34 SCALE: 1/4" = 1' - 0"

REVISED FIRST AMENDMENT APPLICATION



41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

* Applicant Information: RZ-15-071

Company Name:	Acadia Homes & Neighborhoods c/o Smith, Gambrell & Russell, LLP		
Contact Name:	Dennis J. Webb, Jr., Esq.		
Address:	1230 Peachtree St., NE, Ste. 3100, Atlanta, GA 30309		
Phone:	404-815-3620	Fax:	404-685-6920
Email:	djwebb@sgrlaw.com		
Pre-application conference date (required):			

* Owner Information: ☐ Check here if same as applicant

Owner's Name:	CR V Perimeter LLC / James H. Cowart		
Owner's Address:	301 Congress Avenue, #1100, Austin, TX 78701 / 3740 Davinci Ct. # 460, Norcross, GA 30092		
Phone:	512-904-2203	Fax:	512-494-8519
Email:			

* Property Information:

Property Address:	See Attachment A	Parcel ID:	See Attachment A
Current Zoning Classification:	O-I / R-100		
Requested Zoning Classification:	RM-85		

* Applicant Affidavit:

I hereby certify that to the best of my knowledge, this amendment application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Zoning Ordinance. I certify that I, the applicant (if different), am authorized to act on the owner's behalf, pursuant to this application and associated actions.

Applicant's Name:	<u>Dennis J. Webb, Jr.</u>		
Applicant's Signature:	<u>[Signature]</u>	Date:	<u>6/30/15</u>

* Notary:

Sworn to and subscribed before me this	<u>30th</u>	Day of	<u>June</u>	, 20	<u>15</u>
Notary Public:	<u>Shawna E. Avila</u>				
Signature:	<u>Shawna E. Avila</u>				
My Commission Expires:	<u>3-16-16</u>				



ATTACHMENT A

**Revised First Amendment Application
For Acadia Homes & Neighborhoods**

RZN2015-377

18-347-01-008: 54 Perimeter Center East

18-346-05-058: 4388 Old Georgetown Trl.

18-346-05-507: 4380 Old Georgetown Trl.

18-346-05-056: 4372 Old Georgetown Trl.

18-346-05-055: 4364 Old Georgetown Trl.

18-346-05-054: 4356 Old Georgetown Trl.

18-346-05-053: 4348 Old Georgetown Trl.

18-346-05-052: 4340 Old Georgetown Trl.

**Additional Property
Owner(s)
Notarized Certification**

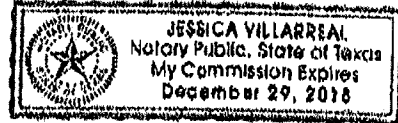
Community
Development
Dunwoody
Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

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*** Property Owner (If Applicable):**

Signature: <u>[Signature]</u>	Date: <u>4/13/15</u>
Address: <u>301 Congress Ave Ste 1100 Austin TX 78701</u>	
Phone: <u>512 494 8510</u>	Fax: _____ Email: _____
Sworn to and subscribed before me this <u>13th</u> Day of <u>April</u> , 20 <u>15</u>	
Notary Public: <u>[Signature]</u>	



*** Property Owner (If Applicable):**

Signature: _____	Date: _____
Address: _____	
Phone: _____	Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____	
Notary Public: _____	

*** Property Owner (If Applicable):**

Signature: _____	Date: _____
Address: _____	
Phone: _____	Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____	
Notary Public: _____	

RZ-15-0711

Additional Property Owner(s) Notarized Certification

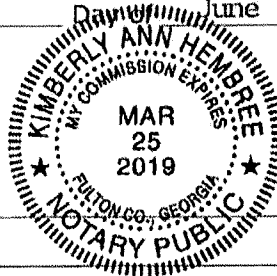
Community
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Dunwoody
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* Property Owner (If Applicable):

Signature: <u><i>[Signature]</i></u>	Date: <u>June 30, 2015</u>
Address: <u>3740 Davinci Court, Suite 460, Norcross, GA 30092</u>	
Phone: <u>770-449-5000</u>	Fax: <u>770-446-6945</u> Email: <u>dcowart@cowartco.com</u>
Sworn to and subscribed before me this <u>30th</u> Day of <u>June</u> , 20 <u>15</u>	
Notary Public: <u>Kimberly Ann Hembree</u> <i>Kimberly Ann Hembree</i>	



* Property Owner (If Applicable):

Signature: _____	Date: _____
Address: _____	
Phone: _____	Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____	
Notary Public: _____	

* Property Owner (If Applicable):

Signature: _____	Date: _____
Address: _____	
Phone: _____	Fax: _____ Email: _____
Sworn to and subscribed before me this _____ Day of _____, 20____	
Notary Public: _____	

(RECEIVED)
7/6/15
Bmk

R2.15-071

Campaign Disclosure Statement

Community
Development
Dunwoody
* Smart people - Smart city *

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the City of Dunwoody City Council or a member of the City of Dunwoody Planning Commission?

☐ YES ☒ NO

* Applicant / Owner:

Signature: <u><i>[Signature]</i></u>	Date: <u>June 30, 2015</u>
Address: <u>3740 Davinci Court, Suite 460, Norcross, GA 30092</u>	

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

Campaign Disclosure Statement

Dunwoody
Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

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☐ YES ☒ NO

*** Applicant / Owner:**

Signature: Kathryn M. Zickert Kathryn M. Zickert, Esq. Date: 1/20/15
Address: 1230 Peachtree St. NE Suite 3100 Atlanta 30309

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

Campaign Disclosure Statement

Dunwoody
Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

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☐ YES ☒ NO

* Applicant / Owner:

Kathryn M. Bickel

Signature:

Smith, Gambrell & Russell, LLP Date: *4-20-15*

Address:

1030 Peachtree St. NE Ste 3100 Atlanta 30309

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

Campaign Disclosure Statement

Dunwoody

Smart people - Smart city

41 Perimeter Center East | Dunwoody, GA 30346
Phone: (678) 382-6800 | Fax: (770) 396-4828

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☐ YES ☒ NO

* Applicant / Owner:

Signature:

Dennis J. Webb, Jr., Esq.

Date:

7-21-15

Address:

1250 Peachtree St. SW, Suite 3100 Atlanta, GA 30309

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

Campaign Disclosure Statement

Dunwoody
Smart people - Smart city

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☐ YES ☒ NO

* Applicant / Owner:

Signature: [Signature] Robert D. Grest, Esq. Date: 4/2/15
Address: 1230 Peachtree St NE Ste 3100 Atlanta GA 30309

If the answer above is yes, please complete the following section:

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Campaign Disclosure Statement



41 Perimeter Center East | Dunwoody, GA 30346
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☐ YES ☒ NO

* Applicant/Owner:

Signature: [Signature] Date: 4/17/15
Address: 201 Congress Ave Ste 1100 Austin TX 78701

If the answer above is yes, please complete the following section:

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Campaign Disclosure Statement

Community
Development
Dunwoody
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☐ YES ☒ NO

* Applicant / Owner:

Signature: [Signature] Date: 4-10-15
Address: 2100 Bowers Ferry Road Suite 300 Atlanta GA 30339

If the answer above is yes, please complete the following section:

Date	Government Official	Official Position	Description	Amount

THIRD AMENDED STATEMENT OF INTENT

and

Other Material Required by
City of Dunwoody Zoning Ordinance
for the
Rezoning Application
RZ-15-071

of

ACADIA HOMES AND NEIGHBORHOODS

for

± 7.544 Acres of Land
located in
Land Lots 346 and 347, 18th District, DeKalb County, City of Dunwoody

O-I and R-100 to RM-85

Submitted for Applicant by:

Kathryn M. Zickert
Dennis J. Webb, Jr.
Robert D. Griest
Smith, Gambrell & Russell, LLP
Promenade, Suite 3100
1230 Peachtree Street, NE
Atlanta, Georgia 30309
404-815-3500

I. INTRODUCTION

This Application seeks a rezoning for ± 7.544 acres of land located in Land Lots 346 and 347, 18th District of DeKalb County (the "Subject Property"). The Applicant asks to rezone the Subject Property from O-I (Office-Institutional) and R-100 (Single-Dwelling Residential 100) to RM-85 (Multi-Dwelling Residential 85) to allow for an 87-unit, fee simple townhome development at a density of approximately 11.53 units per acre. The Subject Property is part of a larger tract totaling ± 9.840 acres and made up of eight (8) vacant parcels. The Applicant plans to develop only the ± 7.544 acre Subject Property. The Applicant intends to dedicate the remaining ± 2.3 acres to the City for use as public park space.

Each unit will be three (3)-stories, contain a minimum of 1,824 square feet, have a two car garage, and be constructed of brick, stone and cementitious materials. The development will be located on Perimeter Center East directly across from the office building which houses Dunwoody City Hall. Older office buildings bracket it to the north and south.

The Applicant believes that providing townhome residential opportunity in this area will lessen the future residents' need to travel by car to obtain basic services and encourage walking, socialization and connectivity. The development has been designed with appropriate attention to scale and to ensure that $\pm 39\%$ of the Subject Property will be preserved as Open Space. The development will also contain a 12' multi-use trail along the rear of the tract, providing a future pedestrian connection to Perimeter Center Park. The end result should be an exceptional residential community that takes advantage of its proximity to a myriad of restaurant and retail offerings, as well as the Perimeter Center employment node, all within walking distance.

The Applicant submits this document as a Statement of Intent with regard to this Application, a preservation of the Applicant's constitutional rights, and a Written Justification for the Application as required by the City of Dunwoody Zoning Ordinance, § 27-1 *et seq.* A Site Plan has been filed

contemporaneously with the Application, along with other required materials.

II. HISTORY

The Subject Property is currently zoned O-I and R-100. The Comprehensive Land Use Plan designates the majority of the Subject Property as being located in the "Perimeter Center (Transitional)" character area, with a lesser amount located in the "Suburban Neighborhood" character area.

III. REZONING IMPACT ANALYSIS

A.

WHETHER THE ZONING PROPOSAL IS IN CONFORMITY WITH THE POLICY AND INTENT OF THE COMPREHENSIVE PLAN.

The majority of the Subject Property is currently located in the Perimeter Center Character area ("Transitional" subarea). The balance is located in the "Suburban Neighborhood" Character area. Concurrent with this Application, the City is pursuing a text amendment that will place all of the Subject Property into the Perimeter Center Character area ("Transitional" subarea). Once this occurs, the proposed development will be consistent with the relevant density requirement of 12 units per acre; the density of the development at issue is approximately 11.53 units per acre. Further, the proposed development will effectively implement policies that are embodied in the text of the Land Use Plan, including:

- (a) To redevelop the area "into a pedestrian and bicycle-oriented activity center with medium scaled intensity of activity";
- (b) To create a "mix of commercial, office and high-end shopping integrated with multi-family";
- (c) To "incorporate functional open space" into redevelopment; and
- (d) To encourage "[h]igh quality materials such as stone and brick".

B.**WHETHER THE ZONING PROPOSAL WILL PERMIT A USE THAT IS SUITABLE IN VIEW OF THE USE AND DEVELOPMENT OF ADJACENT AND NEARBY PROPERTIES.**

The Subject Property is located on Perimeter Center East, across from the office building which houses the Dunwoody City Hall, and in the midst of dense, existing office and multi-family residential uses on the east side of Ashford Dunwoody Road north of I-285. Within walking distance, Ravinia, the Walmart Shopping Center, and Perimeter Mall itself serve as ideal compliments to the proposed development, serving as pedestrian destinations where residents can work, shop, eat, and obtain basic services. Thus, the requested zoning district is entirely consistent with and suitable in light of current and future development plans and patterns.

Further, the Applicant is donating to the City \pm 2.3 acres of property to the east for use as park space. This land will create exceptional buffering between the more intense uses on Perimeter Center East and the less intense uses on Old Georgetown Trail, making the Subject Property an ideal location for an infill residential property.

In addition to the above, the intended final appearance of this development will compare favorably to other similar projects in the community, exceeding many of the older properties currently in need of redevelopment. Appropriate attention to scale, buffering, and setbacks has been given by the Applicant to ensure that this project will in fact blend harmoniously with and enhance its surroundings.

C.**WHETHER THE PROPERTY TO BE AFFECTED BY THE ZONING PROPOSAL HAS A REASONABLE ECONOMIC USE AS CURRENTLY ZONED.**

The Zoning Ordinance of the City of Dunwoody lacks adequate standards for the City Council to exercise its power to zone and rezone. In essence, the standards are not sufficient to

contain the discretion of the City Council and to provide the Courts with a reasonable basis for judicial review. Because the stated standards (individually and collectively) are too vague and uncertain to provide reasonable guidance to the City Council, the Zoning Ordinance violates the Fifth and Fourteenth Amendments of the Constitution of the United States in matters of zoning. The Zoning Resolution also violates Article I, Section III, Paragraph 1; and Article I, Paragraphs 1 and 2 of the Constitution of State of Georgia, 1983.

The City Council is granted the power to zone pursuant to Article IX, Section II, Paragraph 4 of the Constitution of the State of Georgia, 1983. It is a power which must be fairly exercised. Based on this element of fairness, the Zoning Ordinance of the City of Dunwoody violates Article IX, Section II, Paragraph 4 of the Constitution of the State of Georgia, 1983.

The Zoning Ordinance presently in effect is contrary to the best interest of the health and welfare of the citizens of the City of Dunwoody, and constitutes an arbitrary and capricious act. As a result, the Zoning Ordinance is in violation of Article I, Section I, Paragraphs 1 and 2 of the Constitution of the State of Georgia 1983; Article I, Section III, Paragraph 1 of the Constitution of the State of Georgia; and Article I, Section II, Paragraph 3 of the Constitution of the State of Georgia, 1983. Furthermore, the Zoning Ordinance violates the due process clause and equal protection clauses of the Fifth and Fourteenth Amendments to the Constitution of the United States of America.

In addition, the Zoning Ordinance presently in effect is unconstitutional in that it renders this property unusable and destroys its marketability. Therefore, the Zoning Ordinance constitutes a taking of applicant's property without just and adequate compensation and without due process of law in violation of the Fifth and Fourteenth Amendments to the United States Constitutional and in violation of Article I, Section I, Paragraph 1 and Article I, Section III, Paragraph 1(a) of the Constitution of Georgia.

Any limitation on the time for presentation of the issues before the City Council who have the power to zone and rezone is a violation of the guarantees of free speech under Article I, Section I, Paragraph 5 of the Constitution of the State of Georgia, 1983 and the First Amendment of the Constitution of the United States of America. Further, said limitations are in violation of the right to petition and assemble, in violation of Article I, Section I, Paragraph IX of the Constitution of Georgia, 1983 and the First Amendment of the Constitution of the United States of America as well as the due process clauses of the Constitution of Georgia, 1983 and the Constitution of the United States of America.

The Zoning Ordinance of the City of Dunwoody is unlawful, null and void in that its adoption and map adoption/maintenance did not comply with the requirements of its predecessor ordinance and/or the Zoning Procedures Law, O.C.G.A. § 36-66-1, *et seq.*

D.

WHETHER THE ZONING PROPOSAL WILL ADVERSELY AFFECT THE EXISTING USE OR USABILITY OF ADJACENT OR NEARBY PROPERTY.

Conditions imposed with regard to previous and similar area rezonings have resulted in responsive changes in the development plan for the Subject Property. In addition to providing the City with off-site park space, the Applicant has incorporated on-site staff requests relative to open space, building orientation and the trail which will be constructed along the eastern boundary of the site. The Applicant intends to engage in discussions with the Dunwoody Homeowners Association and adjacent neighbors to make sure its proposal is acceptable to the community. Consequently, appropriate conditions will be considered to eliminate any potential negative impacts from the proposed development.

The primary goal of land use planning is to eliminate or minimize the potential adverse effect of dissimilar uses of adjacent tracts of land by establishing a harmonious transition between them.

The traditional method of achieving this goal is through both "off-site" and "on-site" transition. Off-site transition consists of avoiding the placement of dissimilar uses next to each other by placing uses of intermediate density between them. On-site transition, which might either supplement or replace off-site transition, consists of measures imposed on or adjacent to the more intensive use to protect neighborhoods from adverse effects. Thus, this method of land use planning includes measures such as maintenance of buffers; walls, fences or berms; lighting control; noise control; aesthetic control; limitations on building location and orientation; location of or restrictions upon accessory uses; and prohibition of certain uses or hours of use normally permitted for that district. Many, if not all, of these devices have been utilized in this application.

E.

WHETHER THERE ARE OTHER EXISTING OR CHANGING CONDITIONS AFFECTING THE USE AND DEVELOPMENT OF THE PROPERTY THAT PROVIDE SUPPORTING GROUNDS FOR EITHER APPROVAL OR DISAPPROVAL OF THE ZONING PROPOSAL.

The Subject Property represents an ideal location for this type of redevelopment. Higher density residential uses have co-existed peacefully with other uses in this area for almost two decades. Moreover, developments like that proposed have become increasingly attractive to a variety of Dunwoody citizens seeking alternative housing options in the area.

Finally, the zoning requested here conforms to the ideals and spirit of the City of Dunwoody's Zoning Ordinance while developing a practical, useful and marketable development that will redevelop an underutilized property into an asset for the immediate area and the city as a whole while adding to the parks inventory. It provides excellent access to local shopping facilities and public transportation. This type of infill redevelopment should be encouraged so as to minimize sprawl and encourage less use of automobile transportation.

F.**WHETHER THE ZONING PROPOSAL WILL ADVERSELY AFFECT HISTORIC BUILDINGS, SITES, DISTRICTS, OR ARCHAEOLOGICAL RESOURCES.**

The Applicant knows of no historic buildings, sites, districts, or archaeological resources either on the Subject Property or located in the immediate vicinity that would suffer adverse impacts from the rezoning requested.

G.**WHETHER THE ZONING PROPOSAL WILL RESULT IN A USE THAT WILL OR COULD CAUSE AN EXCESSIVE OR BURDENSOME USE OF EXISTING STREETS, TRANSPORTATION FACILITIES, UTILITIES, OR SCHOOLS.**

The Application, if approved, is designed so as not to affect existing transportation facilities. While its primary purpose is to improve aesthetics; provide needed housing in an urban, transit-friendly design; and to take advantage of its proximity to Perimeter Center; the proposed development should also reduce the traffic that could be created by redeveloping the Subject Property as currently zoned. By way of simple example, the Subject Property now includes ±6.002 acres zoned O-I. The comparably-sized tract at 53 Perimeter Center East contains a five-story office building with 94,500 square feet. The Applicant could develop a similar office building with surface parking right now. That use would generate 1,042 daily vehicle trips, 147 at the AM peak hour and 142 in the PM peak hour.¹ By contrast, the proposed development under the RM-85 zoning category should generate only 58 vehicle trips in the AM peak hour and 68 trips in the PM peak hour.²

Similarly, the requested zoning should not result in a use that will cause excessive use or burdensome use of existing schools. This site is served by Dunwoody Elementary School, Peachtree Charter Middle School, and Dunwoody High School. According to a recent study of standardized

¹ See ITE Trip Generation Manual (9th Ed.), General Office Use (710)

² See ITE Trip Generation Manual (9th Ed.), Low-Rise Residential Condominium/Townhouse (231)

school statistics³, 87 dwelling units, such as the units proposed, would generate approximately a total of 18 children between the ages of 5 and 17. It is important to note, however, that the Applicant expects the actual school numbers to be towards the low end of the scale because data for the type of residential use proposed in this rezoning demonstrate that this project will attract single professionals, empty nesters, and those families who have few (if any) school-age children. Its 70-unit townhome development known as the Reserve at City Park (on 26th Street) has only three school age children.

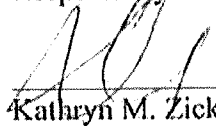
Finally, this site is served by the R.M. Clayton sewage treatment plant. Capacity is available to service waste generated by this project. Sufficient water capacity also is available.

V. CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the Rezoning Application at issue be approved. The Applicant also invites and welcomes any comments from Staff or other officials of the City of Dunwoody so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 30th day of June, 2015.

Respectfully submitted,



Kathryn M. Zickert

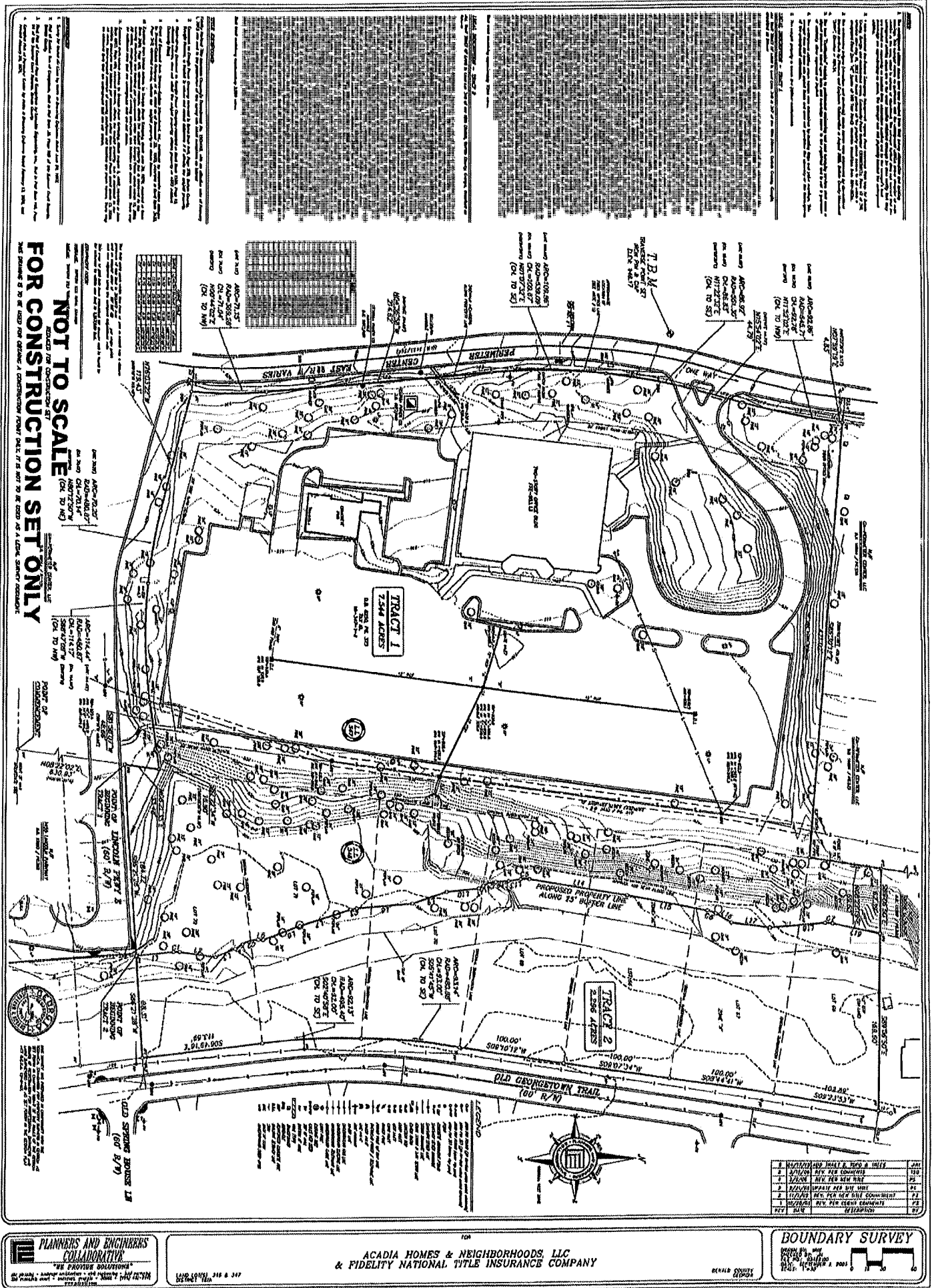
Dennis J. Webb, Jr.

Robert D. Griest

Attorneys For Applicant

Smith, Gambrell & Russell, LLP
Promenade, Suite 3100
1230 Peachtree Street, N.E.
Atlanta, Georgia 30309
404-815-3500

³ 2012 Study, Montgomery County, Pennsylvania .21 students per new single family attached home.



ALL THAT TRACT OF LAND in Land Lots 346 & 347 of the 18th District, DeKalb County, Georgia, described as follows:

TO FIND THE TRUE POINT OF BEGINNING, commence at an iron pin found at the intersection of the land lot line common to Land Lots 346 and 347 of the 18th District, DeKalb County, Georgia, with the north right-of-way line of Interstate Highway 285 (variable right-of-way); running thence along said common land lot line North 08 degrees 22 minutes 02 seconds East 630.93 feet to the TRUE POINT OF BEGINNING; from the TRUE POINT OF BEGINNING as thus established, thence North 08 degrees 21 minutes 35 seconds East, 33.48 feet to a point; thence leaving said common land lot line, running South 82 degrees 22 minutes 34 seconds West 16.90 feet to a point; thence South 81 degrees 58 minutes 07 seconds West 48.66 feet to a point; thence along the arc of a curve to the right (which arc is subtended by a chord having a bearing and distance of South 88 degrees 47 minutes 09 seconds West 114.17 feet and a radius of 480.87 feet) 114.44 feet to a point; thence along the arc of a curve to the right (which arc is subtended by a chord having a bearing and distance of North 80 degrees 12 minutes 50 seconds West 70.14 feet and a radius of 480.87 feet) 70.20 feet to a point; thence North 76 degrees 03 minutes 22 seconds West 119.43 feet to an iron pin found on the east right-of-way line of Perimeter Center East (right-of-way varies); thence along said east right-of-way line, the following courses and distances: (1) along the arc of a curve to the left (which arc is subtended by a chord having a bearing and distance of North 00 degrees 44 minutes 02 seconds East 71.04 feet and a radius of 369.28 feet) 71.15 feet to a point, (2) North 04 degrees 36 minutes 58 seconds West 214.62 feet to a point, (3) along the arc of a curve to the right (which arc is subtended by a chord having a bearing and distance of North 01 degree 07 minutes 32 seconds East 109.67 feet and a radius of 539.09 feet) 109.86 feet to a point, (4) along the arc of a curve to the right (which arc is subtended by a chord having a bearing and distance of North 11 degrees 22 minutes 32 seconds East 86.83 feet and a radius of 551.30 feet) 86.92 feet to a point, (5) North 15 degrees 54 minutes 02 seconds East 44.79 feet to a point, and (6) along the arc of a curve to the left (which arc is subtended by a chord having a bearing and distance of North 11 degrees 52 minutes 02 seconds East 92.78 feet and a radius of 645.71 feet) 92.86 feet to a point, and (7) North 07 degrees 59 minutes 19 seconds East 4.83 feet to an iron pin found; thence, leaving said right-of-way line, South 85 degrees 30 minutes 12 seconds East 421.02 feet to a 1-inch crimp-top pipe found; thence North 08 degrees 22 minutes 19 seconds East, a distance of 69.63 feet to an iron pin set; thence South 89 degrees 06 minutes 50 seconds East, a distance of 62.39 feet to an iron pin set; thence South 11 degrees 57 minutes 11 seconds West a distance of 46.85 feet to a point; thence 7.30 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 03 degrees 35 minutes 08 seconds West 7.28 feet to a point; thence South 04 degrees 46 minutes 55 seconds East a distance of 53.58 feet to a point; thence South 07 degrees 26 minutes 16 seconds West a distance of 36.92 feet to a point; thence South 30 degrees 35 minutes 24 seconds West a distance of 17.47 feet to a point; thence 8.25 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 21 degrees 08 minutes 20 seconds West 8.21 feet to a point; thence South 11 degrees 41 minutes 15 seconds West a distance of 76.35 feet to a point; thence South 10 degrees 05 minutes 01 seconds West a distance of 93.74 feet to a point; thence 8.40 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 00 degrees 27 minutes 42 seconds West 8.36 feet to a point; thence South 09 degrees 09 minutes 37 seconds East a distance of 11.47 feet to a point; thence South 02

degrees 50 minutes 29 seconds East a distance of 12.44 feet to a point; thence 12.51 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 17 degrees 10 minutes 33 seconds East 12.38 feet to a point; thence South 31 degrees 30 minutes 37 seconds East a distance of 5.07 feet to a point; thence South 05 degrees 15 minutes 26 seconds East a distance of 30.90 feet to a point; thence South 18 degrees 40 minutes 24 seconds East a distance of 34.60 feet to a point; thence South 04 degrees 22 minutes 14 seconds East a distance of 52.39 feet to a point; thence 5.89 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 11 degrees 07 minutes 21 seconds East 5.88 feet to a point; thence South 17 degrees 52 minutes 28 seconds East a distance of 50.19 feet to a point; thence South 20 degrees 49 minutes 49 seconds East a distance of 36.32 feet to a point; thence South 01 degrees 46 minutes 13 seconds West a distance of 4.52 feet to a point; thence 15.52 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 16 degrees 01 minutes 07 seconds East 15.28 feet to a point; thence South 33 degrees 48 minutes 28 seconds East a distance of 7.84 feet to a point; thence South 22 degrees 44 minutes 20 seconds East a distance of 20.24 feet to a point; thence South 08 degrees 21 minutes 03 seconds West a distance of 34.08 feet to a point; thence 6.04 feet along an arc of a curve to the left, said curve having a radius of 25.00 feet and a chord bearing and distance of South 01 degrees 25 minutes 39 seconds West 6.03 feet to a point; thence South 05 degrees 29 minutes 45 seconds East a distance of 35.60 feet to an iron pin set; thence South 86 degrees 21 minutes 28 seconds West 184.72 feet to an iron pin set, said pin being the TRUE POINT OF BEGINNING

Said tract containing approximately 7.544 acres.

ALL THAT TRACT OF LAND in Land Lot 346 of the 18th District, DeKalb County, Georgia, described as follows:

TO FIND THE TRUE POINT OF BEGINNING, commence at an iron pin found at the intersection of the land lot line common to Land Lots 346 and 347 of the 18th District, DeKalb County, Georgia, with the north right-of-way line of Interstate Highway 285 (variable right-of-way); running thence along said common land lot line North 08 degrees 22 minutes 02 seconds East 630.93 feet to the an iron pin set, thence North 86 degrees 21 minutes 28 seconds East, a distance of 184.72 feet to an iron pin set, said pin being the TRUE POINT OF BEGINNING; from the TRUE POINT OF BEGINNING as thus established, thence North 05 degrees 29 minutes 45 seconds West, a distance of 35.60 feet to a point; thence 6.04 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 01 degrees 25 minutes 39 seconds East 6.03 feet to a point; thence North 08 degrees 21 minutes 03 seconds East, a distance of 34.08 feet to a point; thence North 22 degrees 44 minutes 20 seconds West, a distance of 20.24 feet to a point; thence North 33 degrees 48 minutes 28 seconds West, a distance of 7.84 feet to a point; thence 15.52 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 16 degrees 01 minutes 08 seconds West 15.28 feet to a point; thence North 01 degrees 46 minutes 13 seconds East, a distance of 4.52 feet to a point; thence North 20 degrees 49 minutes 49 seconds West, a distance of 36.32 feet to a point; thence North 17 degrees 52 minutes 28 seconds West, a distance of 50.19 feet to a point; thence 5.89 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 11 degrees 07 minutes 21 seconds West 5.88 feet to a point; thence North 04 degrees 22 minutes 14 seconds West, a distance of 52.39 feet to a point; thence North 18 degrees 40 minutes 24 seconds West, a distance of 34.60 feet to a point; thence North 05 degrees 15 minutes 26 seconds West, a distance of 30.90 feet to a point; thence North 31 degrees 30 minutes 37 seconds West, a distance of 5.07 feet to a point; thence 12.51 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 17 degrees 10 minutes 33 seconds West 12.38 feet to a point; thence North 05 degrees 52 minutes 22 seconds West, a distance of 23.87 feet to a point; thence 8.40 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 00 degrees 27 minutes 42 seconds East 8.36 feet to a point; thence North 10 degrees 05 minutes 01 seconds East, a distance of 93.74 feet to a point; thence North 11 degrees 41 minutes 15 seconds East, a distance of 76.35 feet to a point; thence 8.25 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 21 degrees 08 minutes 19 seconds East 8.21 feet to a point; thence North 30 degrees 35 minutes 24 seconds East, a distance of 17.47 feet to a point; thence North 07 degrees 26 minutes 16 seconds East, a distance of 36.92 feet to a point; thence North 04 degrees 46 minutes 55 seconds West, a distance of 53.58 feet to a point; thence 7.30 feet along an arc of a curve to the right, said curve having a radius of 25.00 feet and a chord bearing and distance of North 03 degrees 35 minutes 08 seconds East 7.28 feet to a point; thence North 11 degrees 57 minutes 11 seconds East, a distance of 46.85 feet to an iron pin set; thence South 89 degrees 06 minutes 50 seconds East 169.60 feet to an iron pin found on the northwest right-of-way of Old Georgetown Trail (60' right-of-way); thence along said right-of-way, South 09 degrees 23 minutes 53 seconds West, 102.89 feet to a point; thence along said right-of-way, South 08 degrees 44 minutes 41 seconds West, 100.00 feet to a point; thence along said right-of-way, South 09 degrees 07 minutes 34 seconds West 100.00 feet to a point; thence along said right-of-way, South 09 degrees 10 minutes 12 seconds West 100.00 feet to a point; thence along the arc of a curve to the left (which arc is subtended by a chord having a bearing and distance of South 05 degrees 41 minutes 45 seconds West 93.00 feet and a radius of 480.88 feet) 93.14 feet to a point; thence along the arc of a curve to the right (which arc is subtended by a chord having

#13.

a bearing and distance of South 02 degrees 40 minutes 58 seconds East 92.00 feet and a radius of 495.40 feet) 92.13 feet to a point; thence along right-of-way, South 06 degrees 49 minutes 16 seconds East, 113.59 feet to a point; thence leaving the northwest right-of-way of Old Georgetown Trail (60' right-of-way), South 86 degrees 21 minutes 28 seconds West, 98.31 feet to an iron pin set, said pin being the TRUE POINT OF BEGINNING.

Said tract containing approximately 2.296 acres.

STATEMENT REGARDING NEIGHBOR COMMUNICATIONS

The Applicant notified every residential neighbor within 500 feet of the subject property of the proposed rezoning via a "NOTICE OF REZONING" mailed via US Mail on April 10, 2015, a copy of which is attached. We have been contacted by one residential neighbor who identified herself as "Samantha". She asked several questions about the development and said she would contact us again after the application has been filed.

SGR/12849877.1

*Mailed
4-10-15*

Dickie Slack
Cherie LaDonna Porter
4516 Timberlake Lane
Kingsport, TN 37664-2164

James H. Cowart
3740 Davinci Court
#460
Norcross, GA 30092-7614

Anne Elizabeth Weaver
856 Penn Avenue, NE
Atlanta, GA 30308

David & Jaime Jones
4412 Old Georgetown Trail
Dunwoody, GA 30338-6100

Shirley M. Thompson
1494 Congress Circle
Dunwoody, GA 30338-6112

Kay Janie Crowson
1506 Congress Circle
Dunwoody, GA 30338-6112

Stephen R. Ellet
Tracy Ledford
4483 Kellogg Circle
Atlanta, GA 30338-6003

Roman M. Velazquez
Judy Rivera
4370 Congress Court
Dunwoody, GA 30338-6116

Regina Hauk Hennessy
4362 Congress Court
Dunwoody, GA 30338-6116

Katie E. Gangell
4361 Old Georgetown Trail
Dunwoody, GA 30338-6120

Aaron Baird
Samantha Nowak
4351 Old Georgetown Trail
Atlanta, GA 30338-6120

Eleanor R. Benson
4341 Old Georgetown Trail
Dunwoody, GA 30338-6120

Mack Beverly
1470 Old Spring House Lane
Dunwoody, GA 30338-6123

Melissa A. Stavropoulos
1463 Old Spring House Lane
Dunwoody, GA 30338-6122

NOTICE OF REZONING

Acadia Homes & Neighborhoods is filing an application to rezone property located at 54 Perimeter Center East from O-I to RM-85 for the purpose of developing townhomes.

If you have questions regarding this Application, please contact the following:

Dennis J. Webb, Jr.
(404) 815-3620
djwebb@sgrlaw.com



site planning ■ landscape architecture ■ civil engineering ■ land surveying

"WE PROVIDE SOLUTIONS"

TECHNICAL MEMORANDUM

To: Clint W. Walters, Acadia Homes and Neighborhoods

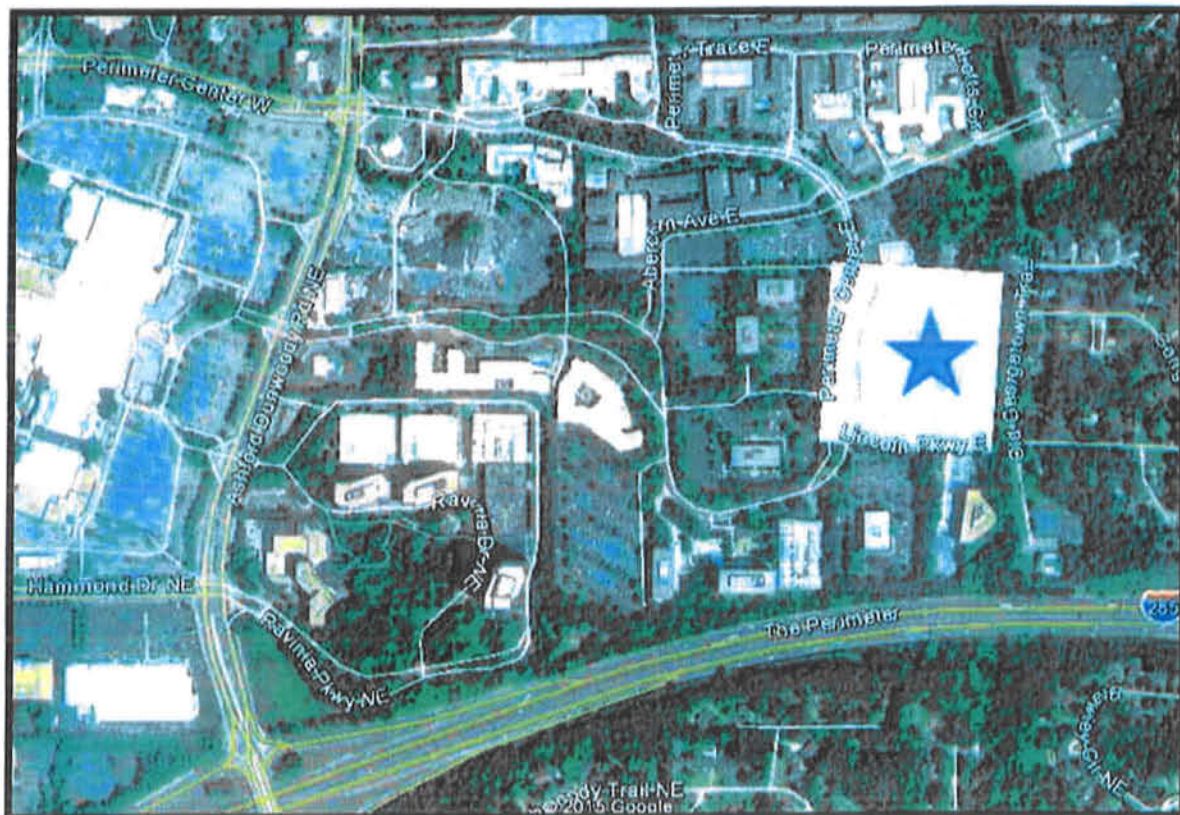
From: John Karnowski, P.E., PTOE, AICP

Date: May 16, 2015

RE: Townsend at Perimeter Townhome Development
Perimeter Center East, Dunwoody, GA
Traffic Assessment

This memorandum summarizes the results of a study of the proposed access point to the Townsend at Perimeter townhomes development. The proposed development shown on the attached site plan includes 81 residential units. Refer to Figure 1 for the location of the site in Dunwoody, GA.

Figure 1. Site Location



Townsend at Perimeter Townhome Development
 May 16, 2015
 Page 2 of 4

Access

The proposed single access is along Perimeter Center East, just north of Lincoln Pkwy. The access point will be cut into an existing median, forming a full-access driveway for the development. No access is proposed at this time on Lincoln Pkwy; however, a stub-out for a possible future or emergency access is shown on the site plan.

Transportation Network

Perimeter Center East is a two-lane roadway that serves as the primary access for a number of office complexes as well as residential and commercial uses. In the vicinity of the subject property, the road is median divided with dense trees, effectively creating two, one-way roadways. The road is signed for 35 MPH. There are bike lanes in both directions and sidewalk on the east side of the road.

Traffic Counts

Bi-directional, 24-hr counts were collected on May 12, 2015 on Perimeter Center East near the subject property. The daily volume was 3,837. The highest peak hour volume was between 4p and 5p with 439 vehicles recorded – 66% heading north and 33% heading south.

Trip Generation

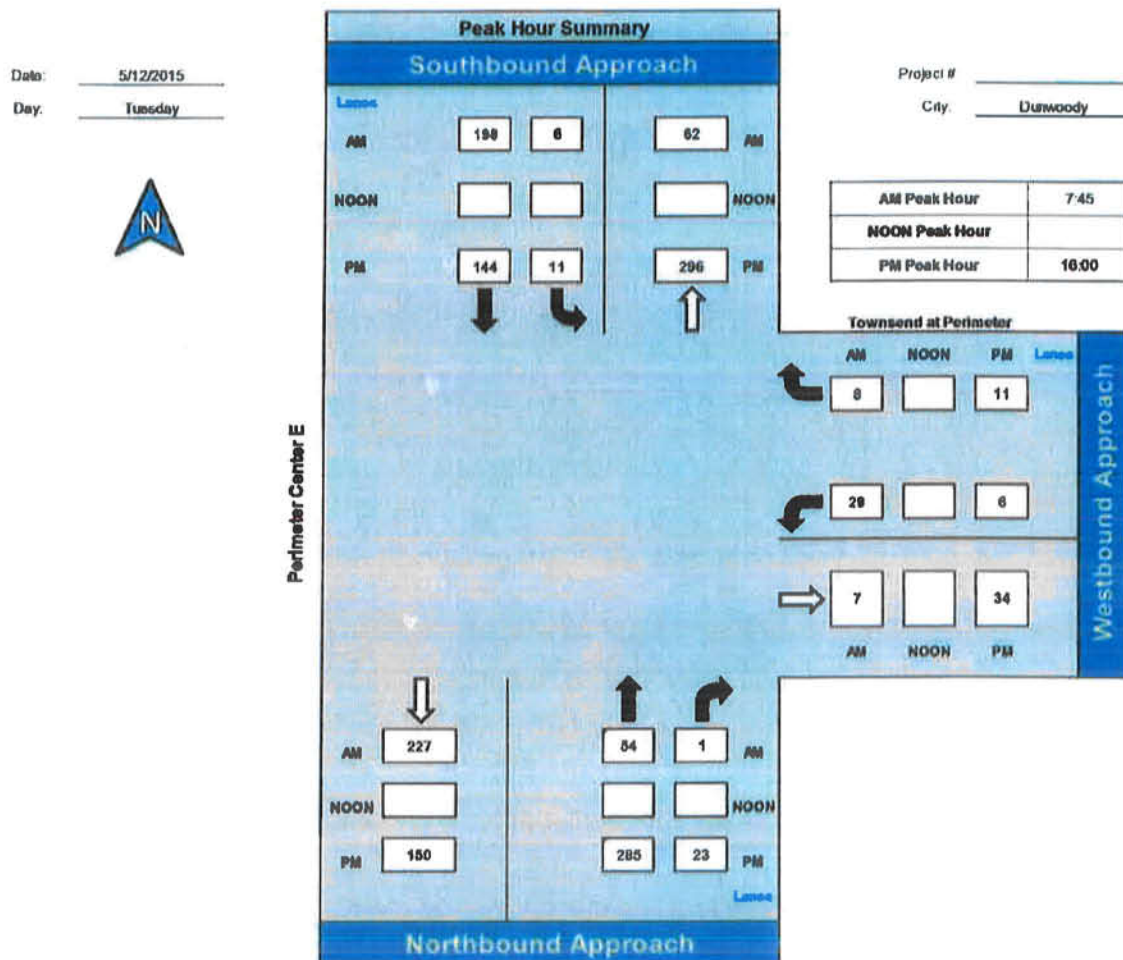
The expected number of trips from the proposed development was estimated using *Trip Generation, 9th Edition*, ITE. The table below shows the projected traffic.

Project Land Use	Project Density	Project Trips		
		Total	Inbound	Outbound
Townhouse	81 DU			
Daily		535	268	267
AM Peak Hour		44	7	37
PM Peak Hour		51	34	17

Using the collected traffic counts and the trip generation, the expected traffic volume at the future driveway was estimated. The directionality of the traffic will likely follow the existing traffic patterns on the road. Figure 2 shows the future traffic with the site traffic.

Townsend at Perimeter Townhome Development
 May 16, 2015
 Page 3 of 4

Figure 2. Traffic Volume



Turn Lanes

The need for turn lanes is primarily dependent on the conflicting traffic movements and the desired level of service for a roadway. Left and right turn lanes separate movements from each other and allow through vehicles to pass by without disruption. For example, on state routes and urban arterials, turn lanes keep traffic flowing and allows for higher volumes. However, on roadways that primarily serve as access to other facilities where speed and throughput is not the key objective, turn lanes should only be used when there is a clear case of need.

Townsend at Perimeter Townhome Development
May 16, 2015
Page 4 of 4

The National Cooperative Highway Research Program (NCHRP) publishes Report 457, which provides guidance on when turn lanes are an appropriate tool for managing traffic. Using the volumes shown in Figure 2 and NCHRP 457 Figures 2-5 and 2-6, neither left turn nor right turn lanes are needed. See attached worksheets.

From a qualitative perspective, a right turn lane at the proposed driveway would conflict with the bike lane established along the curb. While it is possible to cross over the bike lanes to enter the deceleration lane, that crossing maneuver would unnecessarily conflict with bicycles.

A left turn lane, while not recommended by NCHRP, would provide some storage for vehicles entering the development that must wait on northbound through traffic. That said, the wide median will also provide some storage.

Alternative Build Scenario

A sensitivity analysis was completed assuming 10, 20, or 30 more townhomes to determine if additional development would produce different conclusions. With 10 or 20 more homes, turn lanes will still not warranted. However, 30 additional homes would put the volume just over the threshold for a right turn lane, but not a left turn lane.

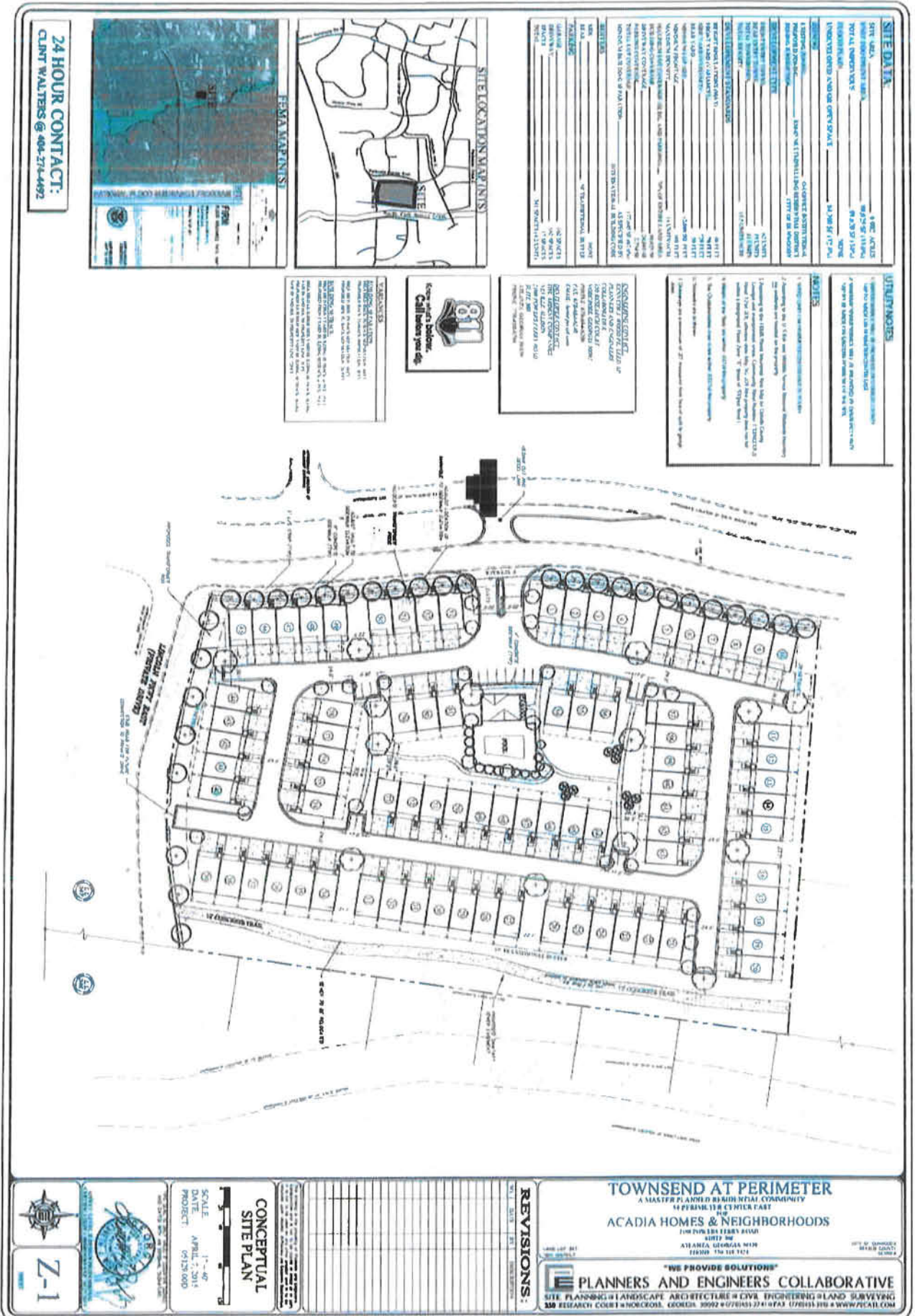
An additional analysis was undertaken to examine the need if more than one entrance to the development is constructed. Since two or more access points would dilute the volume at any one driveway, the conclusions are still valid: no turn lanes are warranted.

Conclusions

The proposed townhome development should be constructed with a left turn lane on Perimeter Center East. No right turn deceleration lane is required.

Attachments

- Site plan
- Traffic counts
- Turn Lane Warrant Worksheets



Prepared by NDS/ATD

VOLUME

Perimeter Center East Bet. Lincoln Pkwy & Business Dwy

Day: Tuesday
Date: 5/12/2015City: Dunwoody
Project #: GA15_9182_001

DAILY TOTALS					NB	SB	EB	WB	Total		
					2,029	1,808	0	0	3,837		
AM Period	NB	SB	EB	WB	TOTAL	PM Period	NB	SB	EB	WB	TOTAL
00:00	3	0			3	12:00	50	46			96
00:15	3	2			5	12:15	49	49			98
00:30	0	0			0	12:30	47	38			85
00:45	0	6	0	2	8	12:45	33	179	51	184	363
01:00	2	1			3	13:00	40	53			93
01:15	3	1			4	13:15	35	40			75
01:30	2	1			3	13:30	42	46			88
01:45	2	9	0	3	12	13:45	24	141	32	171	312
02:00	1	1			2	14:00	35	23			58
02:15	1	0			1	14:15	25	25			50
02:30	2	1			3	14:30	34	26			60
02:45	0	4	1	3	7	14:45	26	120	30	104	224
03:00	1	7			8	15:00	28	28			56
03:15	1	0			1	15:15	51	27			78
03:30	3	1			4	15:30	41	19			60
03:45	0	5	0	8	13	15:45	44	164	37	111	275
04:00	0	0			0	16:00	69	32			101
04:15	0	1			1	16:15	65	46			111
04:30	0	0			0	16:30	88	31			119
04:45	0	3	4		4	16:45	63	285	35	144	429
05:00	1	4			5	17:00	57	19			76
05:15	0	2			2	17:15	46	17			63
05:30	0	5			5	17:30	83	14			97
05:45	4	5	3	14	19	17:45	50	236	21	71	307
06:00	2	11			13	18:00	34	19			53
06:15	4	29			33	18:15	31	15			46
06:30	5	16			21	18:30	64	17			81
06:45	5	16	19	75	91	18:45	42	171	19	70	241
07:00	6	34			40	19:00	48	18			66
07:15	5	43			48	19:15	27	17			44
07:30	10	54			64	19:30	22	17			39
07:45	12	33	58	189	222	19:45	18	115	12	64	179
08:00	13	47			60	20:00	43	11			54
08:15	13	43			56	20:15	16	14			30
08:30	16	50			66	20:30	32	7			39
08:45	10	52	29	169	221	20:45	12	103	13	45	148
09:00	13	35			48	21:00	24	5			29
09:15	10	26			36	21:15	19	5			24
09:30	17	18			35	21:30	14	8			22
09:45	14	54	25	104	158	21:45	5	62	7	25	87
10:00	15	28			43	22:00	6	3			9
10:15	20	23			43	22:15	7	4			11
10:30	13	17			30	22:30	10	5			15
10:45	24	72	25	93	165	22:45	4	27	4	16	43
11:00	25	25			50	23:00	7	3			10
11:15	36	31			67	23:15	5	2			7
11:30	47	39			86	23:30	3	2			5
11:45	45	153	36	131	284	23:45	2	17	1	8	25
TOTALS	409	795			1204	TOTALS	1620	1013			2633
SPLIT %	34.0%	66.0%			31.4%	SPLIT %	61.5%	38.5%			68.6%

DAILY TOTALS					NB	SB	EB	WB	Total
					2,029	1,808	0	0	3,837
AM Peak Hour	11:30	07:15	11:30	PM Peak Hour	16:00	12:15	16:00		
AM Pk Volume	191	202	361	PM Pk Volume	285	191	429		
Pk Hr Factor	0.955	0.871	0.921	Pk Hr Factor	0.810	0.901	0.901		
7 - 9 Volume	85	358	443	4 - 6 Volume	521	215	736		
7 - 9 Peak Hour	07:45	07:15	07:45	4 - 6 Peak Hour	16:00	16:00	16:00		
7 - 9 Pk Volume	54	202	252	4 - 6 Pk Volume	285	144	429		
Pk Hr Factor	0.844	0.871	0.900	Pk Hr Factor	0.810	0.783	0.901		

McFarland Blvd @ Driveway 1 - Left Turn Lane

Figure 2 - 5. Guideline for determining the need for a major-road left-turn bay at a two-way stop-controlled intersection.

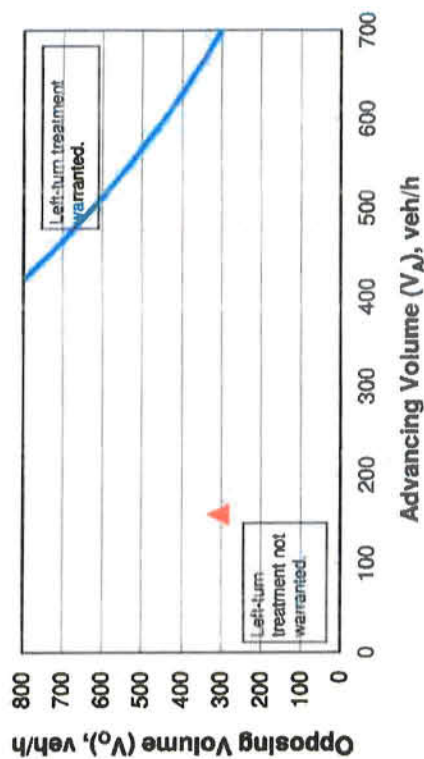
2-lane roadway (English)

INPUT

Variable	Value
85 th percentile speed, mph:	35
Percent of left-turns in advancing volume (V_A), %:	4%
Advancing volume (V_A), veh/h:	155
Opposing volume (V_O), veh/h:	308

OUTPUT

Variable	Value
Limiting advancing volume (V_A), veh/h:	696
Guidance for determining the need for a major-road left-turn bay:	Left-turn treatment NOT warranted .

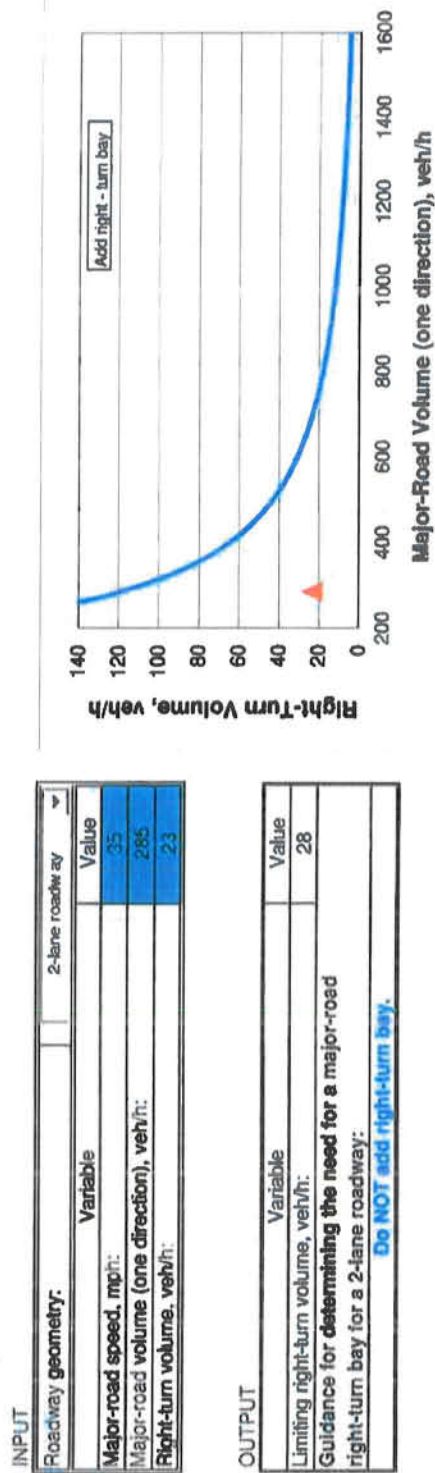


CALIBRATION CONSTANTS

Variable	Value
Average time for making left-turn, s:	3.0
Critical headway, s:	5.0
Average time for left-turn vehicle to clear the advancing lane, s:	1.9

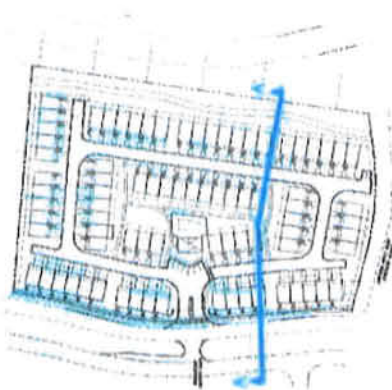
McFarland Blvd @ Driveway 1 - Right Turn Lane

Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

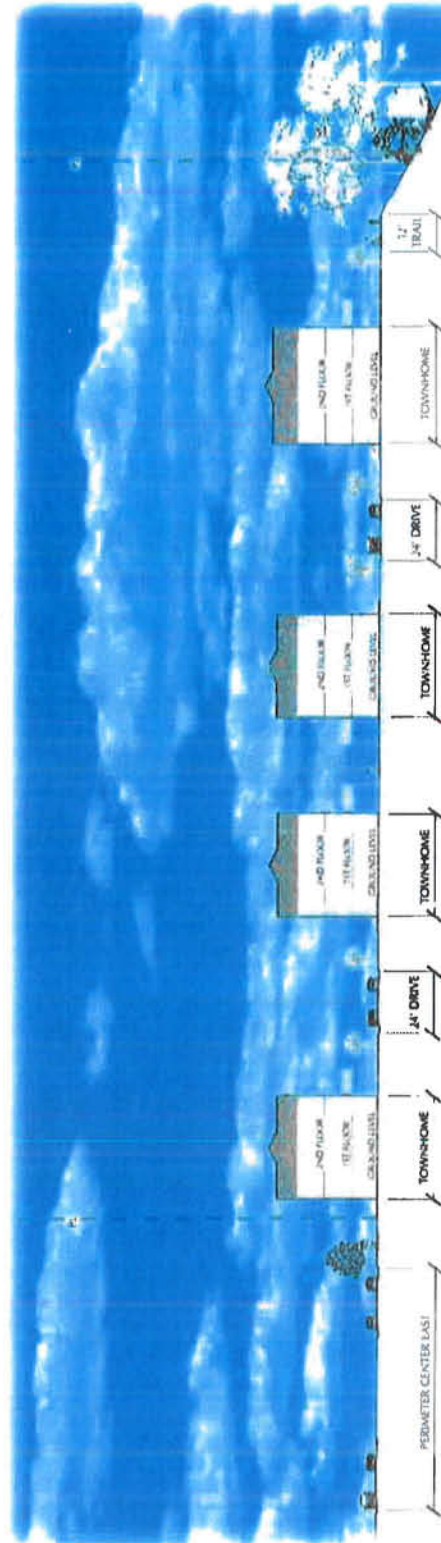


TOWNSEND AT PERIMETER

ACADIA HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD
SUITE 300
ATLANTA, GEORGIA 30339
PHONE: 770-319-7424



PLAN VIEW A-A'
NTS



SITE SECTION A-A'
SCALE: 1" = 20'

SMITH, GAMBRELL & RUSSELL, LLP

PRIVILEGED AND CONFIDENTIAL
ATTORNEY WORK PRODUCT

MEMORANDUM

TO: REBECCA KEEFER, CITY PLANNER/DIRECTOR OF SUSTAINABILITY,
CITY OF DUNWOODY

FROM: DENNIS J. WEBB, JR.

DATE: June 3, 2015

RE: RZ-15-072
RESPONSE TO STAFF COMMENTS

Rebecca - here is a partial response to Staff's Rezoning Comments:

1. "Materials": Facades shall consist of masonry, stone or brick, except for accents and projections like dormers, gables, bay windows, and similar features.
2. "Range of Sizes": 1,824 square feet to 2,517 square feet.
3. "Elevations:" Conceptual Elevations are attached. These are conceptual only.
4. "Amenities Described": The site will have a 12' multi-use trail along the eastern boundary allowing for a future pedestrian and bicycle connection to a proposed city park. The site will also contain a pool, a pool cabana, open space, internal sidewalks, and extensive landscaping.

Please add this material to the rezoning file. Thanks.

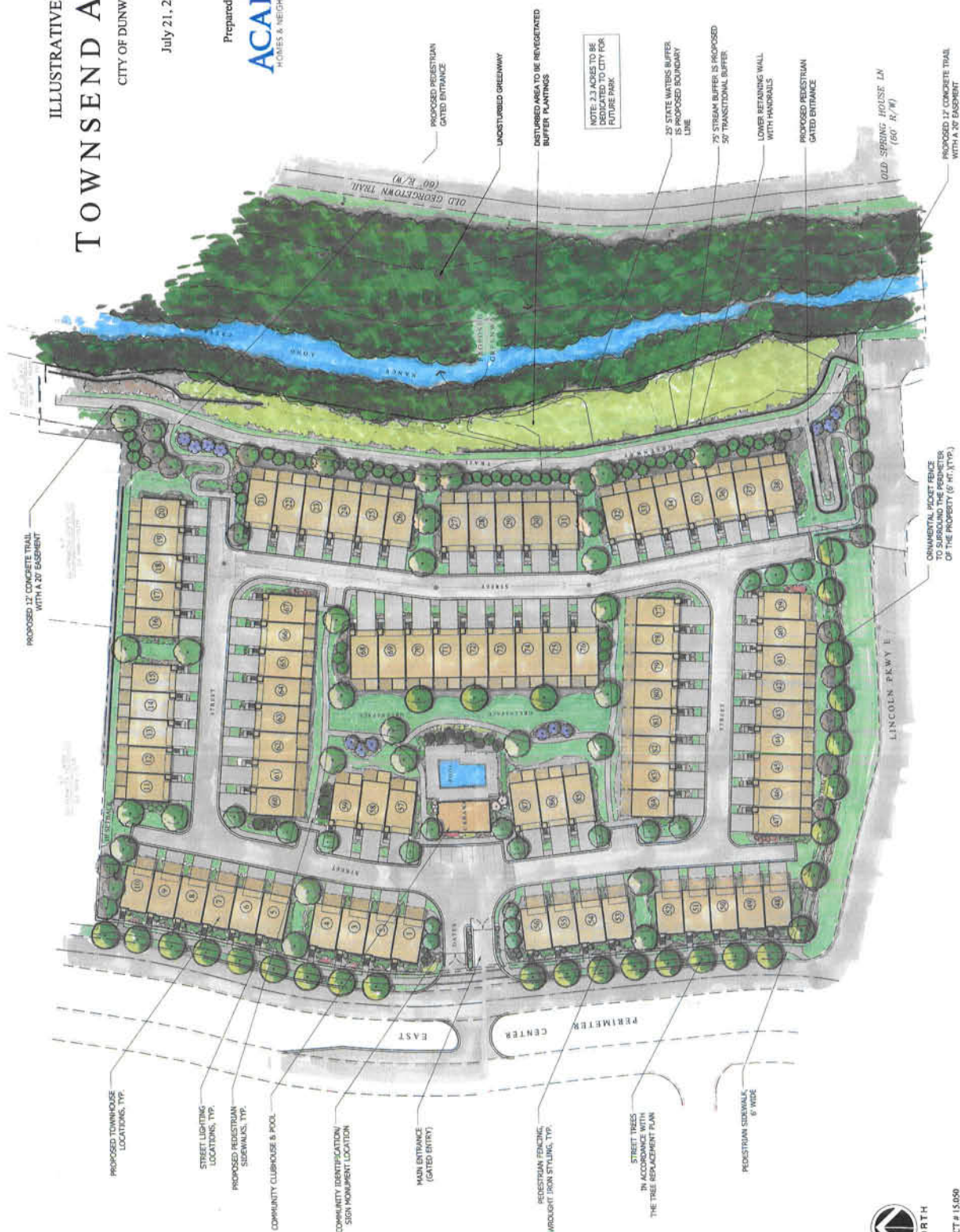
SGR/13090210.1

CITY OF DUNWOODY, GEORGIA

July 21, 2015

Prepared For:







ACADIA
HOMES & NEIGHBOHOODS



PROJECT # 15,050



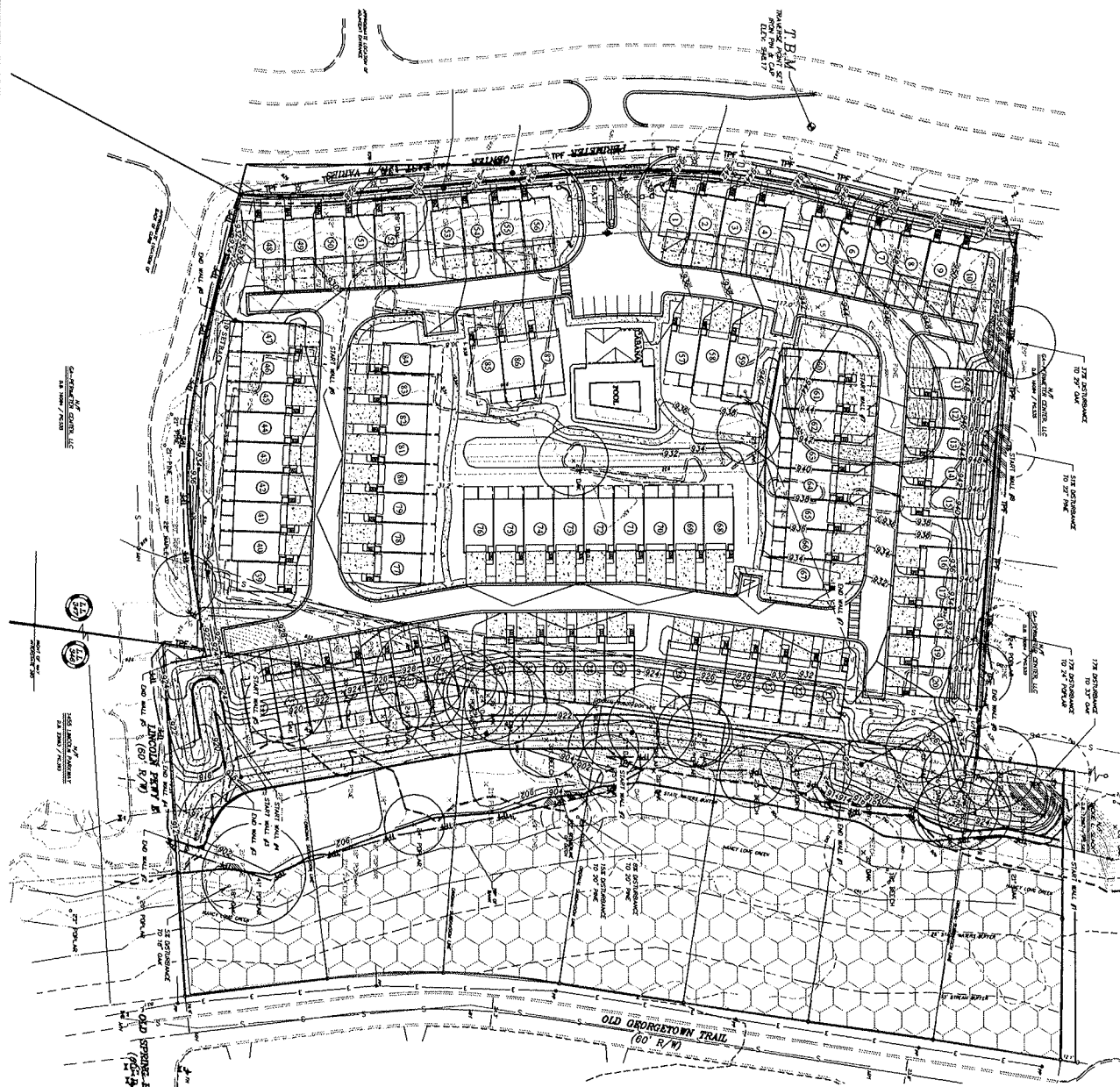
**Know what's below.
Call before you dig.**

KEY	
	TREE TO BE REMOVED
	CIR. OF EXISTING SPECIMEN TREE TO BE REMOVED
	CIR. OF EXISTING SPECIMEN TREE TO BE SAVED
	DOWNY/IN TREE / C22 DISTURBANCE
	GREENWAY PROJECT SITE - TREE SAVE
	TREE SAVE

TREE PROTECTION NOTES

- 1) ALL TREE PROTECTION FENCES TO BE PROTECTED FROM EXCAVATIONATION
- 2) ALL TREE PROTECTION FENCES TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 3) ALL TREE PROTECTION FENCES TO BE REMOVED AFTER AND REPAIRED OR REPLACED AS REQUIRED.
- 4) NO PAINTING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION FENCES OR WITHIN 60 FEET OF THE TREE.
- 5) ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL SUBMITTAL.
- 6) TREE PROTECTION FENCE TO BE THE SAME AS LIMITS OF DISTURBANCE.

24 HOUR CONTACT:
CLINT WALTERS @ 404-274-4492



L-2



0-27-201

TREE PROTECTION PLAN

SCALE: 1" = 40'
DATE: JUNE 29, 2015
PROJECT: 05129.00D

THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE.

REV	DATE	BY	DESCRIPTION
REVISIONS:			

TOWNSEND AT PERIMETER
A MASTER PLANNED RESIDENTIAL COMMUNITY
54 PERIMETER CENTER EAST
FOR
ACADIA HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD
SUITE 300

LAND LOT 347
1812 DISTRICT

18th DISTRICT

"WE PROVIDE SOLUTIONS"

PLANNERS AND ENGINEERS COLLABORATIVE
SITE PLANNING ■ LANDSCAPE ARCHITECTURE ■ CIVIL ENGINEERING ■ LAND SURVEYING
350 RESEARCH COURT ■ NORCROSS, GEORGIA 30092 ■ (770) 451-2741 ■ FAX (770) 451-3915 ■ WWW.PECATL.COM

CITY OF DUNWOODY
DEKALB COUNTY
GEORGIA

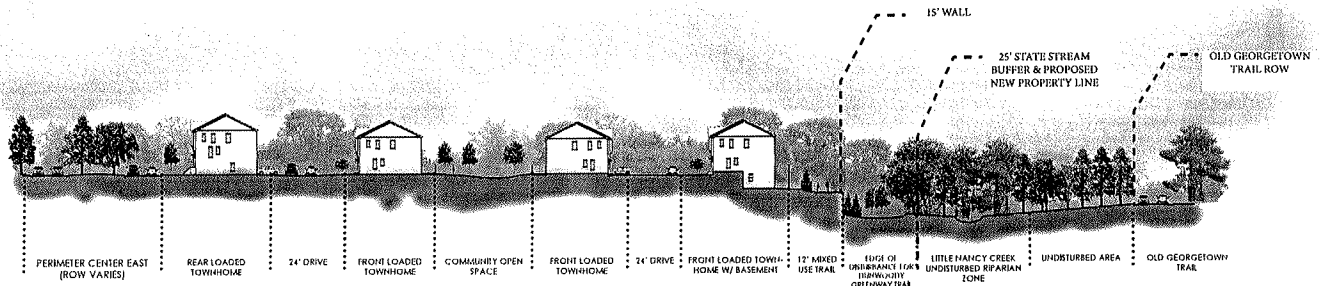
TOWNSEND AT PERIMETER

ACADIA HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD
SUITE 300
ATLANTA, GEORGIA 30339
PHONE: 770-319-7424

PLAN VIEW A-A'
NTS



PLANNERS AND ENGINEERS
COLLABORATIVE



SITE SECTION A-A'
SCALE: 1" = 30'

		2020-2021 (ESTIMATED)									
		2020		2021		2020		2021		2020	
UNIT	CODE	UNIT	CODE	UNIT	CODE	UNIT	CODE	UNIT	CODE	UNIT	CODE
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2	000	24	2,306			0	0	0	0	0	0
3	000	24	2,306			0	0	0	0	0	0
4	000	24	2,306			0	0	0	0	0	0
5	000	24	2,306			0	0	0	0	0	0
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		2,306		2,306		2,306		2,306		2,306	
		2,306									

TOTAL SITE AREA	9.840 AC
GREENWAY SITE AREA	-2.296 AC
PROJECT SITE AREA	7.544 AC

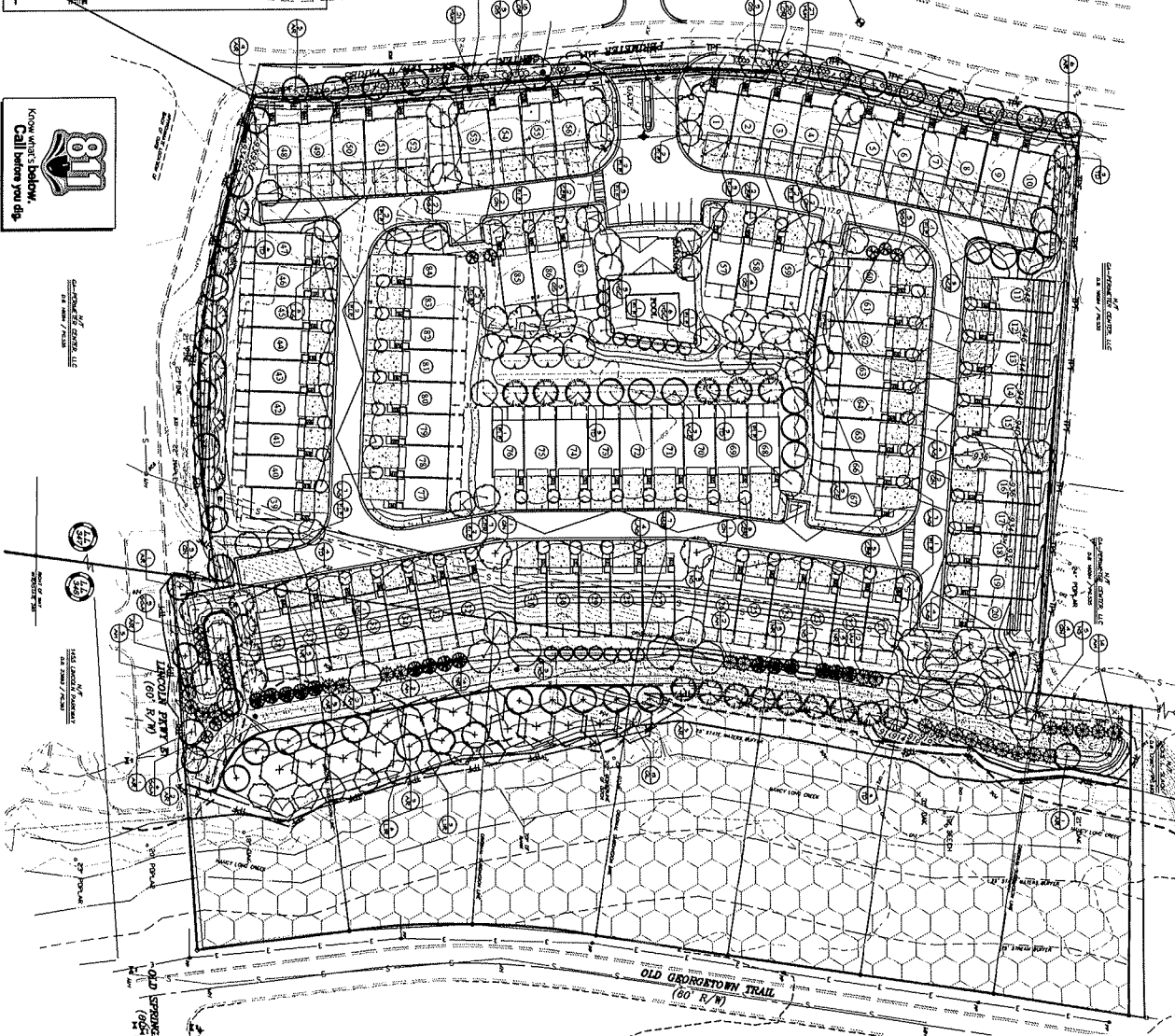
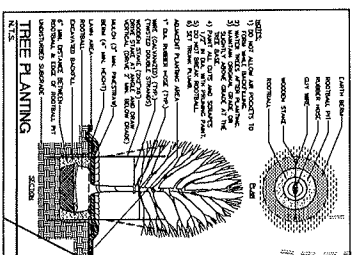
TREE REPLACEMENT REQUIREMENTS:
20 UNITS PER ACRE
7,544 AC X 20 UNITS = 150,88 UNITS REQUIRED (POF)

1.) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.

5. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, ANY REPAIRS OR REPLACEMENT AS NEEDED.
6. ALL TREE PROTECTION FENCING TO BE REMOVED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPE.
7. ALL TREE PROTECTION FENCING TO BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
8. THE PROTECTION FENCE TO BE THE SAME AS LIMITS OF DISTURBANCE.

LANDSCAPE TRIM AREA ALONG PLANTING CENTER EAST	2,150 SQ.FT.
REQUIRED COVERAGE (40%):	1,860 SQ.FT.
017 2' CUPRESS TREES PLANTED:	850 SQ.FT.
028 SMALL SHRUBS PLANTED:	- 609 SQ.FT.
048 IRONWOOD CASSIES PLANTED:	- 578 SQ.FT.
PROVIDED COVERAGE (44%):	2,035 SQ.FT.

24 HOUR CONTACT:
CLINT WALTERS @ 404-274-4499



**Know what's below.
Call before you dig.**




 L-3

 SHEET

THIS SEAL IS ONLY VALID IF COGNITION SHOES
AND DATED WITH AN ORIGINAL SIGNATURE.

7-27-2015

TREE
 REPLACEMENT PLAN


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[illegible]

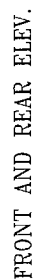
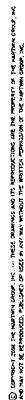
TOWNSEND AT PERIMETER
A MASTER PLANNED RESIDENTIAL COMMUNITY
54 PERIMETER CENTER EAST
FOR
ACADIA HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD
SUITE 300
ATLANTA, GEORGIA 30339
PHONE: 770-319-7424

LAND LOT 347
LAND DISTRICT

CITY OF DUNWOODY
DEALING COUNTY
GEORGIA

"WE PROVIDE SOLUTIONS"

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SITE PLANNING • LANDSCAPE ARCHITECTURE • CIVIL ENGINEERING • LAND SURVEYING
350 RESEARCH COURT • NORCROSS, GEORGIA 30092 • (770) 451-2741 • FAX (770) 451-3915 • WWW.EPCATL.COM



REVISION CHANGES:	
REV. NO.	REV. DATE
1	10/10/00
2	11/10/00
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CAUTION: ONLY A QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR OR STRUCTURAL

SUBDIVISION COLLECTION:

START DATE: 07/14/2016

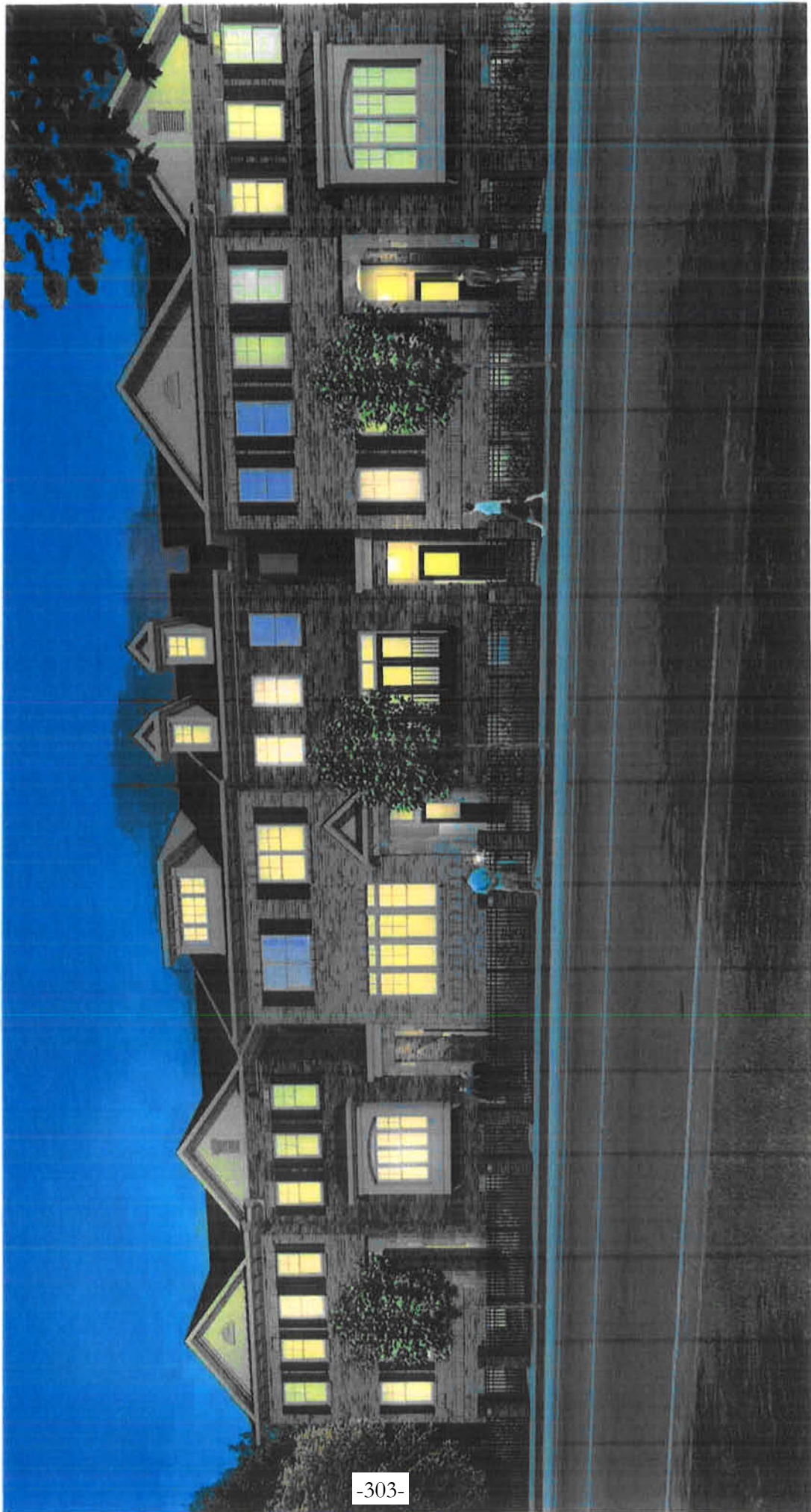
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SCALE: 0.18"=1'-0"

SHEET NO.

A1.6





**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2015-XX-XX

AN ORDINANCE TO AMEND THE CITY OF DUNWOODY ZONING CLASSIFICATION AND MAP FOR ZONING CONDITIONS OF LAND LOTS 346 AND 347, District 18 IN CONSIDERATION OF ZONING CASE RZ-15-071 (54 Perimeter Center East and 4340/4348/4356/4364/4372/4380/4388 Old Georgetown Trail) FROM OFFICE-INSTITUTION (O-I) AND SINGLE FAMILY RESIDENTIAL-100 (R-100) DISTRICTS TO MULTI-DWELLING RESIDENTIAL-85 (RM-85) ZONING DISTRICT

- WHEREAS:** Acadia Homes & Neighborhoods, on behalf of CR V Perimeter, LLC, seeks permission to rezone properties currently zoned Office-Institution (O-I) and Single Family Residential-100 (R-100) Districts to Multi-Dwelling Residential-85 (RM-85) District to allow for construction of an 870-unit, fee-simple townhome development; and
- WHEREAS:** the combined properties, Tax Parcels 18 346 05 052/053/054/055/056/057/058 and 18 347 01 008 are located on the Eastern side of Perimeter Center East, just North of Lincoln Parkway and on the West side of Old Georgetown Trail on the West end of Old Springs House Lane, and consist of approximately 9.84 acres of land on eight vacant parcels; and
- WHEREAS:** the Application desires to develop 7.544 acres and dedicate the remaining 2.3 acres to the City for use as public park space; and
- WHEREAS:** the Application, if approved, would change the use classification of the Old Georgetown Trail area from "Suburban Neighborhood" to "Perimeter Center" Character Area of the Comprehensive Plan and, if approved, would need to be reflected in the next adopted version of the City's Future Land Use Map; and
- WHEREAS:** the proposed development would consist of fifteen multi-dwelling buildings ranging from three dwelling units per building to nine dwelling units per building. Out of the 87 proposed, 68 units would be front-entry and 19 units will be rear-entry; and
- WHEREAS:** each dwelling is proposed to be 24 feet in width and range in size from 1,824 square feet to 2,517 square feet, and 48 feet in height; and
- WHEREAS:** each unit would have a two-car garage and 2 parking spaces in the driveway; and
- WHEREAS:** as part of the City's vision for a connected trail system, applicant proposes to construct and dedicate a 12-foot concrete path that runs parallel to the eastern lot line of 54 Perimeter Center East; and
- WHEREAS:** Notice to the public regarding said rezoning and modification to conditions of zoning has been duly published in The Dunwoody Crier, the Official News Organ of the City of Dunwoody; and
- WHEREAS:** A public hearing was held by the Mayor and City Council of the City of Dunwoody as required by the Zoning Procedures Act.

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2015-XX-XX

NOW THEREFORE, The Mayor and City Council of the City of Dunwoody hereby APPROVES Application RZ-15-071, the rezone the above-listed properties from Office-Institution (O-I) and Single Family Residential-100 (R-100) Districts to Multi-Dwelling Residential-85 (RM-85) District. The rezoning shall consist of the following Exhibits:

Exhibit A: Conceptual Site Plan, dated June 29, 2015

Exhibit B: Illustrative Master Plan, dated July 21, 2015

Exhibit C: Tree Protection Plan, dated June 29, 2015, updated July 27, 2015

Exhibit D: Tree Location Plan, dated June 29, 2015, updated July 27, 2015

Exhibit E: Tree Replacement Plan, dated June 29, 2015

Exhibit F: Typical Lot Planting Plan, dated June 29, 2015, updated July 27, 2015

Exhibit G: Building Elevations and Renderings (three pages) dated July 14, 2015 and undated

Exhibit H: Site Section (undated)

Development of the site shall be substantially consistent with the Zoning Ordinance, and the following conditions:

1. Development shall be in substantial compliance with Exhibits A, B, C, D, E, F, G, and H.
2. The Owner shall provide an access easement to the property boundary at the stub road shown on the site plan to allow for a future tie-in to Lincoln Parkway East and shall record the easement prior to issuance of a land development permit.
3. Street furniture shall be in compliance with PCID's standards and shall include recycling receptacle. The recycling receptacle shall be maintained by the property Owner if DeKalb County Sanitation does not service recycling receptacles.
4. Identical elevations shall be separated by a minimum of three other units.
5. Asphalt shingle roofing shall be a minimum three-dimensional Architectural type.
6. Developer shall construct the 12 foot wide pedestrian path as depicted on the plans and shall dedicate or record an easement for the path and associated maintenance to the City of Dunwoody.
7. East of the "Lower Retaining Wall," only those trees necessary for the construction of the 12 foot path, associated retaining walls, and compensatory grading in the floodplain related to same may be removed.

**STATE OF GEORGIA
CITY OF DUNWOODY**

ORDINANCE 2015-XX-XX

8. Property Owner shall dedicate the approximately 2.3 acres to the City of Dunwoody, without charge, prior to the issuance of any Certificate of Occupancy.
9. Vegetation on the approximately 2.3 acres identified for conveyance to the City of Dunwoody will remain undisturbed by the Developer.
10. The portions of the subject properties to be rezoned shall be subdivided and recombined with the property to the west and the properties to be dedicated to the City shall be combined into one parcel. The subdivisions shall be conducted in compliance with the zoning and subdivision requirements and procedures in effect at the time the subdivision application is made and shall take place within 60 days of the completion of site development improvements.
11. Rentals shall be limited to a maximum of 10 percent of the total units.
12. The applicant shall design their site and/or implement measures to prevent an increase in the adjacent floodplain's base flood elevation.

SO ORDAINED AND EFFECTIVE, this the 24th day of August, 2015.

Approved by:

Approved as to Form and Content

Michael G. Davis, Mayor

City Attorney

Attest:

Sharon Lowery, City Clerk

SEAL

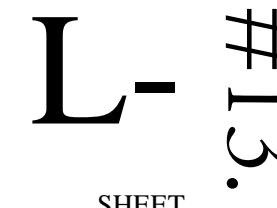
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SHEET

-309-



24 HOUR CONTACT:
CLINT WALTERS @ 404-274-4492



LANDSCAPE STRIP SHRUBS					
SHRUBS	Code	Quantity	Botanical/Common	Cont	Spacing
	LOR GRE	38	Loropetalum chinense / Green Loropetalum	3 gal	48" o.c.
	MUH CAP	48	Muhlenbergia capillaris / Pink Muhly	3 gal	36" o.c.

SITE DATA:	
TOTAL SITE AREA	9.840 ACRES
GREENWAY SITE AREA	-2.296 ACRES
PROJECT SITE AREA	7.544 ACRES

20 UNITS PER ACRE
7.544 AC X 20 UNITS = 150.88 UNITS REQUIRED (SDF)

SITE DENSITY FACTOR REQUIRED (SDF)	150.88 UNITS
**EXISTING DENSITY FACTOR (EDF)	- 20.6 UNITS
ADJUSTED DENSITY FACTOR REQUIRED (RDF)	130.28 UNITS

**SITE DENSITY FACTOR TO BE PROVIDED	96.3 UNITS
REPLACEMENT DENSITY FACTOR REQUIRED	- 130.28 UNITS
***SITE DENSITY DEFICIT	33.98 UNITS

(REPLACED WITH 1.5 TIMES THE UNIT VALUE OF TREES REMOVED)	
SPECIMEN TREE RECOMPENSE PROVIDED	123.2 UNITS
*SPECIMEN TREE RECOMPENSE REQUIRED	- 259.65 UNITS
***SITE RECOMPENSE DEFICIT	136.45 UNITS

*SPECIMEN TREE SURVEY TO BE PERFORMED AT A LATER DATE.
 **TREES (NOT SURVEYED) IN TREE SAVE AREA WERE NOT CREDITED IN THIS CALCULATION.
 ***170.43 UNITS TO BE PROVIDED TO THE CITY OF CHAMBLEE TREE BANK. FINAL AMOUNT TO BE APPROVED BY CITY OF CHAMBLEE COUNCIL.

1.) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.


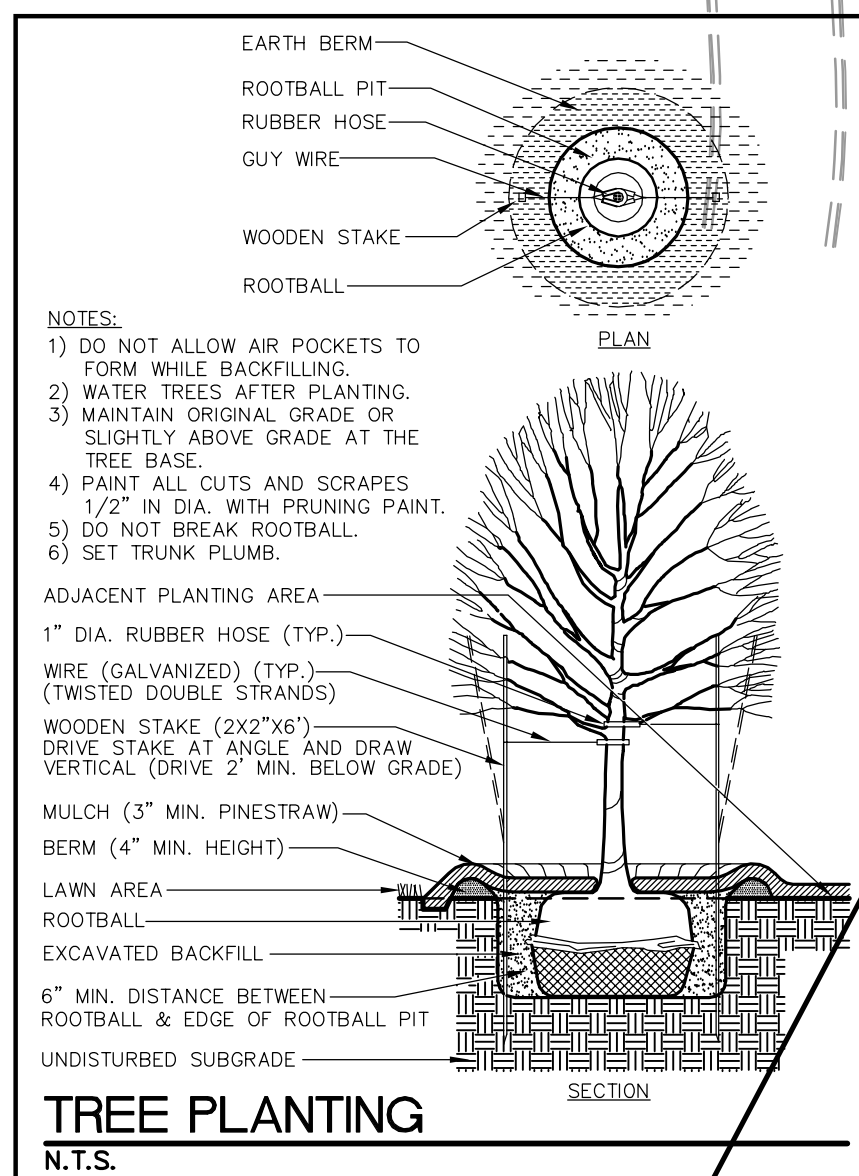
- 2.) ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 3.) ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- 4.) NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS OR WITHIN (6) SIX FEET OF THE CRZ.
- 5.) ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
- 6.) TREE PROTECTION FENCE TO BE THE SAME AS LIMITS OF DISTURBANCE.

ALL LANDSCAPE STRIPS SHALL BE PLANTED WITH A MINIMUM OF 60% COVERAGE OF TREES AND SHRUBS. EACH 4" TREE IS CREDITED 50 SQ FT. LARGE SHRUBS ARE CREDITED 16 SQ FT. EACH ORNAMENTAL GRASS IS CREDITED 12 SQ FT.

LANDSCAPE STRIP AREA ALONG PEACHTREE CENTER EAST:	3,150 SQ. FT.
REQUIRED COVERAGE (60%):	1,890 SQ. FT.

(17) 4" CALIPER TREES PLANTED:	850 SQ. FT.
(38) SMALL SHRUBS PLANTED:	+ 608 SQ. FT.
(48) ORNAMENTAL GRASSES PLANTED:	+ 576 SQ. FT.
PROVIDED COVERAGE (64%)	<u>2,034 SQ. FT.</u>

NOTES:
*SPECIMEN TREE SURVEY TO BE PERFORMED AT A LATER DATE.
**TREES (NOT SURVEYED) IN TREE SAVE AREA WERE NOT CREDITED IN THIS CALCULATION.



Know what's **below**.
Call before you dig.

N/F
GA-PERIMETER CENTER, LLC
D.B. 16084 / PG.535

N/F
1455 LINCOLN PARKWAY
D.B. 23893 / PG.393

34 TENIMETER CENTER EAST
FOR
ACADIA HOMES & NEIGHBORHOODS

CITY OF DUNWOODY
DEKALB COUNTY
GEORGIA

SUITE 300
ATLANTA, GEORGIA 30339
PHONE: 770-319-7424

LAND LOT 347
18th DISTRICT

"WE PROVIDE SOLUTIONS"



PLANNERS AND ENGINEERS COLLABORATIVE

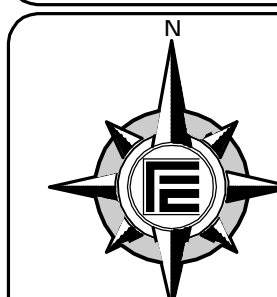
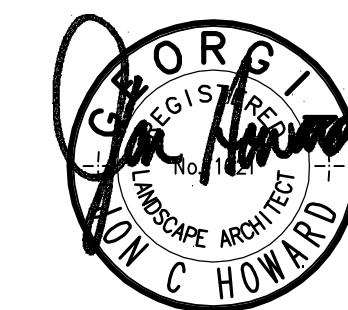
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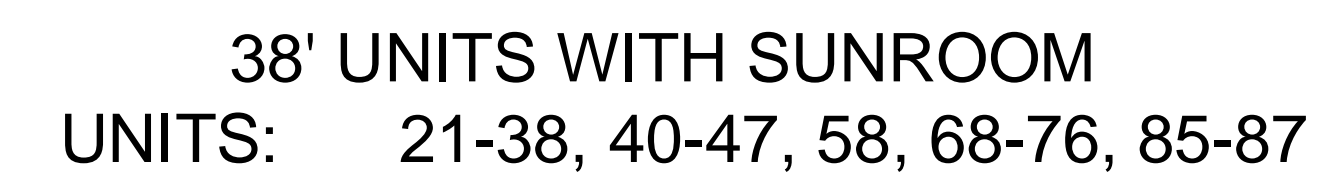
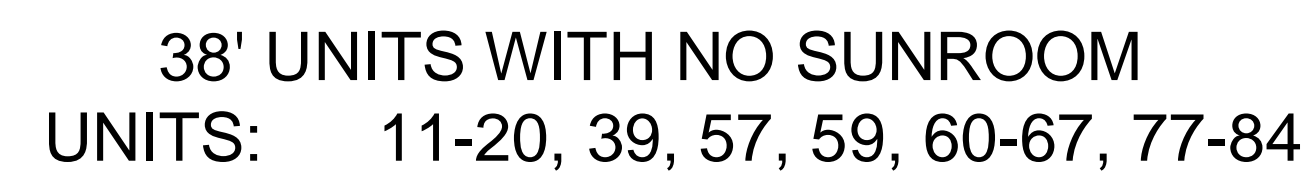
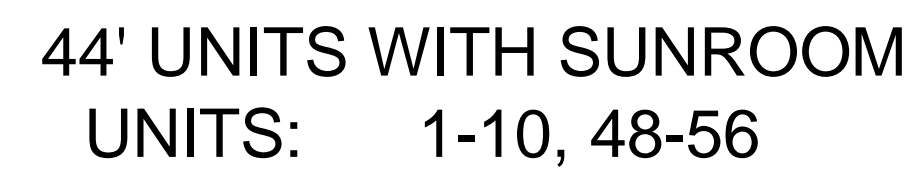
SCALE: 1" = 40'
DATE: JUNE 29, 2015
PROJECT: 05129.00D

THIS SEAL IS ONLY VALID IF COUNTER SIGNED
AND DATED WITH AN ORIGINAL SIGNATURE.



L-3

SHEET



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L-#13.
SHEET

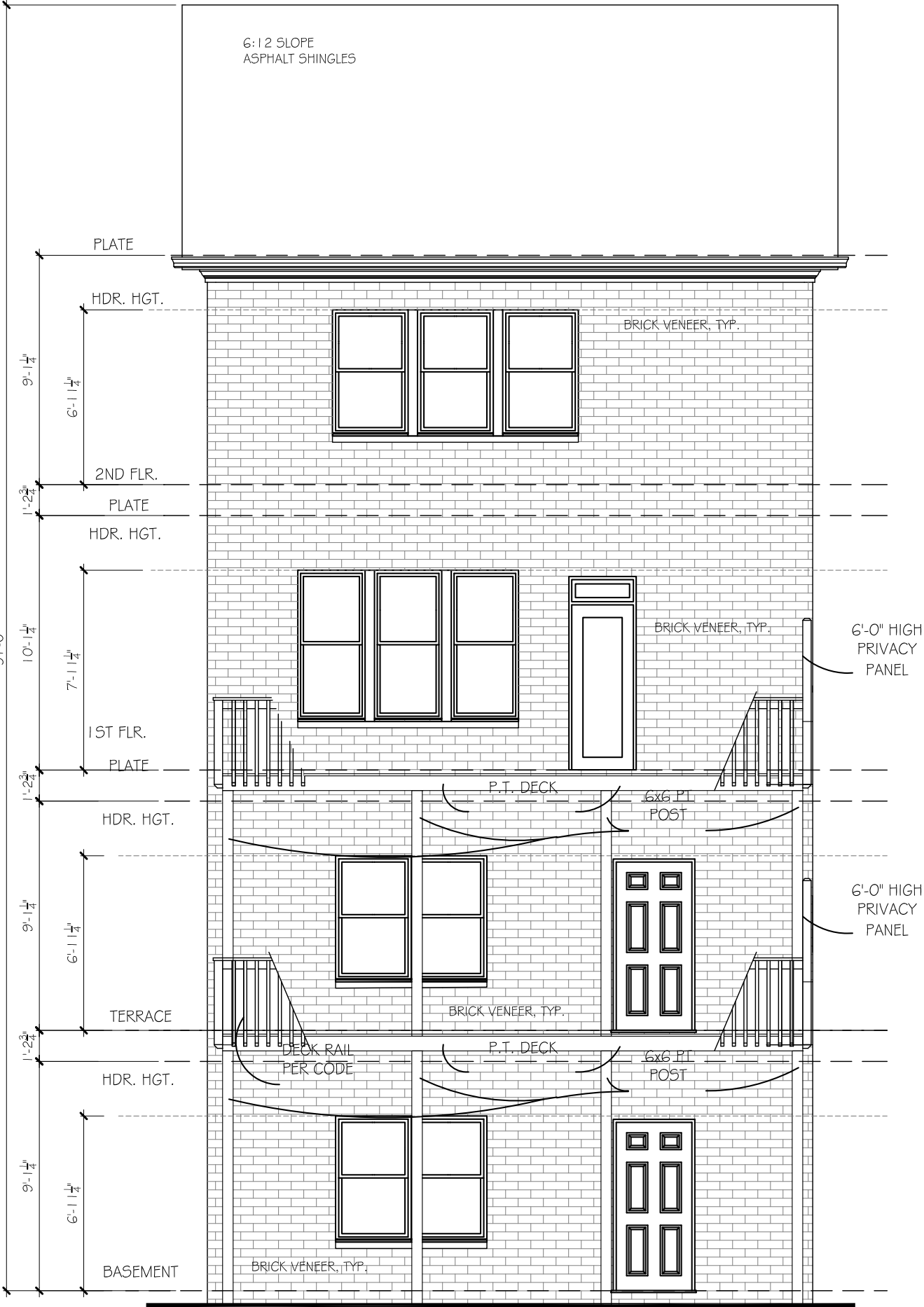


EXHIBIT G



ELEVATION A

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"

BEDFORD II

FRONT AND REAR ELEV.

REVISION CHANGES:

REV. NO.	REV. DATE

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SUBDIVISION COLLECTION:

START DATE: 07/14/2015

DRAWN BY: MHART

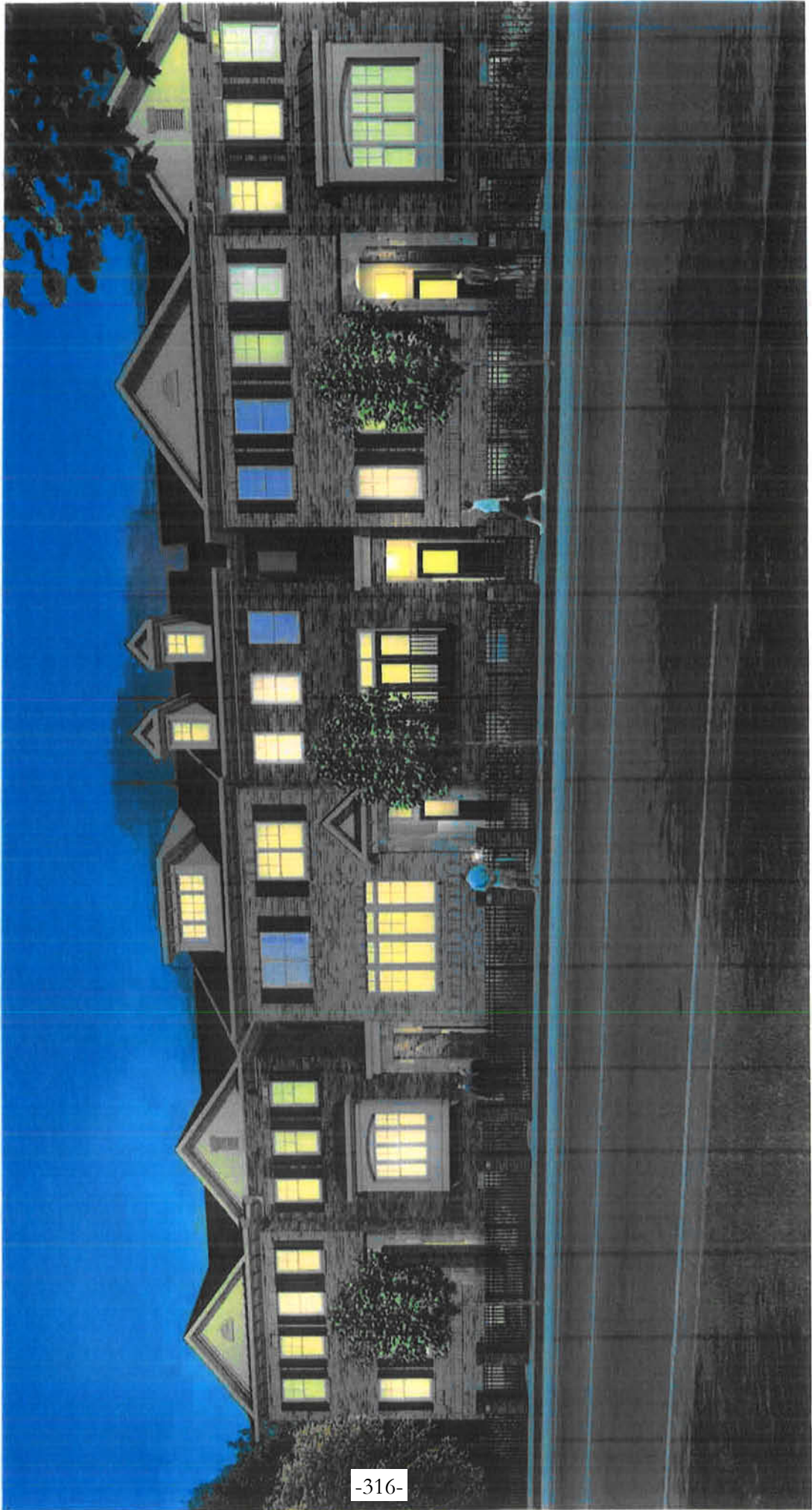
SCALE: 3/16"=1'-0"

SHEET NO.

A1.6

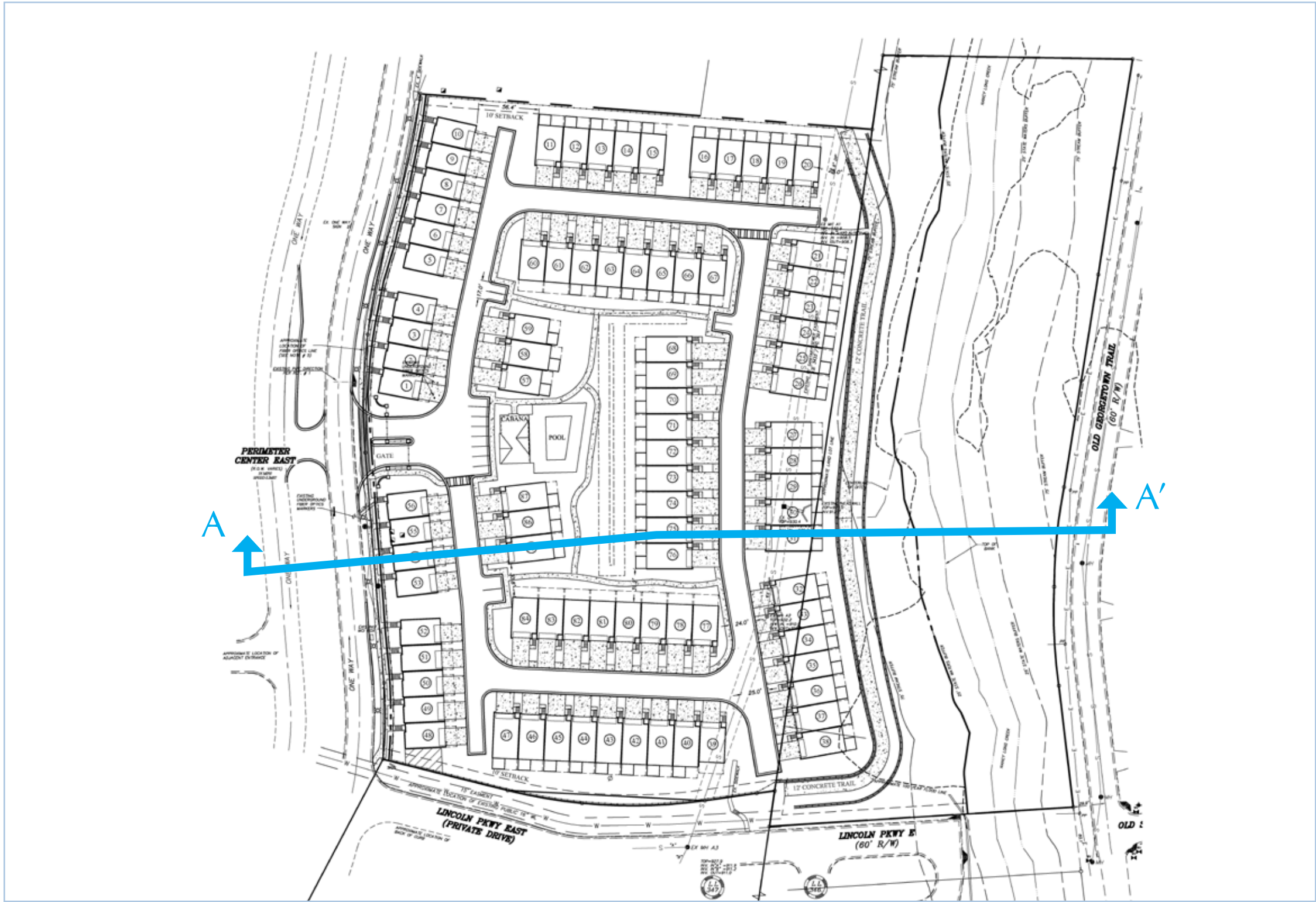
OF





TOWNSEND AT PERIMETER

ACADIA HOMES & NEIGHBORHOODS
2100 POWERS FERRY ROAD
SUITE 300
ATLANTA, GEORGIA 30339
PHONE: 770-319-7424

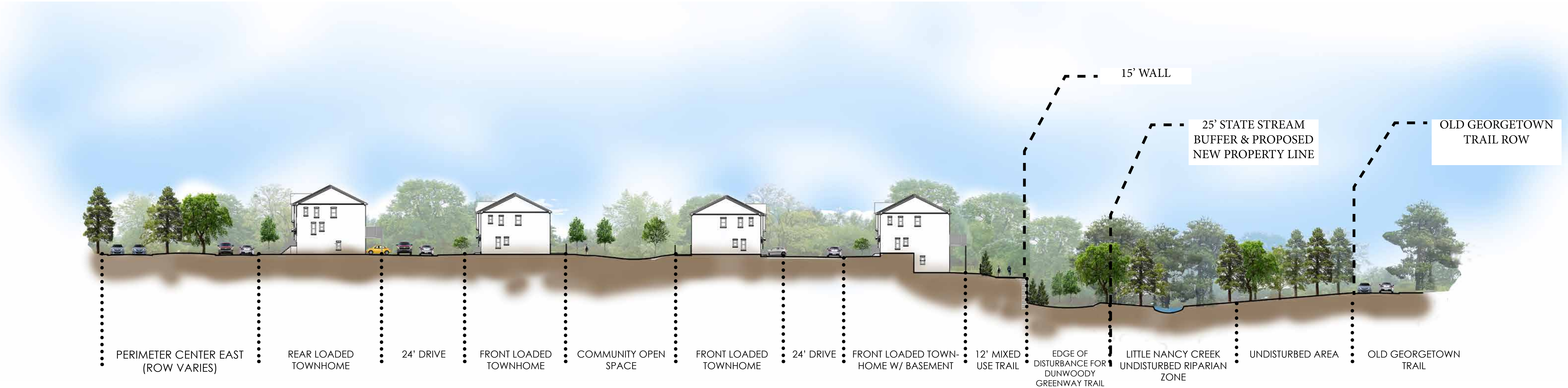


PLAN VIEW A-A'
NTS



PLANNERS AND ENGINEERS
COLLABORATIVE

-317-



SITE SECTION A-A'
SCALE: 1" = 30'