



Comprehensive
Program Services

November 30, 2018

Mr. Eric Linton
City Manager
City of Dunwoody
4800 Ashford Dunwoody Road
Dunwoody, GA 30338

Re: City of Dunwoody, GA
Brook Run Park Improvements Project
RFQ 18-03 Construction Manager-at-Risk Services
Guaranteed Maximum Price Recommendation

Dear Mr. Linton,

Based on the AIA-133 Contract executed between the City of Dunwoody and Reeves Young for the above referenced Project Preconstruction Services in the amount of \$15,250.00, Reeves Young has developed the attached Guaranteed Maximum Price (GMP) Amendment, per Paragraph 2.1.8. This GMP has been fully reviewed by the entire Team including the City to ensure that the Program, Budget and Schedule have all been met based on the City Council's approval of the Schematic Design Package.

With this, CPS would recommend that the City of Dunwoody approve Reeves Young's GMP Amendment in the amount of \$6,798,934.82 which includes the Preconstruction Services Fee above.

If you should have any questions, please feel free to call.

Sincerely,

Comprehensive Program Services, Inc.

Eric L. Johnson
Program Manager

CC: Jessica Guinn, City of Dunwoody
Brent Walker, City of Dunwoody

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BROOK RUN PARK IMPROVEMENTS CITY OF DUNWOODY

GMP AMENDMENT

November 30, 2018

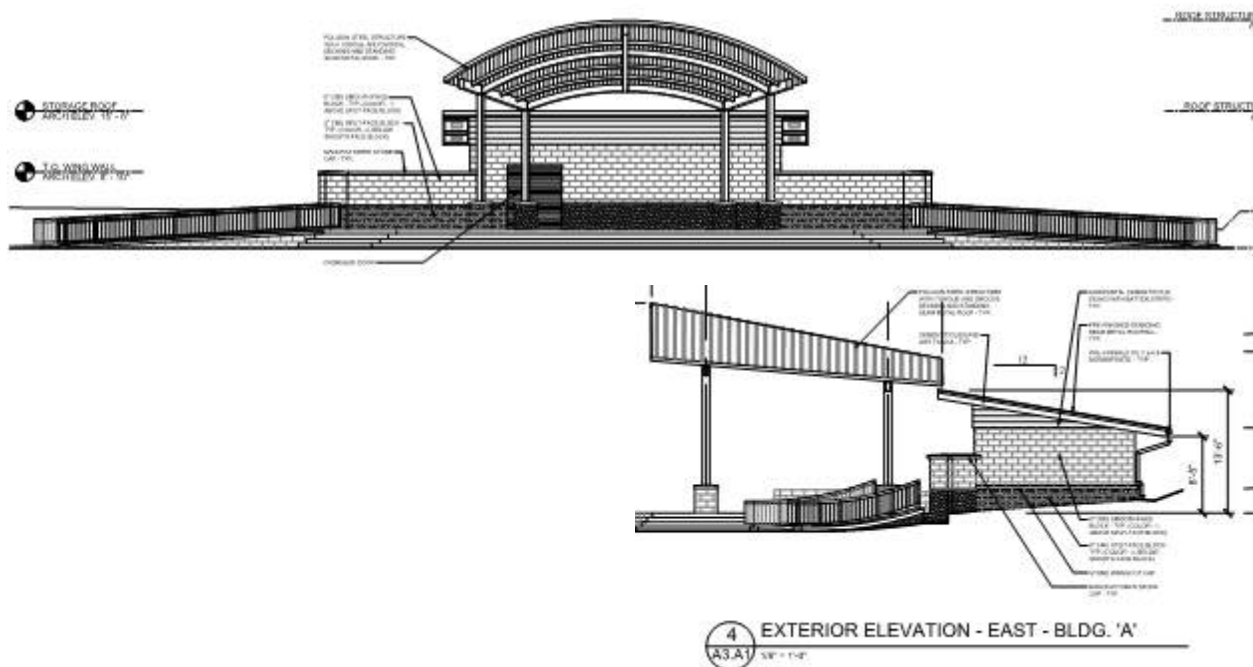


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BROOK RUN PARK IMPROVEMENTS
GMP Amendment
ESTIMATE SUMMARY
NOVEMBER 30, 2018

Bid Package		Total
09A	Amenity Buildings	\$726,627.00
13A	Prefabricated Restroom Building	\$145,954.00
13B	Prefabricated Pavilion	\$312,133.00
22A	Plumbing	\$174,750.00
23A	HVAC	\$42,650.00
26A	Electrical	\$532,739.00
31A	Grading & Utilities	\$1,863,345.00
32A	Paving	\$435,477.00
32B	Landscape & Hardscape	\$887,800.00
32C	Fencing	\$99,474.00
32D	Athletic Fields	\$856,255.00
	Surveying	\$6,000.00
	Dumpsters	\$18,750.00
	Final Clean / Pressure Washing	\$25,250.00
	Construction Entrance Maintenance	\$8,750.00
	SUBTOTAL CONSTRUCTION	\$6,135,954.00
	General Conditions	\$165,000.00
	General Requirements	\$83,804.00
	Contractor Fee	\$291,457.82
	Contractor Contingency	\$122,719.00
	TOTAL	\$6,798,934.82



BROOK RUN PARK IMPROVEMENTS
GMP AMENDMENT
QUALIFICATIONS, ASSUMPTIONS AND EXCLUSIONS
NOVEMBER 30, 2018

I. Division Specific Qualifications and Exclusions

Division 3 - Concrete

Qualifications:

1. Vapor barrier under slab on grade included as 15 mil.
2. Light Duty Concrete Pavement and Sidewalks is 4" thick, 3000 PSI standard concrete (no color and broom finish) with no compacted aggregate.
3. Heavy Duty Concrete Pavement and Sidewalks is 6" thick, 3000 PSI standard concrete (no color and broom finish) with 4" of compacted GAB.
4. An allowance of \$15,000 has been included for the bands at the bandshell in lieu of an exposed aggregate finish.
5. Amphitheater Seat Wall is included at 12" wide in lieu of 18" wide.

Exclusions:

1. Epoxy coating on reinforcing materials.
2. Weldable rebar.
3. Exposed aggregate finish.

Division 4 – Masonry

Qualifications:

6. All CMU included as a regular light weight concrete masonry unit, grey. Typical grey Type S mortar.
7. All ACMU included as GMS colored split face and smooth face block in earth tone colors. Typical Type S mortar included at a \$14.00 per bag allowance.
8. Joint reinforcement is 16" O.C. ladder type HDG.
9. Cast stone water table sill at Building A. Cast stone included as Vibrant Normal Weight Dry Tamp with Type S mortar.
10. All CMU below grade foundations assumed to be 16" high pending final design.
11. Foam fill insulation at CMU is included as required by code.

Exclusions:

1. Sealers and coatings at exterior wall.
2. Tile and Stone Tile.
3. Pavers or any masonry around site drainage.
4. Integral water repellant additive. See add alternates.

Division 5 - Metals

Qualifications:

1. All handrails are to be painted steel
2. An erector approved by the pavilion manufacturer will be used on the project.

Exclusions:

1. Aluminum or galvanized handrails
2. AISC certifications for fabricator and erector.
3. Galvanized and special coating

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Division 6 – Woods & Plastics

Qualifications:

1. Plywood ceilings with batten trim at seams included per the attached ceiling schedules.
2. Stainless steel countertops at Building E Multi-purpose, base cabinets and plywood shelving are included.

Exclusions:

1. AWI certifications.
2. Use of fire rated material for millwork.

Division 7 – Thermal Protection

Qualifications:

1. Standing seam metal roof system includes a 60 mil Mid-States High Temp QS Pro Underlayment with Fabral 1 ½" Thin Seam Panel System, 24-gauge, 16" wide panels. Color and finish to be standard non-metallic Kynar 500. All trim components included as 24-gauge shop fabricated trim pieces in color and finish to match metal panel roof system.
2. Gutters at standing seam roof systems (not including prefabricated pavilion systems) included as 24-gauge, 5" box gutters. Color and finish to be standard non-metallic Kynar 500.
3. Downspouts at standing seam roof systems (not including prefabricated pavilion systems) 24-gauge, 4" square downspouts. Color and finish to be standard non-metallic Kynar 500.
4. Warranties for roof systems includes a 2-year Installer's Installation Warranty and a 20-year Manufacturer's Material & Paint Finish Warranty.
5. Batt insulation included above painted plywood ceilings.

Exclusions:

1. Skylights or any other associated trim.
2. Walk-pads, roof hatches.
3. Spires or finials
4. Splash blocks
5. Interior down spouts or boots
6. Standing seam metal roofing at Building D Prefabricated Restroom Building. See add alternates.

Division 08 - Openings

Qualifications:

1. Exterior doors and frames included as 16 gauge.
2. Interior doors and frames included as 18 gauge.
3. All hollow metal doors to be 1 ¾" thick.
4. All hollow metal frames are included as welded, and grout filled.
5. All hardware included at a material allowance of \$900 per leaf.
6. Falcon cores are to be provided by owner.

Exclusions:

1. Bituminous coatings on hollow metal.
2. Specialty coatings or film at glazing systems.
3. Bathroom entry locking hardware provided by owner.

Division 9 – Finishes

Qualifications:

1. All floors in concessions, restroom and bandshell storage are sealed concrete only.
2. Latex paint at interior of all amenity buildings including plywood ceilings.
3. FRP at mop sinks only.

Exclusions:

1. Painted wall graphics.
2. Painting of exposed ceilings at back of house areas.
3. Painting at the mechanical spaces.
4. Painting/color coding of MEP items.
5. Epoxy paint.
6. Epoxy flooring.
7. Rubber base.
8. Painting of exterior CMU.
9. Painting of exposed structure ceiling/structure systems.

Division 10 – Specialties
Qualifications:

1. Code compliance signage. All interior and exterior room and building signage and/or graphics are by Owner.
2. All toilet partitions included as solid plastic.
3. One (1) fire extinguisher each at Buildings B and E.

Division 11 – Equipment
Qualifications:

1. Electrical infrastructure will be installed for future scoreboards. Infrastructure includes a 1" conduit for power and a 1" conduit for data to each scoreboard.

Exclusions:

1. Residential appliances.
2. Kitchen Equipment.
3. Scoreboards.
4. Pedestrian Bridges.
5. Disc Golf Equipment.
6. Playground or Playground Equipment.

Division 13 – Special Construction
Qualifications:

1. One (1) Montrose Flush Building, noted as Building D on site plan. Montrose multi-user flush building with delta rib roof textured roof panels with penetrating stain and barnwood over split face block wall texture, two tone color, three 16-ga galvanized steel doors and frames, vitreous china plumbing fixtures (2 lavs, 3 water closets, 1 urinal), 30 gallon electric water heater, two Saniflow hand dryers, two paper towel dispensers, two sanitary napkin disposal units, two Koala baby changing stations, three 3-roll toilet tissue dispensers, two exhaust fans on programmable timers and motion sensors, six glass block windows, three GFI outlets, five floor drains, two S/S/ mirrors, ADA grab bars, ADA signage, one hose bib in chase area, ASA frost free drinking fountain with bottle filler, pre-plumbed for heater package, and motion controlled interior lights and photo cell controlled exterior lights. The CXT building has a 20 year structural warranty.
2. Building A Bandshell included as a custom modified 40'x33' Colorado Bandshell Pavilion as manufactured by Classic Recreation Systems (note that the canopy is modified to taper down to 26' in width at rear). Features a curved standing seam metal roof, 17" wide panels (direction of panels runs front to rear in order to achieve the radius of the structure) on a 2:12 pitch, 13'6" eave height, tube steel fascia, (4) square surface mount columns with embed plates for rock style veneer on bottom 3' of columns. Pavilion frame to be finished with a TGIC polyester powder coat with zinc rich primer. Also includes a tongue & groove decking and gutters along two sides with downspouts.

3. Building B Pavilion included as a custom Orlando Pavilion, 30' x 150'4", as manufactured by Classic Recreation Systems. Features a sloped standing seam metal roof, 17" wide panels on a 4:12 pitch, 8'-0" eave height, tube steel fascia, (16) square surface mount columns with embed plates for rock style veneer on bottom 3' of columns. Pavilion frame to be finished with a TGIC polyester powder coat with zinc rich primer. Includes exposed metal roof deck and gutters along two sides with downspouts.
4. Building C Pavilion included as a custom Orlando Pavilion, 30' x 44', as manufactured by Classic Recreation Systems. Features a sloped standing seam metal roof, 17" wide panels on a 4:12 pitch, 8'-0" eave height, tube steel fascia, (6) square surface mount columns with embed plates for rock style veneer on bottom 3' of columns. Pavilion frame to be finished with a TGIC polyester powder coat with zinc rich primer. Includes exposed metal roof deck and gutters along two sides with downspouts.

Exclusions:

1. Ceiling fans at pavilions.

Division 22 - Plumbing
Qualifications:

1. PVC on all below and above grade sanitary and grease waste/vent piping.
2. CPVC on all below and above grade domestic water piping. Pipe insulation included as required per code.
3. Water closets with exposed manual flush valves.
4. Lavatory faucets to be manual push button type.

Exclusions:

1. Fire protection system.

Division 23 - HVAC
Qualifications:

1. Exhaust fans at Buildings A, B and E.
2. Unit heaters at Buildings B and E.
3. Building E includes an AC/CU split system.
4. Control wiring with thermostats, no DDC controls included.

Exclusions:

1. PTAC units.
2. Wireless controls and accessories.
3. DDC Controls.

Division 26 & 27 – Electrical & Communications
Qualifications:

1. Branch circuit wiring to be MC cable where allowed by code
2. Electrical service at Multi-use fields is assumed 277/480V.
3. The primary electrical service is assumed to be within 50' of the location of panels
4. Field Lighting are to be Qualite Sports Lighting, LLC 1000W Q-LED Gamechanger Fixtures. Lighting levels are included at 50 foot candles.
5. Qualite Sports Lighting Fixtures come with a 25 year parts and labor warranty
6. Pedestrian Pole Lighting and Parking Lot Lighting to be provided and installed by Georgia Power. Reeves Young will coordinate the installation of the lights with Georgia Power.
7. Juno IC LED Outdoor Step Lights Model IC115LEDPM (total of 10) are included at the stairs in the bandshell area. No other step lights are included.
8. Metalux Vaportite LED Model No. 4APVTL40L are included at all pavilions in lieu of specified lighting.

**Exclusions:**

1. Lightning protection system.
2. Wiring and equipment for PA system, AV system, tele/data system, speakers and cabling.
3. Security and emergency call stations and cabling.
4. AED equipment, wiring and installation.
5. Transformers and primary circuits and conductors.
6. Fire Alarm System
7. Pedestrian Pole Lighting
8. Parking Lot Lighting

Division 31 – Sitework & Utilities**Qualifications:**

1. Site waterlines are included at 2" PVC with tapping sleeves and backflow preventers
2. No water meters are included in the costs as the meters will be provided by the Owner and installed by Reeves Young. Reeves Young will provide back flow preventers as required.
3. The waterline shown at the Multi-Use Fields is to be part of the irrigation system of which costs are included in the irrigation allowance. The waterline is assumed to be 1" PVC piping with hose bibbs.
4. An undercounter grease trap has been included in lieu of the exterior grease trap.
5. The underground detention system volume is 43,295 SF and consist of 90" round pipe.
6. Three water quality devices are included at the underground detention system as Hydro International First Defense HC. The water quality devices are sized per the CF volume of the detention system.
7. Retaining walls will be modular block with cap units in a standard gray color. Geogrid & Geotextile fabrics will be installed as required, drainage aggregate (#57 stone) will be placed at the footing base and one foot behind the walls. The premium to add color to the block is \$0.50/SF.

Exclusions:

1. Unforeseen conditions and underground hidden conditions, including but not limited to: underground debris, tanks, hazardous materials, ground water and associated dewatering of ground water, rock removal or its replacement materials and wetland mitigation cost.
2. Site furnishings including trash receptacles, picnic tables, benches and bleachers.
3. Flow testing of existing utilities.
4. Hydrovac excavation.
5. Waterline at multi-use fields.
6. Exterior grease trap.
7. Utility Impact Fees / Tap Fees

Division 32 – Synthetic Turf**Qualifications:**

1. Synthetic turf is to be Shaw Sports Turf, Inc. Momentum SD 2.25. Synthetic Turf Fields consist of 6"x12" perimeter concrete curb, pressure treated 2"x4" nailer, 12" HDPE perforated perimeter collector pipes. HPDE drainage/collector pipes to be located along each sideline and along one end of each fields. The subbase at the fields includes 4 oz geotextile liner, 4" of washed #57 stone and 2" of washed #89 stone.
2. Integral field markings are for soccer only.
3. The perimeter curb will be 12"x12" at areas where backstop netting is shown in lieu of a 12" curb and a 6" curb.

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Division 32 – Landscape, Hardscape, & Paving

Qualifications:

1. 74,594 SF of Bermuda Tifway 419 sod is included at the Great Lawn.
2. 44,915 SF of Bermuda Tifway 419 sod is included at the Multi-Use Fields.
3. An allowance of \$35,000 is included for landscaping (shrubs and groundcover only)
4. An allowance of \$50,000 is included for the irrigation system
5. Trees and surrounding ground cover are to be provided by the City of Dunwoody.
6. Light duty paving included as 6" GAB with 2" binder, 1.5" topping with tack coat. Prime coat is excluded.
7. Wheel stops have been included at parking locations with no curb and gutter. Where curb and gutter is indicated, wheel stops have not been included. No caulking is included at wheel stops.
8. Reeves Young and our subcontractors will make every effort to maintain existing paved roadways and avoid damage. We have not included costs associated with repair of existing paved areas.
9. Post and panel signs as indicated on C4.04 for traffic and pedestrian control and as shown on the overall site plan. All signage will be on standard steel posts, no aluminum posts are included.

Exclusions:

1. Trees.
2. Amended soils.
3. Costs to repair existing asphalt paving.
4. Entrance sign per C4.04.
5. Construction sign per C4.04.
6. Thermoplastic Striping
7. Asphalt Primer

Division 32 – Fencing

Qualifications:

1. Decorative fencing at retaining walls in the Great Lawn area are not included, the sidewalks will be shifted to avoid the requirement for fencing in these areas.
2. Chain link fencing consists of the following:
 - Mesh: 72" 6 gauge finished / 0.148 gauge core black 2" mesh bonded and extruded
 - Top Rail: 1 5/8" O.D. Black LG-40 Pipe. Top rail is 21' in length joined with 1 5/8" black pressed 6" long steel sleeve
 - Line Post: 2 1/2" O.D. black PC LG-40 Pipe. Line posts set 10' on center maximum spacing. Concrete footings to be 10" diameter, 42" depth.
 - Bracing: Terminal posts braced and trussed to the nearest line post with 1 5/8" O.D. black PC LG-40 Pipe
 - Gates: Framework of 1 5/8" black PC LG-40 Pipe
 - Tie Wire: 8 1/4" Black 9 gauge soft steel tie wire spaced 15" on center for line posts and 24" on center for rails.
3. Backstop netting shall be Midwest Cover #36 Baseball Netting.
4. Concrete footings will be installed as necessary at all fencing.

Exclusions:

1. Decorative fencing.

Add Alternates



The following are add alternates and are not included in the GMP:

- | | |
|--|-----------|
| 1. Standing Seam Metal Roofing at the Prefabricated Restroom | \$ 12,722 |
| 2. Integral Water Repellant Additive at Exterior CMU | \$ 5,850 |
| 3. Extend Patio at Multi-Use Fields an additional 2,318 SF | \$ 26,226 |
| 4. Provide Two 20'x20' Fabric Shade Structures at Extended Patio | \$ 65,260 |

END OF QUALIFICATIONS, ASSUMPTIONS & EXCLUSIONS

DESCRIPTION

The AP Vaportite LED Series is an energy efficient industrial Vaportite fixture featuring durable construction. The AP Vaportite LED incorporates a full metal fixture liner inside a reinforced water-tight housing with a high impact diffuser. This Vaportite series is suitable for interior and exterior locations and can be installed in various applications.

The AP Vaportite LED Series has been designed for maximum operation in commercial institutional and industrial environments and can operate in a wide range of temperatures (-20°C to 30°C) and is ideal for cold storage.

SPECIFICATION FEATURES

Construction

High-impact gray polycarbonate housing with interated metal gear tray. Standard housings available with one 7/8" conduit entry point. Durable cam latches clamp diffuser tightly for a positive seal between housing and diffuser. Electrical components and fixtures are UL/cUL listed for wet location, IP65 rated.

Electrical

Long-Life LED system coupled with a fixed output driver to deliver optimal performance. LED's available in 3500, 4000 and 5000K with a CRI ≥ 80. Projected life is L70 at 54,000 hours. cULus listed. Electronic drivers are available for 120-277V applications.

Lens

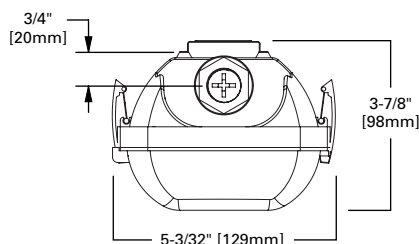
Thermoformed low profile, highimpact frosted lens with general distribution.

Warranty

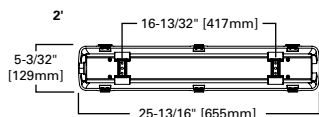
Vaportite LED features a five year limited warranty.

Compliance

UL/cUL listed for Wet location. RoHS compliant, and LED modules comply with IESNA LM-79 and LM-80 standards.



MOUNTING DATA



VAPORTITE LED

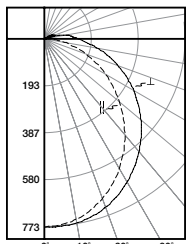
2' AND 4' INDUSTRIAL LED

Vaportite Industrial

ENERGY DATA

Input Watts:
2APVTLD-20=19W
4APVTLD-40=39W

PHOTOMETRICS

**2APVTLTD-20L840**

Electronic Driver

Linear LED 4000K

Spacing criterion:
(II) 1.18 x mounting
height, (⊥) 1.30 x
mounting height

Lumens: 2358

Input Watts: 19.5W

Efficacy: 121 lm/W

Test Report:
2APVTLTD-20L840.
IES

Candlepower

Angle	Along II	45°	Across ⊥
0	772	772	772
5	766	770	773
10	750	759	766
15	725	740	752
20	693	713	732
25	653	680	705
30	608	641	674
35	558	598	637
40	504	551	597
45	448	501	554
50	390	451	509
55	333	399	462
60	276	347	414
65	221	297	363
70	167	247	312
75	115	200	261
80	68	155	211
85	31	117	167
90	13	88	131

Coefficients of Utilization

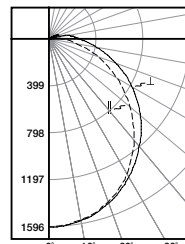
rc rw RCR	Effective floor cavity reflectance												20%											
	80%				70%				50%				30%				10%				0%			
	70	50	30	10	70	50	30	10	50	30	10	50	30	10	50	30	10	50	30	10	50	30	10	0
0	118	118	118	118	115	115	115	115	109	109	109	103	103	103	98	98	98	96						
1	106	101	96	92	103	98	94	90	93	90	86	89	86	83	84	82	80	77						
2	96	88	80	74	93	85	79	73	81	75	71	77	72	68	73	70	66	64						
3	88	77	68	61	85	75	67	60	71	64	59	68	62	57	65	60	56	53						
4	80	68	59	52	78	66	58	51	63	56	50	60	54	49	58	52	48	45						
5	74	60	51	44	71	59	50	44	56	49	43	54	47	42	52	46	41	39						
6	68	54	45	39	66	53	45	38	51	43	38	49	42	37	47	41	36	34						
7	63	49	40	34	61	48	40	34	46	39	33	45	38	33	43	37	32	30						
8	59	45	36	30	57	44	36	30	42	35	30	41	34	29	39	33	29	27						
9	55	41	33	27	53	41	33	27	39	32	27	38	31	26	36	30	26	24						
10	51	38	30	25	50	37	30	25	36	29	24	35	29	24	34	28	24	22						

Zonal Lumen Summary

Zone	Lumens	% Fixture
0-30	590	25.0
0-40	957	40.6
0-60	1679	71.2
0-90	2261	95.9
0-180	2358	100.0

Luminance Data

Angle in Deg	Average 0-Deg cd/sm	Average 45-Deg cd/sm	Average 90-Deg cd/sm
45	0	0	0
55	0	0	0
65	0	0	0
75	0	0	0
85	0	0	0

**4APVTLTD-40L840**

Electronic Driver

Linear LED 4000K

Spacing criterion:
(II) 1.2 x mounting
height, (⊥) 1.3 x
mounting height

Lumens: 5184

Input Watts: 39.5W

Efficacy: 131 lm/W

Test Report:
4APVTLTD-40L840.
IES

Candlepower

Angle	Along II	45°	Across ⊥
0	1593	1593	1593
5	1580	1583	1585
10	1548	1561	1573
15	1499	1526	1544
20	1435	1475	1502
25	1355	1416	1450
30	1266	1343	1386
35	1166	1262	1319
40	1056	1171	1242
45	943	1078	1158
50	825	976	1070
55	706	873	976
60	585	764	877
65	464	654	772
70	346	546	665
75	232	445	557
80	129	347	454
85	48	262	362
90	14	198	288

Coefficients of Utilization

rc rw RCR	Effective floor cavity reflectance												20%											
	80%				70%				50%				30%				10%				0%			
	70	50	30	10	70	50	30	10	50	30	10	50	30	10	50	30	10	50	30	10	50	30	10	0
0	118	118	118	118	115	115	115	115	108	108	108	103	103	103	98	98	98	95						
1	106	101	96	91	103	98	93	89	93	89	86	88	85	82	83	81	79	76						
2	96	87	79	73	93	85	78	72	80	74	69	76	71	67	72	68	65	62						
3	87	76	67	60	84	74	66	59	70	63	58	67	61	56	63	59	54	52						
4	80	67	58	51	77	65	57	50	62	55	49	59	53	48	56	51	46	44						
5	73	60	50	43	71	58	50	43	56	48	42	53	46	41	51	45	40	38						
6	67	54	44	38	65	52	44	37	50	42	37	48	41	36	46	40	35	33						
7	62	49	40	33	60	48	39	33	46	38	32	44	37	32	42	36	31	29						
8	58	44	36	30	56	43	35	29	42	34	29	40	33	28	38	32	28	26						
9	54	41	32	27	53	40	32	26	38	31	26	37	30	26	35	30	25	23						
10	51	37	29	24	49	37	29	24	35	28	24	34	28	23	33	27	23	21						

Zonal Lumen Summary

Zone	Lumens	% Fixture
0-30	1234	23.8
0-40	2019	39.0
0-60	3602	69.5
0-90	4932	95.2
0-180	5184	100.0

Luminance Data

Angle in Deg	Average 0-Deg cd/sm	Average 45-Deg cd/sm	Average 90-Deg cd/sm
45	0	0	0
55	0	0	0
65	0	0	0
75	0	0	0
85	0	0	0

ENERGY AND PERFORMANCE DATA BY CATALOG NUMBER

Catalog Number	Description	UPC	Delivered Lumens	Watts	Efficacy (lm/W)
2APVTLTD-20L835	2ft, Vaportite, LED, 2000 lumen, UNV, Fixed Output, 3500K, Wet Location	080083800810	2249	19	118
2APVTLTD-20L840	2ft, Vaportite, LED, 2000 lumen, UNV, Fixed Output, 4000K, Wet Location	080083801602	2307	19	119
2APVTLTD-20L850	2ft, Vaportite, LED, 2000 lumen, UNV, Fixed Output, 5000K, Wet Location	080083801626	2572	20	126
4APVTLTD-40L835	4ft, Vaportite, LED, 4000 lumen, UNV, Fixed Output, 3500K, Wet Location	080083801640	4788	39	122
4APVTLTD-40L840	4ft, Vaportite, LED, 4000 lumen, UNV, Fixed Output, 4000K, Wet Location	080083801305	5159	39	132
4APVTLTD-40L850	4ft, Vaportite, LED, 4000 lumen, UNV, Fixed Output, 5000K, Wet Location	080083801329	5156	39	132

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (54,000 hours)
25°C	> 70%

SHIPPING DATA

Catalog No.	Wt.
2APVTLED	5 lbs.
4APVTLED	10 lbs.



IC LED OUTDOOR STEP LIGHT

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

PRODUCT DESCRIPTION

The LED step light is rated for use in outdoor or indoor wall mount applications including concrete pour, brick masonry or drywall

- Recessed housing is IC rated and can be completely covered with insulation
- Back housing ships separately from power module for rough-in purposes
- Designed to provide 50,000 hours of life and is compatible with standard trims
- 5 year warranty on LED components.

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Comparable light output to compact fluorescent step light

PRODUCT SPECIFICATIONS

Housing Die cast aluminum housing painted white for durability

- Gasket for water tight seal in wet locations
- Cover plate provided to protect housing interior during rough-in
- (2) 1/2" conduit compression fittings provided for wiring
- (1) conduit fitting plug included
- Two brackets supplied for nailing unit to studs.

Power Module LED light engine and driver mounted directly to metal tray assembly for ease of wiring and installation into housing after rough-in.

LED Light Engine: LED PCB utilizes 1 watt high lumen output LEDs binned to Energy Star standards • 3000K or 4000K color temperatures available.

LED Driver: Non-dimming driver accommodates input voltage of 120 volts AC at 50/60Hz • Power factor > 0.9 at 120V input

- Driver is thermally protected and has integral overload and short circuit protection
- Terminal connections provided as standard for easy removal.

Trims Available in textured white or black powder coat on cast aluminum

- Fastens to housing with two allen head screws
- Opal diffuser supplied with all trims.

Life Rated for 50,000 hours at 70% lumen maintenance.

Labels UL listed for wet locations, concrete pour approved

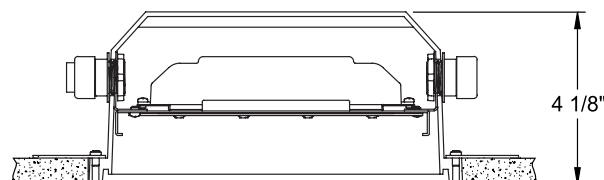
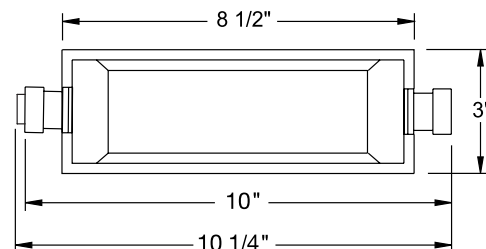
- UL and cUL Listed, RoHS compliant.

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Specifications subject to change without notice.

DIMENSIONS

IC115LEDHSG

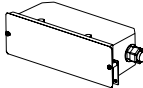
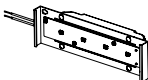





9" X 3" WALL OPENING

ELECTRICAL DATA

Input Voltage	120V
Input Power	6.4W
Input Current	0.06A
Frequency	50/60Hz
THD	<10%
Minimum starting temp	-20°C (-4°F)

ORDERING INFORMATION: Housing, power module and trim each ordered together separately.

Example: IC115LEDHSG		Example: IC115LEDPM 30K 120		Example: 835 WH	
Back Housing	Power Module	Color Temperature	Voltage	Trims	Trim Finish
<div></div> IC115LEDHSG 	<div></div> IC115LEDPM 	<div></div> 30K 3000K 40K 4000K	<div></div> 120 120V	<div></div> 835 Full Opal Lens Step Light Trim  836 Opal Lens with Grill Step Light Trim  837 Opal Lens with Angeled Louvers Step Light Trim 	<div></div> BL Black WH White

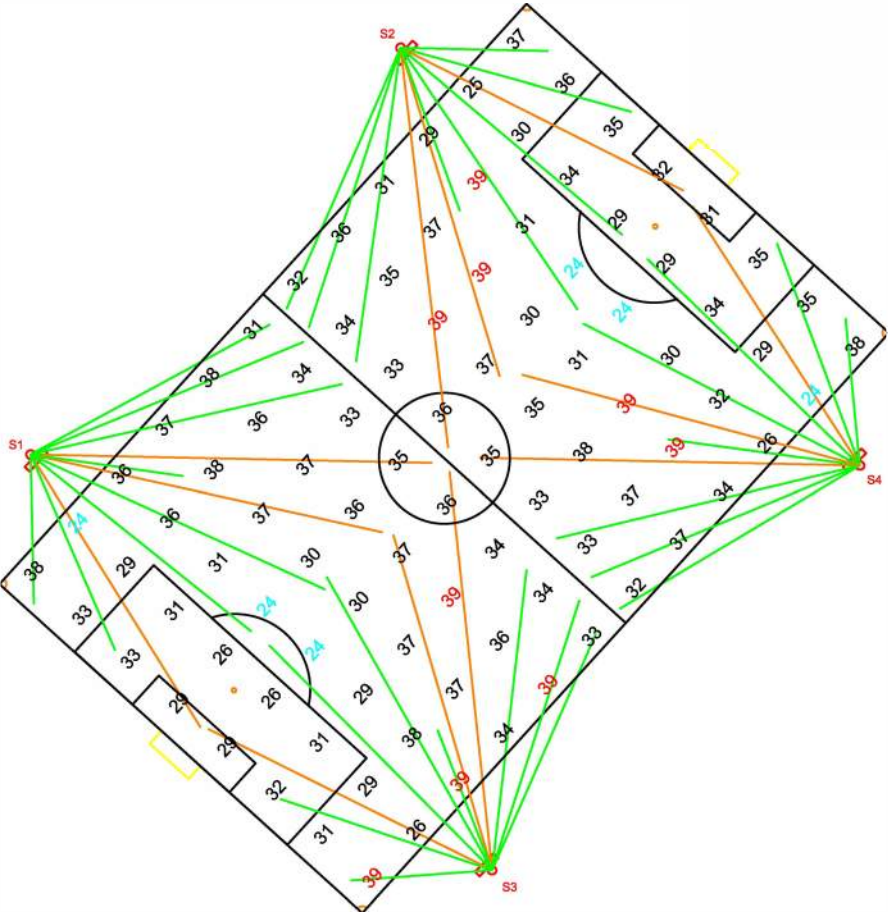
Trim Size: 9 3/4" L x 3 5/8" H

THIS DESIGN WAS DONE IN ACCORDANCE WITH ILLUMINATING SOCIETY OF NORTH AMERICA STANDARDS

MAINTAINED

TYPICAL OF 5 SINGLE FIELDS

Pole	x-loc	y-loc	height	N3	N4	Total	kw
S1	-937	920	70ft	3	8	11	11.4
S2	-767	1107	70ft	3	8	11	11.4
S3	-725	729	70ft	3	8	11	11.4
S4	-556	915	70ft	3	8	11	11.4
Total				12	32	44	45.8



N4
Q-LED GameChanger 1000W

N3
Q-LED GameChanger 1000W

360'x225' SOCCER FIELD 1
96 points at z=3, sp 30ft by 30ft
HORIZONTAL FOOTCANDLES
Average 30
Maximum 39
Minimum 24
Avg:Min 1.38
Max:Min 1.63
Coef Var 0.13
UnifGrad 1.58



INITIAL LUMENS = 115,000

QUALITE SPORTS LIGHTING LLC.

215 W. MECHANIC ST.
HILLSDALE, MI 49242

PHONE: 517/439-1581
FAX: 517/439-1194
800/933-9741
WWW.QUALITE.COM

REVISED (LAST DATE)	QL-xxxxxx		
Typical			
TWS	SCALE=1	10-11-18	1 OF 1

THIS INFORMATION IS CONFIDENTIAL AND PROPRIETARY TO QUALITE SPORTS LIGHTING LLC AND IS NOT TO BE REVEALED OR DISTRIBUTED TO OTHERS WITHOUT THE PERMISSION OF QUALITE SPORTS LIGHTING LLC. OR USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF QUALITE SPORTS LIGHTING LLC.

GUARANTEE IS BASED ON PROPER INSTALLATION, MINIMUM INPUT VOLTAGES, MOUNTING HEIGHT +/- 3 FEET, AND POLES PLACED WITHIN 4 FEET OF SPECIFIED LOCATIONS. POLES TO COMPLY WITH CURRENT AASHTO STANDARDS

THIS PRINT IS FOR PROPOSAL USE ONLY AND IS NOT TO BE USED FOR PRODUCTION.



INTRODUCING THE Q-LED GAMECHANGER SYSTEM

We didn't just set out to design a better LED light, we set out to design a system that would *revolutionize* the sports lighting world.



Installation at Lumen Christi High School, Jackson, MI.

THE LATEST LED TECHNOLOGY

By combining over 30 years of focused sports lighting experience with the latest LED technology, we have developed a sports lighting system that is a true GameChanger™! Designed for HDTV broadcasting, digital photography and slow-motion recording of fast paced sports venues from professional to recreational levels. With enhanced glare mitigation and specialized beam shapes we are able to paint the playing surface with smooth light and keep your neighbors dark and happy. Backed by the best warranty in sports lighting, guaranteed light levels and Qualite's life-long commitment to customer service.

Better Lighting, Better Game!

GAMECHANGER™ 1000
System Assembly





GAMECHANGER 1000



GAMECHANGER 500

GAMECHANGER™ Electrical Detail	GAMECHANGER™ 1000	GAMECHANGER™ 500
Input Watts	1000w	500w
Kw Draw	1.04	0.52
*Lumen Output	115,000	58,000
Lumens/Watts	115	115
CCT	5,700	5,700
CRI	>80	>80
Weight	51 lbs.	27 lbs.
CURRENT	Amps	Amps
277v	3.75	1.88
240v	4.33	2.17
208v	5	2.5
120v	8.67	4.33

* The specifications listed were obtained under optimal testing conditions. Please note that changes in options, features and conditions may result in slightly different performance specifications among fixtures.

Amps are based on single Phase.
3 Phase systems will be balanced per pole.
480 and 347V - Will be stepped down to 277V.

APPLICATIONS

Outdoor sports fields at all levels, general area lighting

RATINGS

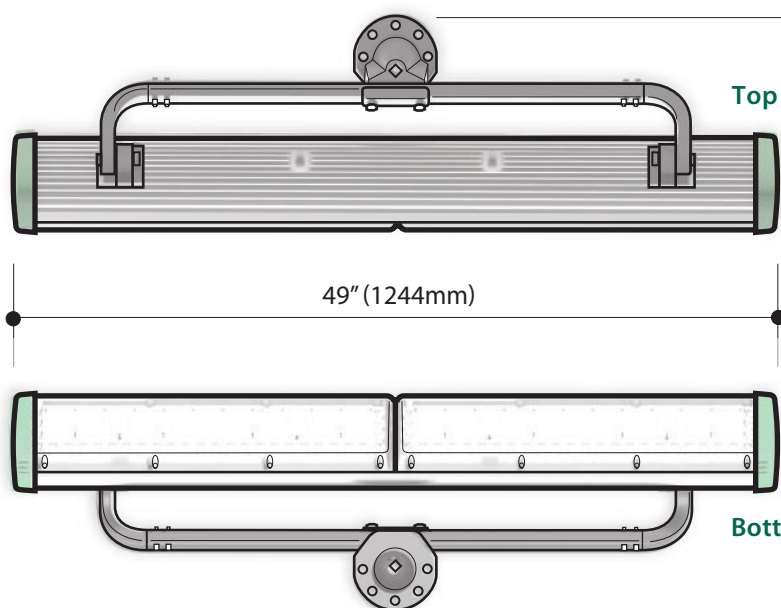
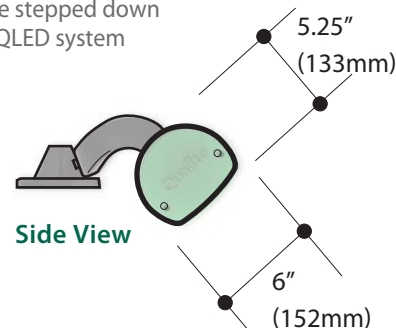
IP66, -40°C to 55°C

INPUT POWER

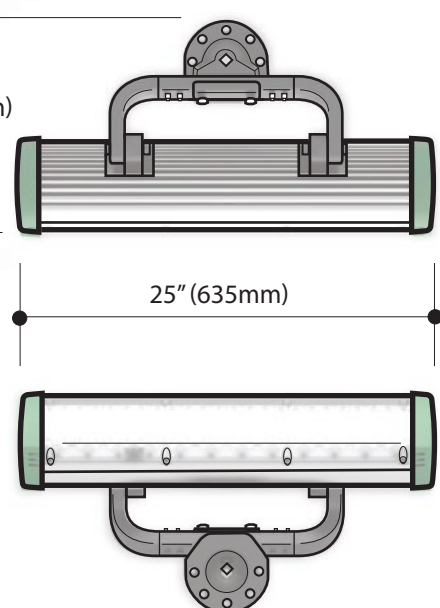
100v - 240v auto sensing
200v - 300v auto sensing
480v with neutral can be split into 277v
480v w/o neutral can be stepped down via transformer within QLED system

OPTICS

Various symmetrical and asymmetrical rectangular and round patterns with built in glare control utilizing TIR lens technology.



GAMECHANGER 1000



GAMECHANGER 500



GameChanger™ 1000 7F assemblies.

THE GAMECHANGER LIGHTING SYSTEM

Pre-aimed, pre-wired and **FULLY ASSEMBLED** light racks for unequaled ease of assembly with guaranteed performance.

FEATURES

High Efficiency LED

Pre-wired and Pre-aimed System

Nearly Instant On/Off

Color Consistency
Dimmable

Environmentally Safe

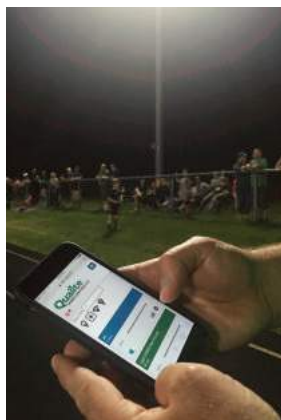
SYSTEM BENEFITS

Lower power consumption
Very Low Lumen depreciation
High CCT & CRI

Ease of Installation
Guaranteed light levels
System engineered components

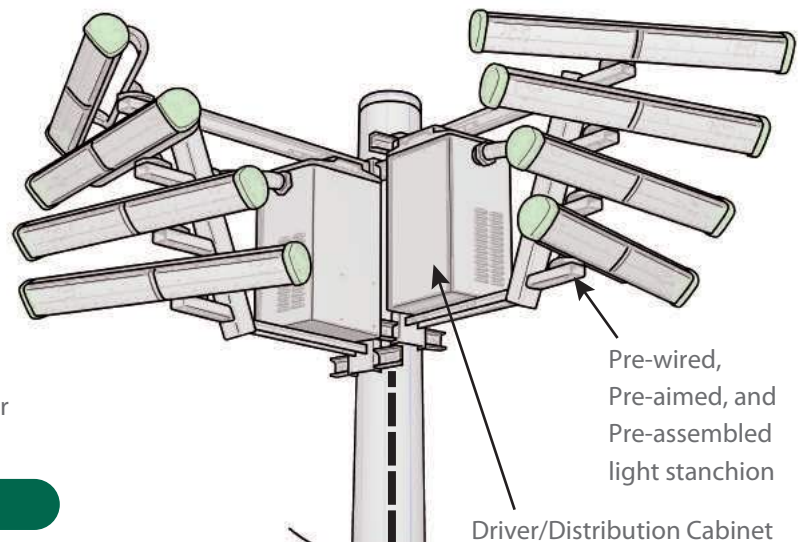
Allows for emergency
No warm-up/cool-down time
Maintains high definition quality lighting
Power savings and design flexibility

ROHS compliant

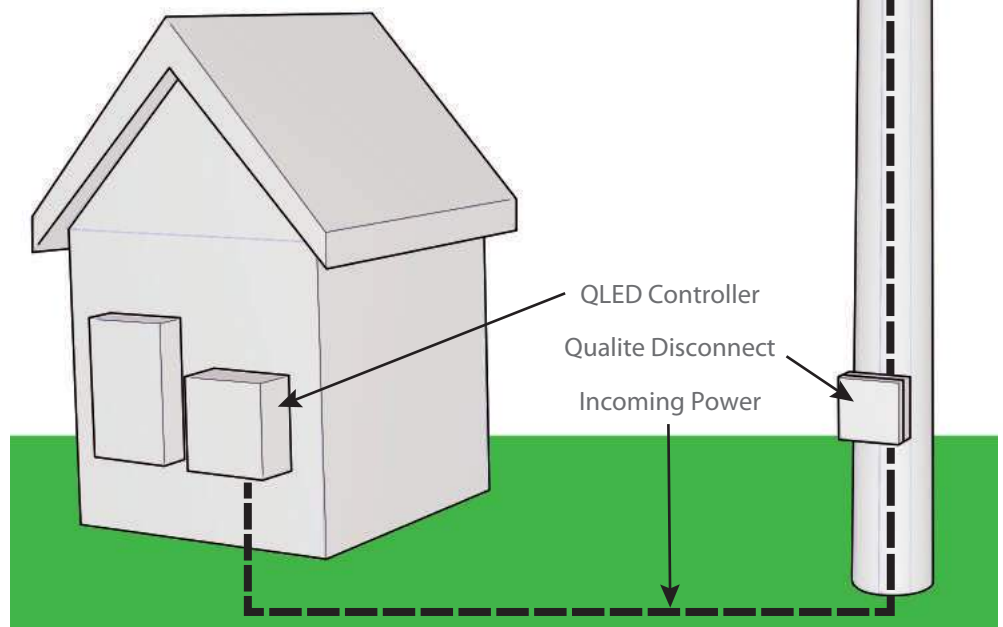


GameChanger™ System being controlled from a smart phone via an app. GameChanger™ can be programmed remotely from any wireless device or laptop providing the ultimate connectivity and control. See the QLED controls brochure for more information.

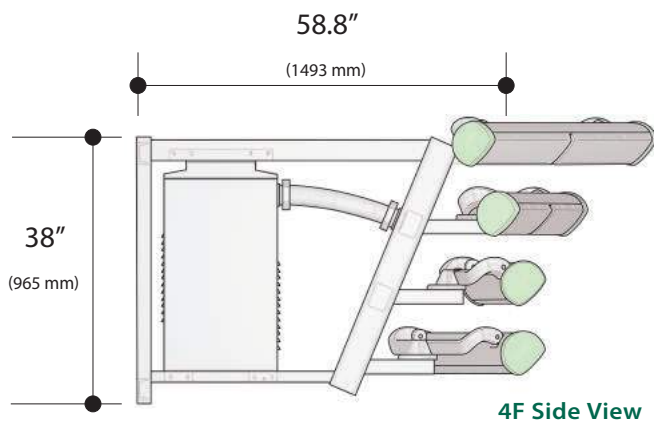
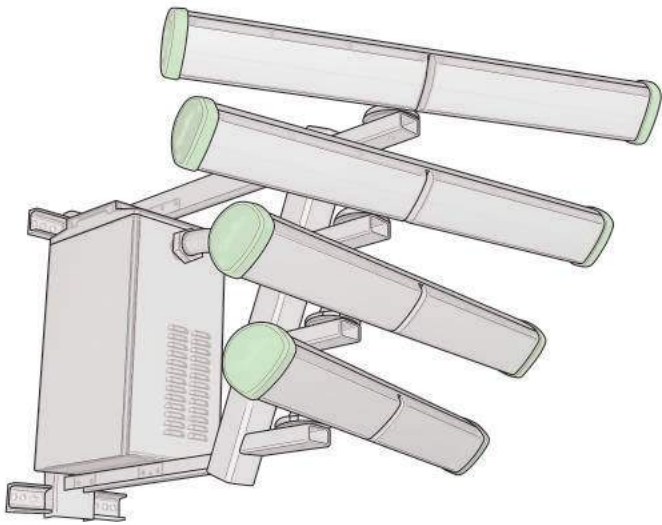
BASIC ASSEMBLY CONFIGURATION



Qualite provided
wire harness



4F ASSEMBLY

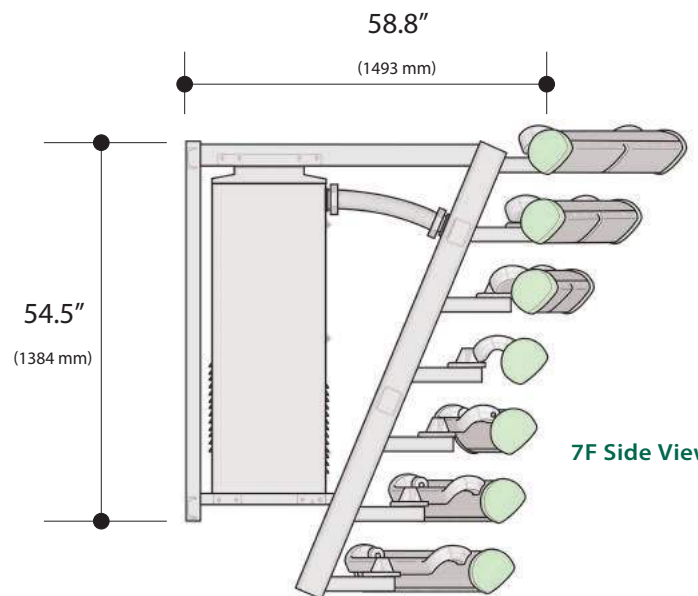
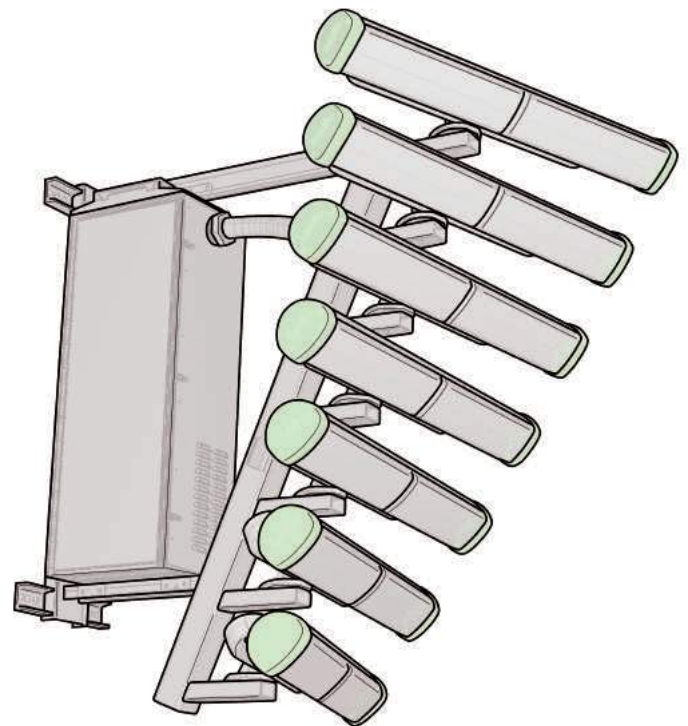


4F Side View

Weight - approximately 500lbs



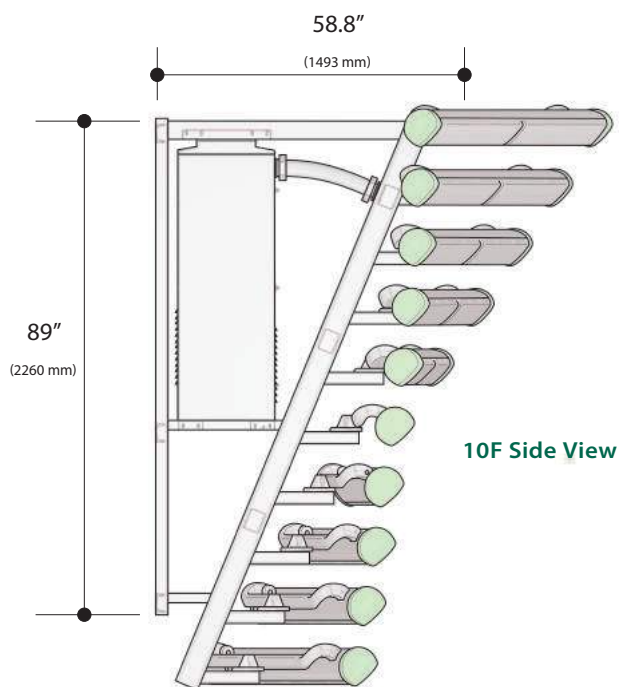
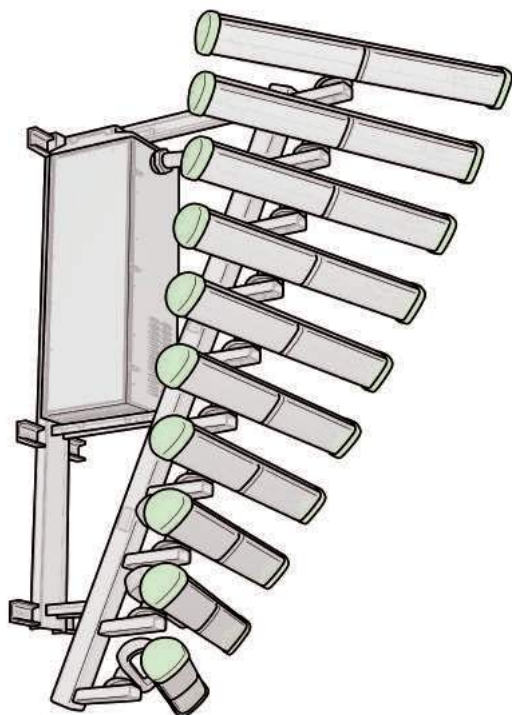
7F ASSEMBLY



7F Side View

Weight - approximately 750lbs

10F ASSEMBLY



Weight - approximately 1010lbs

Stanchion Assembly Details:

- Designed to meet AASHTO 150mph and Florida Building Code.
- Galvanized to ASTM A123/A123M standards.
- For use on new or retrofit.
- Fully Assembled and inspected prior to shipment.



Installation at Lumen Christi High School, Jackson, MI.

RELIABILITY

Unlike legacy bulb-based systems, Q-LED™ System contains no parts to wear out or replace so you can be sure your lighting is maintenance-free for thousands of hours. Q-LED™ System is weather-proof and can handle the elements yet generate more light than any light in sports.

INTEGRATED CONTROLS

For the greatest control, Q-LED™ System interfaces with the Qualite wireless control system to offer the ultimate fan experience. With dimming, scheduling and many other functions, the customization possibilities are endless.

BEST WARRANTY IN THE BUSINESS

Qualite not only warranties our product, but we also guarantee the light levels, for the life of the system! We have the best standard warranty in the industry and can create a custom warranty to meet the customers needs.

Patent Pending

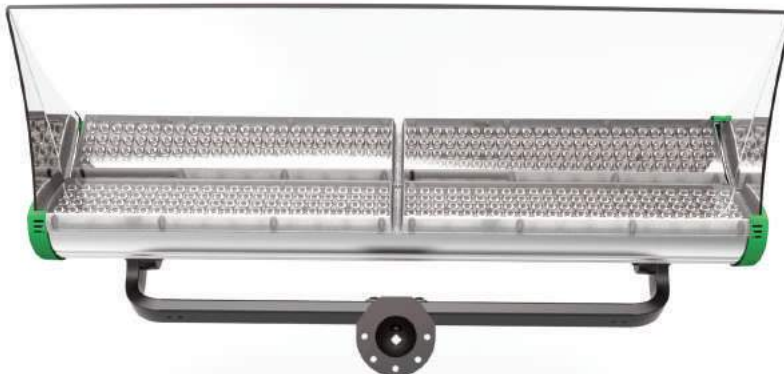
Shown with optional external visor for extreme spill and glare control.

OPTIMIZED FOR HDTV

Q-LED™ System's ability to match daylight color temperature while delivering precise, uniform light means broadcasters do not require supplemental lighting. Intensity and uniformity ensures shadows on the playing surface are eliminated, improving the appearance of moving objects and the ease with which camera operators can follow the action of the game. Our sophisticated circuitry means flicker is a thing of the past.

EFFICIENCY

A Qualite Sports Lighting installation can reduce fixture count by one-third to one-half, while doubling the amount of light reaching the playing surface. In one Q-LED™ System installation, fixture count was reduced by more than half, foot candles increased from 148 to 277 with energy savings of over 75%.



ABOUT QUALITE

Qualite has been the sports lighting partner for high schools, colleges, parks and recreation departments, and minor and major league sport franchises for over 30 years. In addition, Qualite has partnered with a leading LED fixture manufacturer to provide the highest quality LED technology to sports facilities, including the host stadium to the 2015 Super Bowl, The University of Phoenix in Glendale, AZ. Qualite's Q-LED system is the most energy efficient, highest Lumen output LED lighting solution in the sports lighting industry.

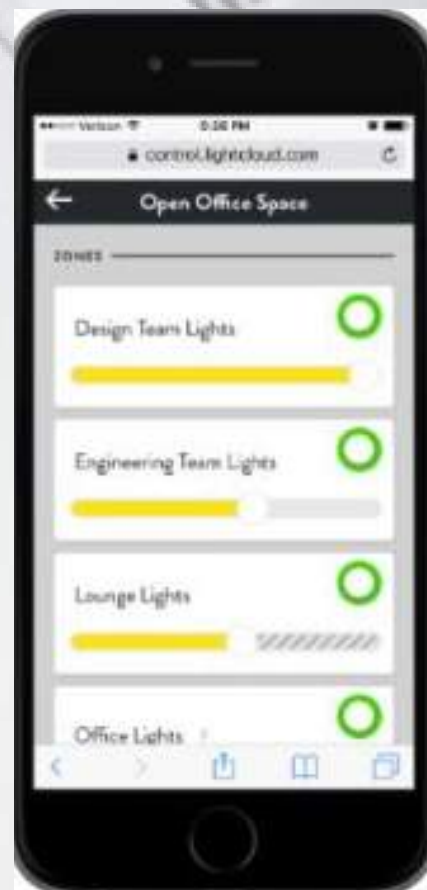


(517) 439-1581
www.qualite.com
1-800-933-9741



LIGHT at your fingertips

- **Centralized scheduling:** Adjust schedules easily with the Lightcloud App
- **No expertise needed:** Controls are completely intuitive
- **Energy savings and monitoring:** Measures, tracks and reports real and estimated power usage
- **Remote control:** Make changes anywhere via your phone, tablet or computer
- **Access and security:** Uses private encrypted connection over secure, wireless mesh network
- **Two-Factor authentication:** Extra layer of security ensures that you're the only person who can access your account
- **Technical support:** Both the Qualite and RAB teams are available 24/7 to troubleshoot issues





The Controller is the basic building block of the Lightcloud system. Use it for switching and 0-10V dimming. Deploy it for power management. Or simply use it to extend the range of your Lightcloud mesh network.

Color: Black

Weight: 0.2 lbs

RAB | Controls
In partnership with
Qualite
SPORTS LIGHTING, LLC

Technical Specifications

Listings

UL Listing:

Suitable for indoor and outdoor use

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities

Electrical

Input Voltage:

120-277 VAC

Frequencies:

50/60 Hz

Current Draw:

30 mA @ 120VAC
20 mA @ 277VAC

Load Switching Capacity:

120-277VAC: 15A Electronic (LED)
277VAC: 20A Magnetic/Resistive
240VAC: 20FLA/60LRA, 2HP
120VAC: 15A Tungsten, 1HP
Zero-cross switching for reduced inrush current and improved relay contact life

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Can dim as low as 1%. Actual dimming range is defined by driver.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Operating Temperature Range:

-20°C to 40°C

Storage Temperature Range:

-40°C to 80°C

Maximum Relative Humidity:

85%

Mounting:

Junction box for both indoor or outdoor. Lighting panel, trough or fixture.

Wire Gauge:

4x6 in 12AWG High-voltage pigtails, stripped
2x12 in 22AWG Low-voltage pigtails, 300V insulation, stripped

Wireless Range

Obstructions:

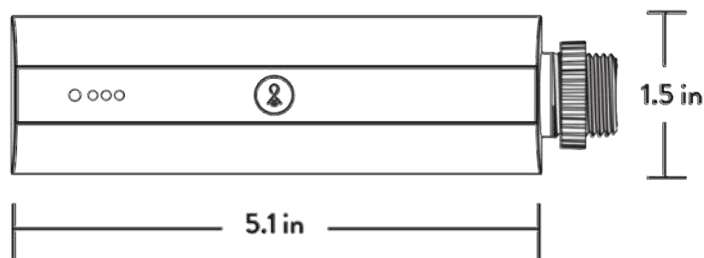
100 feet

Other

Warranty:

10-year full hardware warranty with 100% repair/replacement coverage for all properly installed devices.

Dimensions



Features

Easy setup - simply power on, confirm device connectivity and call 844-LIGHTCLOUD

Cylindrical design for easy installation at threaded junction boxes

Cloud-based management - no software to install or maintain

Connects to Lightcloud Gateway and other Lightcloud devices

Connects via a secure, encrypted, and self-healing 2.4 GHz wireless mesh network

Repeater Mode to extend range of wireless mesh network

If power to Controller is lost, notification is shown in the Lightcloud application

If communication is lost, Controller can fall back to a customizable emergency state



The Gateway is the brain of Lightcloud. It communicates with RAB's servers via private 3G cellular connection, so no internet access is required. Plus, it features an uninterruptible power supply for added peace of mind.

Color: Black

Weight: 0.9 lbs

RAB | Controls
In partnership with
Qualite
SPORTS LIGHTING, LLC

Technical Specifications

Listings

UL Listing:

Indoor use only

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities

Electrical

Input Voltage:

120-277 VAC

Frequencies:

50/60 Hz

Current Draw:

70 mA @ 120VAC

43 mA @ 277VAC

Battery Backup:

Rechargeable Lithium Ion

Construction

Operating Temperature Range:

0°C to 40°C

Storage Temperature Range:

-20°C to 60°C

Maximum Relative Humidity:

85%

Wire Gauge:

18 AWG, stranded

Junction Box:

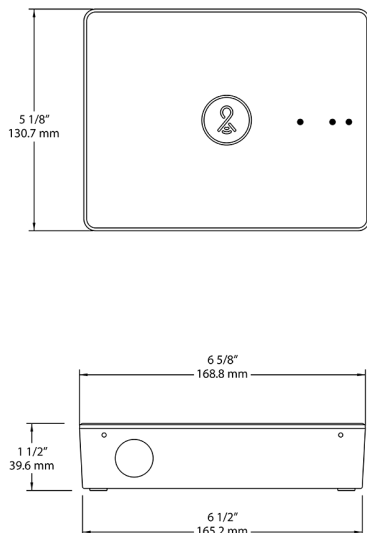
Contains integral junction box for hard-wired installation by a qualified electrician

Other

Warranty:

10-year full hardware warranty with 100% repair/replacement coverage for all properly installed devices.

Dimensions



Features

Connects with up to 200 Lightcloud devices

Communicates with Lightcloud devices via 2.4 GHz wireless mesh network

User-serviceable, built-in UPS battery backup (lasts approximately 2 hours)

Cloud-based management - no software to install or maintain

Connects to Lightcloud service using secure cellular 3G connection and no internet access is required

Easy setup - simply power on, confirm a cellular signal and call 844-LIGHTCLOUD

Warranty is active as long as service plan is active

COMPLETE control at any time!

- **Schedule the lights to come on or off and dim for security and safety!**

- **Build a complete schedule ahead of time; set it and forget it!**

- **Manage the schedule from anywhere with your phone, computer, laptop or tablet!**

- **The first UL2900-01-Listed Networked Lighting Control System!**



25-YEAR TOTAL COVERAGE WARRANTY

LED GameChanger™ Lighting System Sports Lighting Application

Qualite Sports Lighting provides a 25-year “total coverage warranty” to the owner for complete peace of mind at no out-of-pocket cost.

What this warranty covers:

Qualite warrants both the 500-watt and 1,000-watt GameChanger™ LED Lighting System for 25 years from failure.

All fixtures and or components are covered under this warranty for the full 25 years. All necessary labor, parts, wiring, etc. will be replaced or corrected at Qualite’s expense. The use and cost of equipment (cranes, lifts or other heavy construction equipment) is included in this warranty at Qualite’s expense.

What is covered and included:

- Total system coverage, lights, poles, drivers, etc.
- All labor
- Lifts, crane or other equipment required for repair
- All parts will be supplied by Qualite at no cost to owner
- Light levels are guaranteed for full 25-year period
- Fixture aiming and mounting is guaranteed.

What is not covered:

- Acts of God. (flood, lightning, tornado, etc)
- Vandalism
- Damage from improper installation
- Non-compliant power conditions

Conditions of Service:

- Adequate, pre-determined egress/ingress is required for heavy service equipment
- Safe working environment for crews

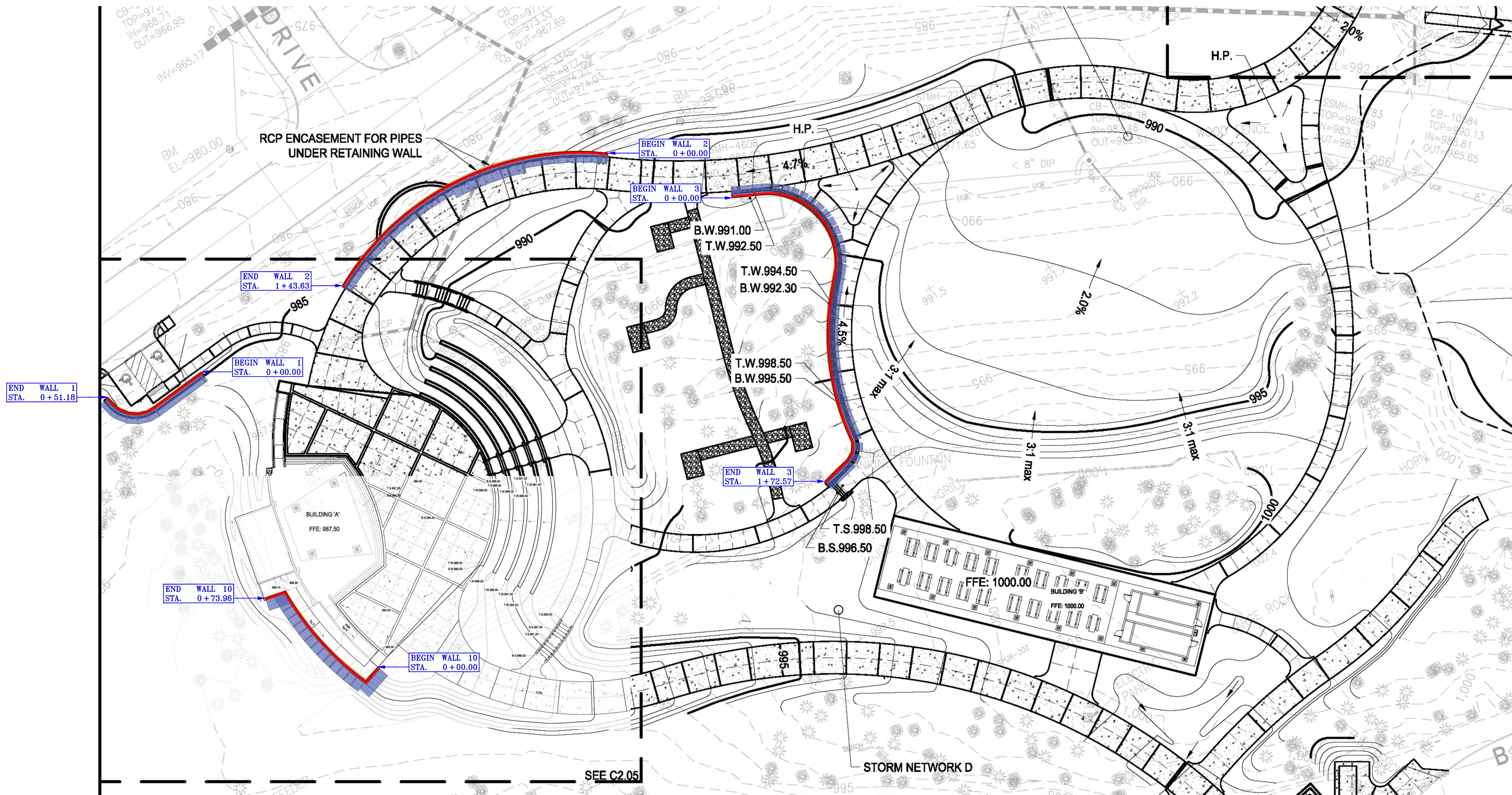
Response Time:

- Normal non-emergency service work will be scheduled within owner’s requirements
- Emergency service response will occur within a 24-hour period

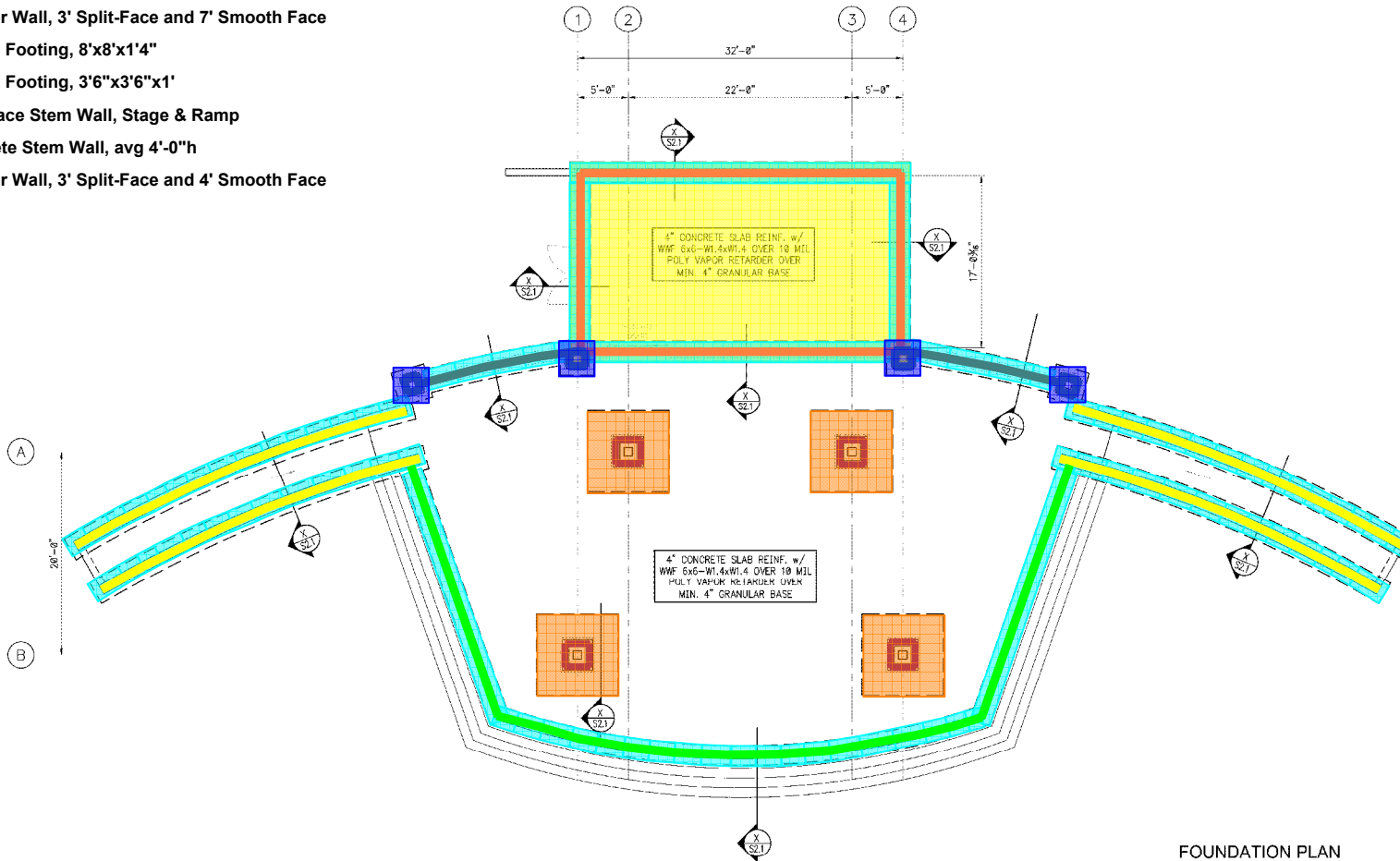
Notes:

This warranty is intended for normal usage for the GameChanger Lighting System that would be installed on a grade school, high School sports venue, charter schools, park and recreation, College Level or other venue with normal use considerations. Please contact Qualite Sports Lighting for high or extreme use facilities.





- Split-Face Wrap w/ Cast Stone Cap at Pavilion Columns
- Continuous Wall Ftg, 2'wx1'd
- Slab on Grade
- Exterior Wall, 3' Split-Face and 7' Smooth Face
- Spread Footing, 8'x8'x1'4"
- Spread Footing, 3'6"x3'6"x1'
- Split-Face Stem Wall, Stage & Ramp
- Concrete Stem Wall, avg 4'-0"h
- Exterior Wall, 3' Split-Face and 4' Smooth Face



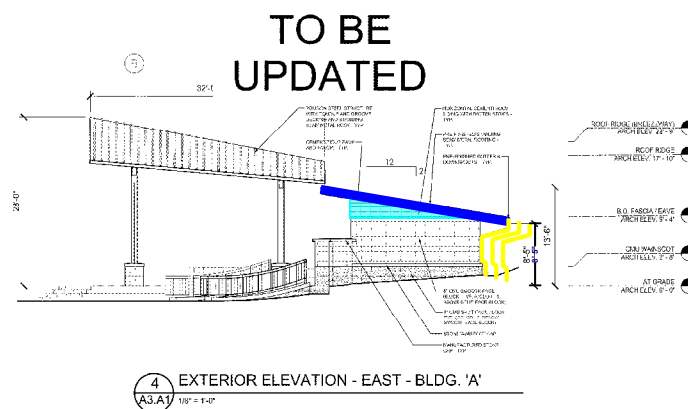
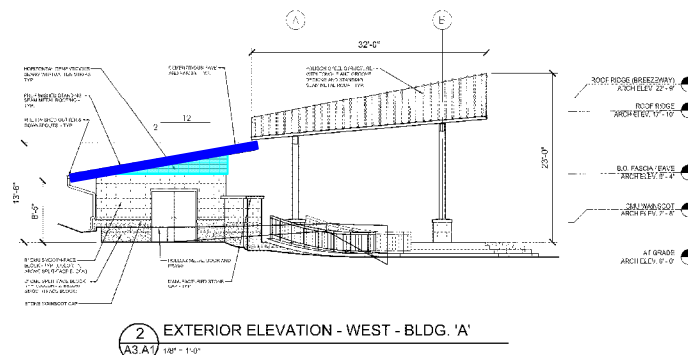
FOOTING SCHEDULE			
MARK	SIZE	REINF	REMARKS
F55	5'-6"x 5'-6"x 1'-4"	6-#5 EA WAY, TAB	
F60	6'-0"x 6'-0"x 1'-4"	8-#5 EA WAY, TAB	

FOUNDATION PLAN

SCALE: $\frac{3}{8}" = 1'-0"$

NOTES:

1. TOP OF EXTERIOR FOOTINGS SHALL BE THE LOWER OF:
 - 1.1. F.F.E. - 16" (OR)
 - 1.2. 1'-0" BELOW EXTERIOR GRADE
2. SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS AND/OR LOCATIONS NOT SHOWN.
3. SEE ARCHITECTURAL DRAWINGS FOR ALL FLOOR SLOPES.
4. SEE DETAIL 1/S2.1 FOR SLAB CONTROL JOINTS.
5. DOWELS SHOWN ON PLANS INDICATE GROUT FILLED, REINFORCED CORES. (SEE DETAIL 4/S2.1)
6. SEE 5/S2.1 FOR MASONRY REINFORCING AT WALL OPENINGS.
7. REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR BUILDINGS LOCATIONS AND ORIENTATIONS.
8. CONTRACTOR SHALL COORDINATE ALL UNDER SLAB PIPING, CONDUITS, OR UTILITIES PRIOR TO PLACING FOOTINGS. IMMEDIATELY NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

BROOK RUN PARK IMPROVEMENTS
BUILDING PLANS

PREPARED FOR:

TO BE
UPDATED

TO BE
UPDATED

TO BE
UPDATED

TO BE
UPDATED

JAM BEAM W/ STEEL PLATES BOLTED AT CONNECTIONS. T

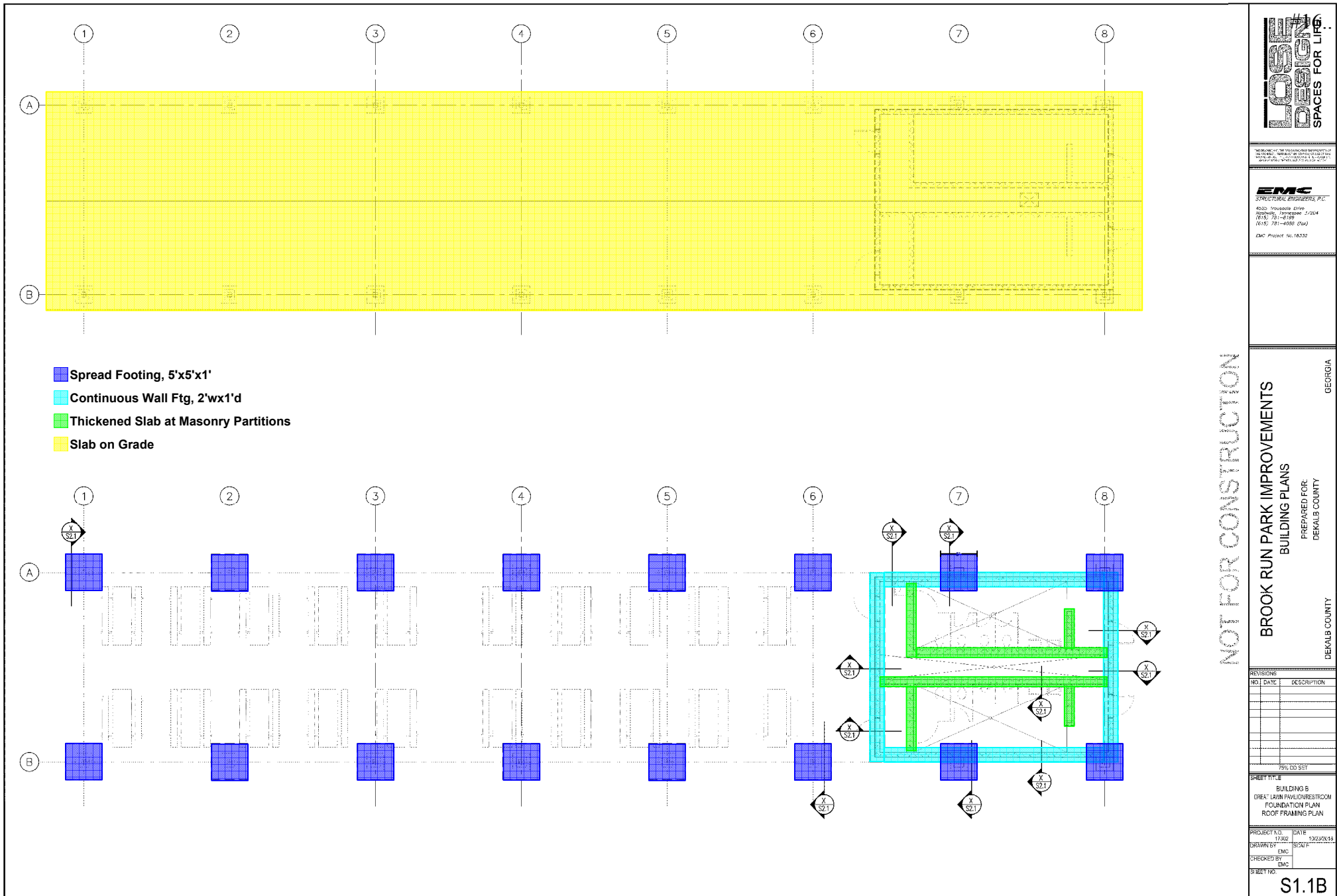
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UPDATED

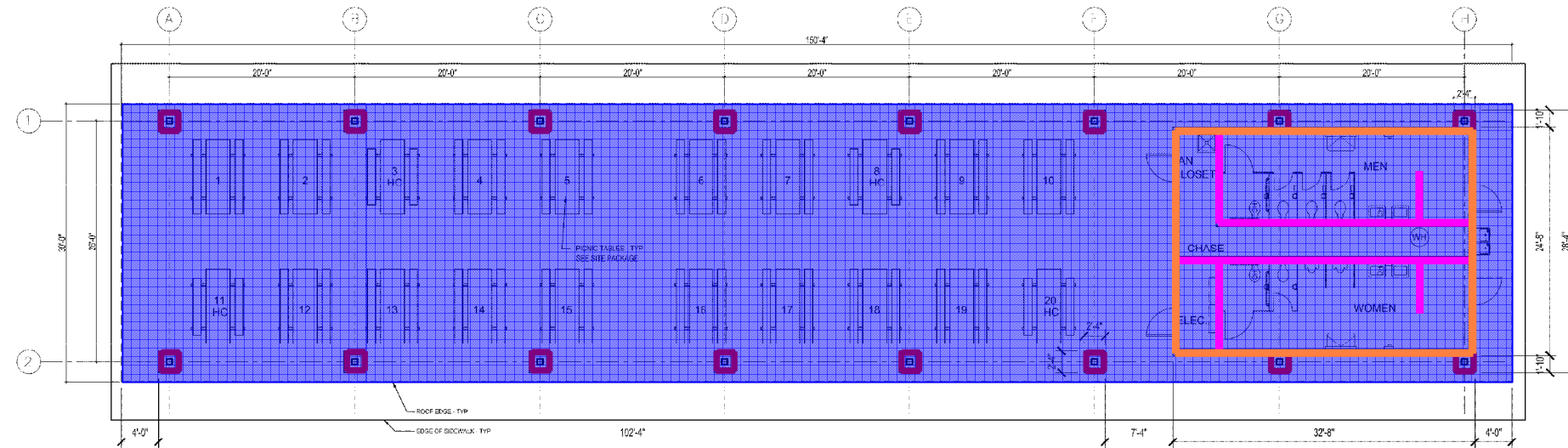


2 NOTED PLAN - BUILDING 'B' PAVILION/ RESTROOM
A2.B2 1/4" = 1'-0"

NOT FOR CONSTRUCTION

11/30/2018
Packet page:...





TO BE
UPDATED

1 FLOOR PLAN - BUILDING 'A' BAND SHELL
A2.B1 1/8" = 1'-0"



NOT FOR CONSTRUCTION

BROOK RUN PARK IMPROVEMENTS

BUILDING PLANS

PREPARED FOR:
BARROW COUNTY

GEORGIA

DEKALB COUNTY

PLAN GENERAL NOTES

1. SEE ENLARGED PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
 2. ALL FLOOR TO SLOPE AT $\frac{1}{8}"$ PER FOOT, UNO, COORDINATE W/PLUMBING & STRUCTURAL.
 3. SEE NOTED PLAN FOR SIGNAGE.
 4. COORDINATE ALL CASEWORK AND OFCL. ITEMS W/ OWNER.
 5. ALL ELECTRIC AND PLUMBING DEVICES "CENTERED" ON CMU VERTICALLY AND HOSE BIBBS, ETC.) INSTALL SMOOTH FACE DEVICES AS REQUIRED FOR A LEVELED.
 6. SEAL ALL PENETRATIONS OF CONDUIT, IN ALL SUBSTRATES, INTERIOR AND EX.
 7. ARCHITECTURAL BUILDING FFE LISTED CIVIL.
 8. PROVIDE MASONRY CONTROL JOINTS #
 9. SEALANT AT EXPANSION JOINT TO MATCH ADJACENT WALL COLOR.
 10. ALL NEW MASONRY JOINTS TO BE CONCAVED TOOLED.
 11. RUN ALL DOWN SPOUTS TO UNDERGROUND, COORDINATE W/ CIVIL.
 12. ALL EXPOSED STEEL TO BE SHOP PRIMED AND FIELD PAINTED.
 13. INSTALL SMOOTHFACE BLOCK BEHIND DESIGNATED LOCATION OF SIGNAGE.
 14. HOSE-BIBB WITH LOCKABLE BOX, PROVIDE FREEZE-PROOF TYPE FOR EXTERIOR LOCATION, SEE PLUMBING.
 15. CALCUL ALL DOOR & WINDOW FRAMES AT THE JOINT BETWEEN THE FRAME & THE ADJACENT FIXED CASEWORK.
 16. CALCUL ALL JOINTS BETWEEN FIXED CASEWORK, PLUMBING FIXTURES, & BACKSPLASH TO WALL TRANSITION JOINT.
 17. COORDINATE ANY EXPANSION/CONTROL/CONSTRUCTION JOINTS WITH CIVIL CONSTRUCTION, VERIFY W/ ARCH. AND STRUCT. FOR ANY INTERFERENCES THAT OCCUR DURING THE CONSTRUCTION PHASE.
 18. DETERMINE BUILDING SITE ORIENTATION/LAYOUT WITH CIVIL.
 19. CONCRETE PAVING SEE SITE/CIVIL.
 20. PROVIDE ALL SLAB JOINT DETAILS.
 21. PROVIDE ALL FOOTING & SLAB REQUIREMENTS.
 22. SEE SHEET A3 SERIES FOR EXTERIOR ELEVATIONS.
 23. SEE SHEET A4 SERIES FOR SECTIONS & DETAILS.
 24. SEE SHEET A6 SERIES FOR RCP AND ROOF PLANS.
 25. SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
 26. SEE SHEET A9 SERIES FOR WINDOW SCHEDULE & DETAILS.

TO BE
UPDATED

WALL CONSTRUCTION TYPE & LEGEND

EXTERIOR

8" CMU EXTERIOR WALL TO 9'-4", TYP. U.N.O.

- SEE EXTERIOR ELEVATIONS FOR PILASTERS

- WITH INTEGRALLY COLORED SPLITFACE BLOCK ON EXTERIOR FACE
- WITH R-10.9 INSULATION FOAM IN ALL CORES
- WITH STRUCTURAL REINFORCEMENT & GROUT FILL AS REQUIRED

- SEE STRUCTURE

INTERIOR
8" INTERIOR CMU WALL TO 9'-4" TYP. I.I.N.O.
S. REQUIRED

1-HR RATED

TO BE
UPDATED

AND SMOOTHFACE ON INTERIOR FACE

- WITH STRUCTURAL REINFORCEMENT & GROUT FILL AS REQUIRED
- SEE STRUCTURE
- WITH 4" PRECAST CONCRETE CAP

FINISH NOTES:

SEE A2.A2 FOR WALL FINISHES AT INTERIOR.
SEE A3.A1 FOR WALL FINISHES AT EXTERIOR.

BUILDING 'A' SQUARE FOOTAGE:

TOTAL ENCLOSED AREA:	X,XXX SF
TOTAL AREA UNDER ROOF:	X,XXX SF

Prepared by KW

Page 32 of 46

LOSE
DESIGN
SPACES FOR LIFE.

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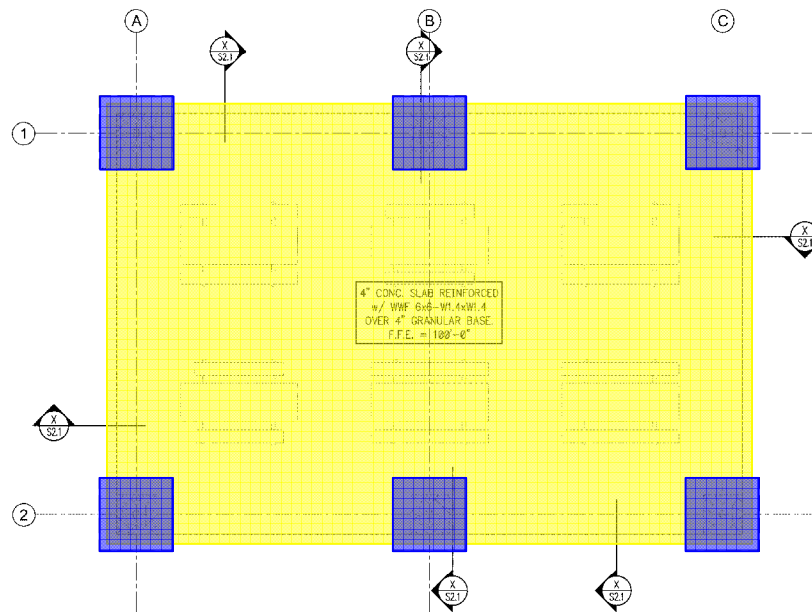
SHEET TITLE

BUILDING 'A'
FLOOR PLAN

PROJECT NO. 17302	DATE 10/30/2018
DRAWN BY TM	SCALE
CHECKED BY SD	AS NOTED
SHEET NO.	

A2.B1
11/30/2018

Slab on Grade



SCALE: $\frac{1}{4}'' = 1' - 0''$

NOTES:

1. TOP OF EXTERIOR FOOTINGS = FFE - 12"
2. THE CONTRACTOR SHALL COORDINATE ANY UNDER SLAB PIPING, CONDUITS OR ANY UTILITIES PRIOR TO PLACING FOOTINGS. IMMEDIATELY REPORT ANY CONFLICTS TO THE ENGINEER OR RECORD.
3. SEE ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS AND/OR LOCATIONS NOT SHOWN.
4. SEE ARCHITECTURAL DRAWINGS FOR ALL FLOOR SLOPES.
5. SEE DETAIL 1/S2.1 FOR SLAB CONTROL JOINTS.

2000

BROOK RUN PARK IMPROVEMENTS

BUILDING PLANS

PREPARED FOR:
DEKALB COUNTY

DEKALB COUNTY

GEORGIA

LOGS DESIGN
SPACES FOR LIFE

THE UNIVERSITY OF CHICAGO PRESS, 5724 ARCADE OF
THE UNIVERSITY OF CHICAGO PRESS, 5724 ARCADE OF
THE UNIVERSITY OF CHICAGO PRESS, 5724 ARCADE OF
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STING/TURBO ENGINEERING, P.C.
4525 Trousdale Drive
Nashville, Tennessee 37204
(615) 781-8189
(615) 781-4088 (fax)
EMC Project No.18332

EMC Project No. 18332

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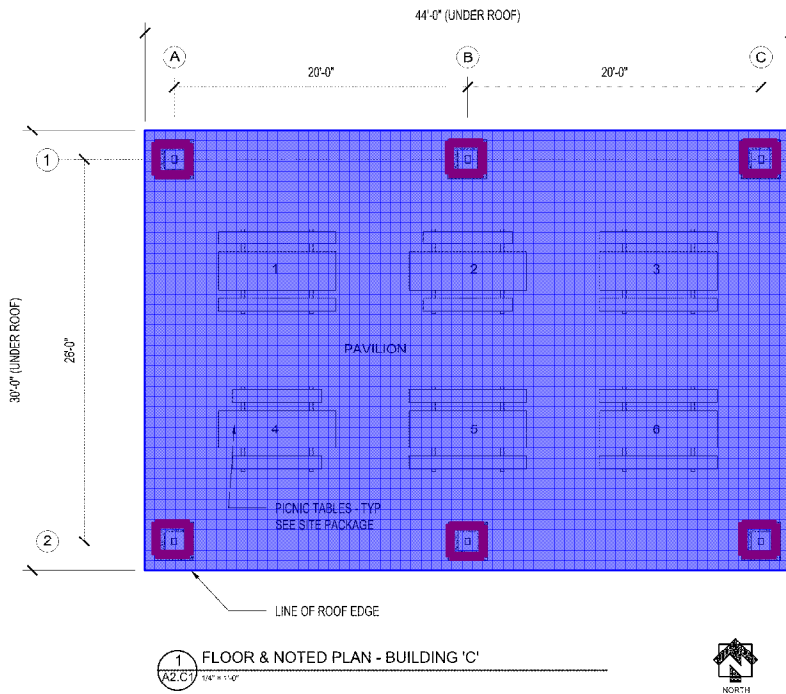
75% DO SET

PROJECT TITLE
BUILDING C
PICNIC PAVILION
FOUNDATION PLANS

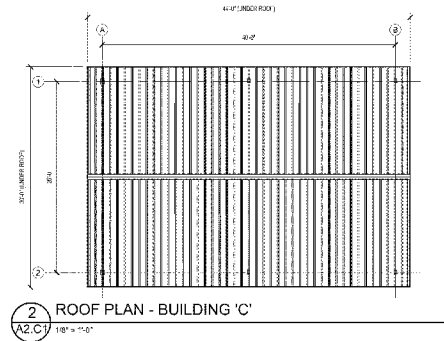
PROJECT NO.	DATE
7302	10/23/2011
DRAWN BY	SCALE
EMC	$\frac{1}{4}'' = 1'-0''$
CHECKED BY	
EMC	
SHEET NO.	

S1.1C

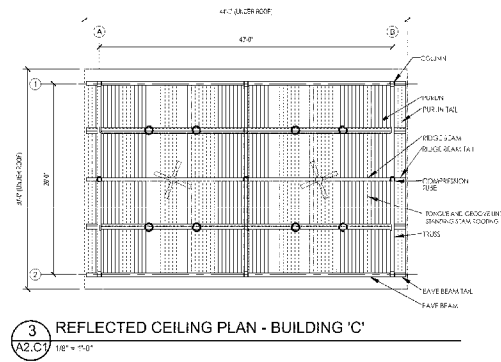
- Pavilion Structure & Roofing
- Split-Face Wrap w/ Cast Stone Cap at Pavilion Columns



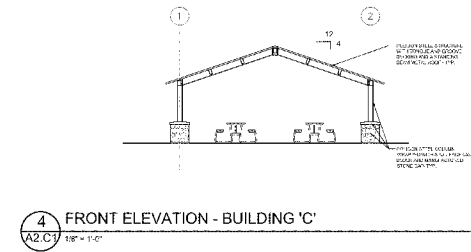
TO BE
UPDATED



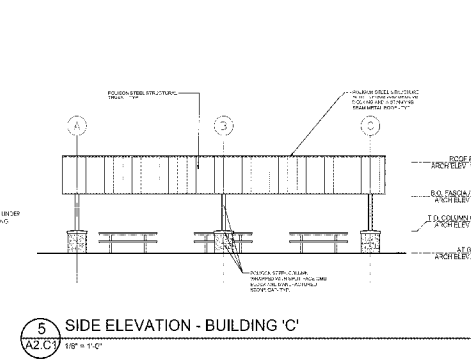
TO BE
UPDATED



TO BE
UPDATED



TO BE
UPDATED



TO BE
UPDATED

PLAN KEYNOTES

- HYAC UNITS: SEE MECH.
- 21"X30" ACCESS PANEL THROUGH CEILING: TYP. COORDINATE W/ MECH. FOR LOCATION DETAILS.
- UNDERGROUND CONNECTION LINE FOR HYAC: SEE MECH/PLUMB.
- ELECTRICAL TRANSFORMER, PANELS, TERMINAL BOARDS AND CONTROLS: PROVIDE RAISED CONC. PAD FOR TRANSFORMER. SEE ELEC.
- WATER / ICATER UNIT: PLACE ON A STAND. SEE MECH/PLUMB.
- IRI BACKFLOW PREVENTION UNIT
- OUTDOOR EQUIP. OWNER PROVIDED
- HOSE BIB: SEE PLUMB. FOR FIX.

TO BE
UPDATED

REFLECTED CEILING LEGEND

TO BE
UPDATED

ELEVATION KEYNOTES

TO BE
UPDATED

NO.	DATE	COMMENTS

75% DD SET

SHEET TITLE
BUILDING 'C' FLOOR
PLAN, ROOF PLAN,
REFLECTED CEILING
PLAN & EXTERIOR
ELEVATIONS

PROJECT NO.
17302

DRAWN BY
T.M.

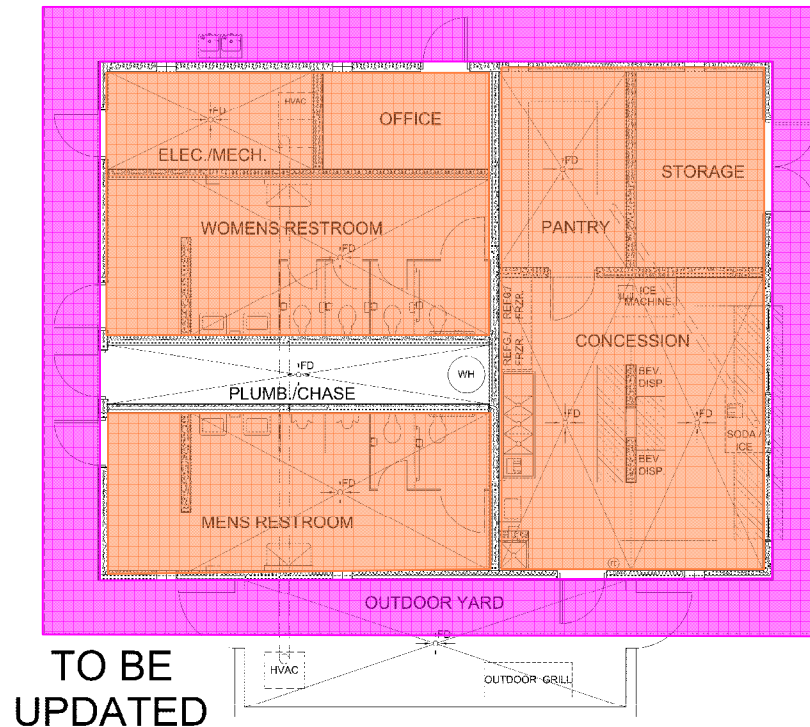
CHECKED BY
S.D.

DATE
10/30/2018

SCALE
AS NOTED

SHEET NO.
A2.C1

- Fiber Cement Soffit
Plywood ceiling, painted



TO BE
UPDATED

1 NOTED PLAN - BUILDING 'E' MULTI-PURPOSE
A2 E2 1/4" = 1'-0"

SEE SHEET A2.01 FOR MOUNTING HEIGHTS
OF ALL BUILDING ELEMENTS IDENTIFIED
ON THIS SHEET AND



NOT FOR CONSTRUCTION

BROOK RUN PARK IMPROVEMENTS
BUILDING PLANS

PREPARED FOR:
BARROW COUNTY

GEORGIA

DEKALB COUNTY

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	CEILING FINISH	NORTH	EAST	SOUTH	WEST	FLOOR FINISH	WALL FINISH	FINISH NOTES
BUILDING A - CONCESSION/RESTROOM									
A100	COVERED WALKWAY	TG-1X	-	-	-	-	SC-2	-	5
A101	WOMENS	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A102	MENS	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A103	MENS	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A104	WOMENS	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A105	CHASE	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A106	ELECTRICAL	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A107	TICKET OFFICE	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A108	OFFICE	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A109	CONCESSION	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A110	PANTRY	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A111	MECH. ROOM	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A112	STORAGE	PLY-3E	CMU-1E	CMU-1E	CMU-1E	CMU-1E	EP-1	EPB-1	4
A113	HVAC YARD	-	-	-	-	-	SC-2	-	5
A114	OUTDOOR YARD	-	-	-	-	-	SC-2	-	5

TO BE
UPDATED

TO BE
UPDATED

TOILET ACCESSORIES

1. SOAP DISPENSER	2. 12" VERT. GRAB BAR - ANS I ONLY
3. 24" X 36" MIRROR	4. 42" GRAB BAR
5. 18" X 30" MIRROR	6. INFANT CHANGING STATION
7. 18" X 30" MIRROR	8. INFANT RAMPING ROPS (FALL)
9. ELECTRIC HAND DRYER	10. MOP RACK W/ SHIELD
11. ELECTRIC HAND DRYER	12. 12" GRAB BAR
13. URINAL SCREEN	14. ADA SHOWER SEAT
15. PAPER T	
16. TUB/SH	
17. ROBE H	
18. TOWEL	
19. 30" GRAB	
20. 30" GRAB	
21. 30" GRAB	
22. 30" GRAB	
23. 30" GRAB	
24. 30" GRAB	
25. 30" GRAB	
26. 30" GRAB	
27. 30" GRAB	
28. 30" GRAB	
29. 30" GRAB	
30. 30" GRAB	

TO BE
UPDATED

PLUMBING FIXTURES

1. WALL MOUNTED SINK - ADA COMPLIANT - PIPE GUARD	2. WALL MOUNTED URINAL - ADA COMPLIANT
3. FLOOR MOUNTED TOILET - ADA COMPLIANT	4. FLOOR MOUNTED TOILET - ADA COMPLIANT
5. FLOOR MOUNTED TOILET - ADA COMPLIANT	6. FLOOR MOUNTED TOILET - ADA COMPLIANT
7. FLOOR MOUNTED TOILET - ADA COMPLIANT	8. FLOOR MOUNTED TOILET - ADA COMPLIANT
9. FLOOR MOUNTED TOILET - ADA COMPLIANT	10. FLOOR MOUNTED TOILET - ADA COMPLIANT
11. FLOOR MOUNTED TOILET - ADA COMPLIANT	12. FLOOR MOUNTED TOILET - ADA COMPLIANT
13. FLOOR MOUNTED TOILET - ADA COMPLIANT	14. FLOOR MOUNTED TOILET - ADA COMPLIANT
15. FLOOR MOUNTED TOILET - ADA COMPLIANT	16. FLOOR MOUNTED TOILET - ADA COMPLIANT
17. FLOOR MOUNTED TOILET - ADA COMPLIANT	18. FLOOR MOUNTED TOILET - ADA COMPLIANT
19. FLOOR MOUNTED TOILET - ADA COMPLIANT	20. FLOOR MOUNTED TOILET - ADA COMPLIANT
21. FLOOR MOUNTED TOILET - ADA COMPLIANT	22. FLOOR MOUNTED TOILET - ADA COMPLIANT
23. FLOOR MOUNTED TOILET - ADA COMPLIANT	24. FLOOR MOUNTED TOILET - ADA COMPLIANT
25. FLOOR MOUNTED TOILET - ADA COMPLIANT	26. FLOOR MOUNTED TOILET - ADA COMPLIANT
27. FLOOR MOUNTED TOILET - ADA COMPLIANT	28. FLOOR MOUNTED TOILET - ADA COMPLIANT
29. FLOOR MOUNTED TOILET - ADA COMPLIANT	30. FLOOR MOUNTED TOILET - ADA COMPLIANT

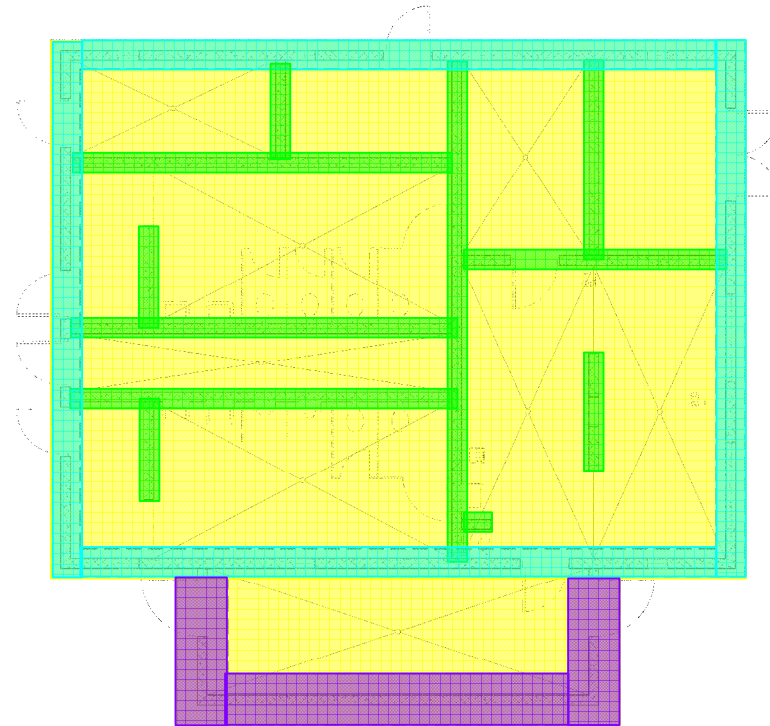
TO BE
UPDATED

SIGNAGE SCHEDULE

SIGN #	DOOR #	ROOM #	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
BUILDING 'A'					
A101	A01	A101	WOMENS	RESTROOM	1, 2, 4, 5
A102	A02	A102	MENS	RESTROOM	1, 2, 4, 5
A103	A03	A103	ELECTRICAL	UTILITY	1, 2, 4
A104	A04	A104	CH-IDE	CH-IDE	1, 2, 4
A105	A05	A105	CH-IDE	CH-IDE	1, 2, 4
A106	A06	A106	CONCESSION	CONCESSION	1, 2, 4
A107	A07	A107	PANTRY	PANTRY	1, 2, 4
A108	A08	A108	MECHANICAL	ROOM	1, 2, 4
A109	A09	A109	STORAGE	STORAGE	3, 4

PROJECT NO. 17302
DATE: 10/30/2018
DRAWN BY: JCB
CHECKED BY: JCB
AS NOTED
SHEET NO. A2 E2

- Continuous Wall Ftg, 2'wx1'd
- Thickened Slab at Masonry Partitions
- Slab on Grade
- Continuous Wall Ftg, 3'6"w x 1't



FOUNDATION PLAN

SCALE: $\frac{1}{4}" = 1'-0"$

NOTES:

1. TOP OF EXTERIOR FOOTING SHALL BE THE LOWER OF:
 - 1.1. F.F.E. + 16", OR
 - 1.2. EXTERIOR GRADE - 12"
2. THE CONTRACTOR SHALL COORDINATE ANY UNDER SLAB PIPING, CONDUITS, AND/OR UTILITIES PRIOR TO PLACING FOOTINGS. IMMEDIATELY REPORT ANY CONFLICTS TO THE ENGINEER.
3. SEE DETAIL 1/2-1 FOR SLAB CONTROL JOINTS.
4. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT SHOWN.
5. F.F.E. DENOTES FINISHED TOP OF SLAB ELEVATION.
6. PROVIDE 2-2x6 STUDS AT EACH TRUSS BEARING POINT (48" MAX SPC). SINGLE EXTERIOR STUDS SHALL BE SPACED AT 16" OC, MAX BETWEEN DOUBLE STUDS, UNO.

NOT FOR CONSTRUCTION

BROOK RUN PARK IMPROVEMENTS
BUILDING PLANS

PREPARED FOR:
DEKALB COUNTY

DEKALB COUNTY

GEORGIA

REVISIONS

NO. DATE DESCRIPTION

STRUCTURE E
MULTI-PURPOSE
FOUNDATION PLAN

PROJECT NO. DATE

1/NOV 10/23/2018

DRAWN BY EMC

SCALE

$\frac{1}{4}" = 1'-0"$

CHECKED BY EMC

SHEET NO.

S1.1E

LOOK
DESIGN
SPACES FOR LIFE

EMC
STRUCTURAL ENGINEERS, P.C.
4012 Peachtree Lane
Atlanta, Georgia 30344
(404) 481-1100
(404) 781-4000 (fax)
EMC Project No. 18132

EMC Project No. 18132

BROOK RUN PARK IMPROVEMENTS

BUILDING PLANS

PREPARED FOR:
BARROW COUNTY

DEKALB COUNTY

[illegible]

76% DO SET

SHEET TITLE

BUILDING 'E'
EXTERIOR
ELEVATIONS

PROJECT NO. 17302	DATE 10/30/2018
DRAWN BY TM	SCALE
CHECKED BY SD	AS NOTED
SHEET NO. A3.E1	

SHEET NO. A3.E1

1. ELEVATION MARKS TO BE VERIFIED IN FIELD WITH MATERIAL AND ASSEMBLY DIMENSIONS.
2. DIMENSIONS ARE FROM FACE OF FIXTURE TO FINISH FACE OF WALL (U.N.O.).
3. ARCHITECTURAL BUILDING FFE LISTED AS 2'-0", COORDINATE ACTUAL W/ CIVIL.
4. SEE ROOF PLAN FOR OVERHANG DIMENSIONS.
5. SEE SHEET A-7 SERIES FOR FLOOR PLANS.
6. SEE SHEET A-3 SERIES FOR SECTIONS & DETAILS.
7. SEE SHEET A-6 SERIES FOR RCP AND ROOF PLANS.
8. SEE SHEET A-8 SERIES FOR DOOR SCHEDULE & DETAILS.
9. SEE SHEET A-9 SERIES FOR WINDOW SCHEDULE & DETAILS.

BROOK RUN PARK IMPROVEMENTS
GUARANTEED MAXIMUM PRICE
CONTRACT DOCUMENT LIST
NOVEMBER 26, 2018

DOCUMENT NUMBER	DOCUMENT TITLE	CURRENT DOCUMENT DATE
A0.0	Cover Sheet	10/30/2018
A0.1	Abbreviations, General Notes & Mounting Heights	10/30/2018
A0.2	UL Rating Details	10/30/2018
A0.3A	Building 'A' Code Review, Commcheck & Life Safety Plan	10/30/2018
A0.3B	Building 'B' Code Review, Commcheck & Life Safety Plan	10/30/2018
A0.3D	Building 'D' Code Review, Commcheck & Life Safety Plan	10/30/2018
A0.3E	Building 'E' Code Review, Commcheck & Life Safety Plan	10/30/2018
A2.A1	Building 'A' - Floor Plan	10/30/2018
A2.A2	Building 'A' - Noted Plans	10/30/2018
A2.B1	Building 'B' - Overall Floor Plan	10/30/2018
A2.B2	Building 'B' - Enlarged Floor & Notes Plan	10/30/2018
A2.C1	Building 'C' - Floor Plan, Roof Plan, Reflected Ceiling Plan & Exterior Elevations	10/30/2018
A2.D1	Building 'D' - Floor & Noted Plans	10/30/2018
A2.E1	Building 'E' - Floor Plan	10/30/2018
A2.E2	Building 'E' - Noted Plans	10/30/2018
A3.A1	Building 'A' - Exterior Elevations	10/30/2018
A3.B1	Building 'B' - Exterior Elevations	10/30/2018
A3.D1	Building 'D' - Exterior Elevations	10/30/2018
A3.E1	Building 'E' - Exterior Elevations	10/30/2018
A3.E2	Building 'E' - Exterior Elevations	10/30/2018
A3.2	Sections & Details	10/30/2018
A3.3	Sections & Details	10/30/2018
A3.4	Sections & Details	10/30/2018
A3.5	Sections & Details	10/30/2018
A6.A1	Building 'A' - Reflected Ceiling & Roof Plans	10/30/2018
A6.B1	Building 'B' - Reflected Ceiling & Roof Plans	10/30/2018
A6.D1	Building 'D' - Reflected Ceiling & Roof Plans	10/30/2018
A6.E1	Building 'E' - Reflected Ceiling & Roof Plans	10/30/2018
A8.1	Door Schedule, Door Types & Signage	10/30/2018
A8.2	Door Details	10/30/2018
A8.3	Window Schedule, Window Types & Louver Types	10/30/2018
A8.4	Window & Louver Details	10/30/2018
A8.5E	Building 'E' - Concession Equipment & Elevations	10/30/2018
A8.6	Concession Casework Details	10/30/2018
S1.1A	Structure A - Foundation Plan	10/30/2018

S1.2A	Structure A - Roof Framing Plan	10/30/2018
S1.1B	Structure B - Foundation Plan, Floor Framing Plan & Roof Framing Plan	10/30/2018
S1.1C	Building C - Foundation Plan & Detail	10/30/2018
S1.1D	Structure D - Foundation Plan	10/30/2018
S1.2D	Structure D - Roof Framing Plan	10/30/2018
S1.1	Pavilions E & F - Foundation Plans	10/30/2018
S2.1	Foundation Sections & Details	10/30/2018
S2.2	Foundation Sections & Details	10/30/2018
S3.1	Sections & Details	10/30/2018
S3.2	Sections & Details	10/30/2018
M1A	Building A - Concessions & Restrooms HVAC Plans	10/30/2018
P1A	Building A - Concessions & Restrooms Plumbing Plans	10/30/2018
MP1B	Building B - Scorerroom HVAC & Plumbing Plans	10/30/2018
MP1C	Building C - Restroom Plumbing Plans	10/30/2018
MP1D	Building D - Concessions & Restrooms HVAC & Plumbing Plans	10/30/2018
MP2	HVAC & Plumbing Details	10/30/2018
MP3	HVAC & Plumbing Details	10/30/2018
MP4	HVAC & Plumbing Schedule & Controls	10/30/2018
MP5	Mechanical Compliance	10/30/2018
E2.A1	Multi-Purpose BLDG 'A' - Power Plan	10/30/2018
E2.A2	Multi-Purpose BLDG 'A' - Lighting Plan	10/30/2018
E2.B1	Scoring BLDG 'B' - Electrical Plan	10/30/2018
E2.D1	Splash Pad BLDG 'D' - Power Plan	10/30/2018
E2.D2	Splash Pad BLDG 'D' - Lighting Plan	10/30/2018
E7.01	Electrical Legend, Details & Notes	10/30/2018
C0.00	Cover Sheet	10/23/2018
C0.01	General Notes	10/23/2018
C0.02	Existing Conditions	10/23/2018
C0.03	Existing Conditions	10/23/2018
C0.04	Master Plan	10/23/2018
C0.10	Demolition Plan Key Sheet	10/23/2018
C0.11	Demolition Plan	10/23/2018
C0.12	Demolition Plan	10/23/2018
C0.13	Demolition Plan	10/23/2018
C0.14	Demolition Plan	10/23/2018
C0.15	Demolition Plan	10/23/2018
C0.16	Demolition Plan	10/23/2018
C0.17	Demolition Plan	10/23/2018
C0.18	Demolition Plan	10/23/2018
C0.19	Tree Removal Plan	10/23/2018
C1.00	Overall Site Layout Plan	10/23/2018
C1.01	Site Layout	10/23/2018

C1.02	Site Layout Enlargement	10/23/2018
C1.03	Site Layout Enlargement	10/23/2018
C1.04	Site Layout	10/23/2018
C1.05	Site Layout Enlargement	10/23/2018
C1.06	Site Layout	10/23/2018
C1.07	Site Layout Enlargement	10/23/2018
C1.08	Site Layout Enlargement	10/23/2018
C1.09	Coordinate Point Table	10/23/2018
C2.00	Grading Plan Sheet Key	10/23/2018
C2.01	Grading Plan	10/23/2018
C2.02	Grading Plan Enlargement	10/23/2018
C2.03	Grading Plan Enlargement	10/23/2018
C2.04	Grading Plan	10/23/2018
C2.05	Grading Plan Enlargement	10/23/2018
C2.06	Grading Plan	10/23/2018
C2.07	Grading Plan Enlargement	10/23/2018
C2.08	Grading Plan Enlargement	10/23/2018
C2.10	ESPC Plan Sheets Key	10/23/2018
C2.11	ESPC Phase 1	10/23/2018
C2.12	ESPC Phase 1	10/23/2018
C2.13	ESPC Phase 1	10/23/2018
C2.21	ESPC Phase 2	10/23/2018
C2.22	ESPC Phase 2	10/23/2018
C2.23	ESPC Phase 2	10/23/2018
C2.31	ESPC Phase 3	10/23/2018
C2.32	ESPC Phase 3	10/23/2018
C2.33	ESPC Phase 3	10/23/2018
C2.40	ESPC Notes	10/23/2018
C2.41	ESPC Notes	10/23/2018
C2.42	ESPC Notes	10/23/2018
C2.43	ESPC Checklist	10/23/2018
C2.50	Storm Sewer Pipe Chart	10/23/2018
C2.51	Storm Sewer Pipe Profiles	10/23/2018
C2.52	Storm Sewer Pipe Profiles	10/23/2018
C2.53	Storm Sewer Pipe Profiles	10/23/2018
C2.90	Drainage and ESPC Details	10/23/2018
C2.91	Drainage and ESPC Details	10/23/2018
C2.92	Drainage and ESPC Details	10/23/2018
C2.93	Drainage and ESPC Details	10/23/2018
C2.94	Drainage and ESPC Details	10/23/2018
C2.95	Drainage and ESPC Details	10/23/2018
C2.96	Drainage and ESPC Details	10/23/2018
C3.00	Roadway Plan Sheets Key	10/23/2018

C3.01	Roadway Plan & Profile	10/23/2018
C3.02	Roadway Plan & Profile	10/23/2018
C3.03	Roadway Plan & Profile	10/23/2018
C3.04	Roadway Plan & Profile	10/23/2018
C4.00	Site Details	10/23/2018
C4.01	Site Details	10/23/2018
C4.02	Site Details	10/23/2018
C4.03	Site Details	10/23/2018
C4.04	Site Details	10/23/2018
C4.05	Site Details	10/23/2018
C4.06	Site Details	10/23/2018
C5.00	Sanitary Sewer Plan Sheet Key	10/23/2018
C5.01	Sanitary Sewer Plan and Profile	10/23/2018
C5.02	Sanitary Sewer Plan and Profile	10/23/2018
C5.03	Sanitary Sewer Plan and Profile	10/23/2018
C5.04	Sanitary Sewer Details	10/23/2018
C5.05	Sanitary Sewer Details	10/23/2018
C5.10	Water Distribution Plan Sheets Key	10/23/2018
C5.11	Water Distribution Plan	10/23/2018
C5.12	Water Distribution Plan	10/23/2018
C5.13	Water Distribution Plan	10/23/2018
C5.15	Water Distribution Details	10/23/2018
L1.00	Landscape Plan Key Sheet	10/23/2018
L1.01	Landscape Plan	10/23/2018
L1.02	Landscape Plan	10/23/2018
L1.03	Landscape Plan	10/23/2018
L1.04	Landscape Plan	10/23/2018
L1.05	Landscape Notes & Schedule	10/23/2018
L1.06	Landscape Details	10/23/2018
L2.00	Irrigation Plan Sheet Key	10/23/2018
L2.01	Irrigation Plan	10/23/2018
L2.02	Irrigation Plan	10/23/2018
L2.03	Irrigation Plan	10/23/2018
L2.04	Irrigation Notes & Schedule	10/23/2018
L2.05	Irrigation Details	10/23/2018
L2.06	Irrigation Details	10/23/2018

END OF CONTRACT DOCUMENT LIST

City of Dunwoody - Brook Run Park Improvements

ID	Task Name	Duration	Start	Finish	Qtr 1, 2019 Jan	Feb	Mar	Qtr 2, 2019 Apr	May	Jun	Qtr 3, 2019 Jul	Aug	Sep	Qtr 4, 2019 Oct	Nov	Dec
1	City of Dunwoody - Brook Run Park Improvements	376 days	Tue 7/24/18	Tue 12/31/19												
2	Preconstruction	121 days	Tue 7/24/18	Tue 1/8/19												
84	Administrative	255 days	Wed 1/9/19	Tue 12/31/19												
87	NPDES / LDP Permitting	10 wks	Wed 1/9/19	Tue 3/19/19												
85	Notice To Proceed	0 days	Tue 3/19/19	Tue 3/19/19												
86	Mobilization	6 days	Wed 3/20/19	Wed 3/27/19												
88	Substantial Completion	0 days	Tue 12/31/19	Tue 12/31/19												
89	Sitework	205 days	Wed 3/20/19	Tue 12/31/19												
95	Earthwork	95 days	Wed 3/20/19	Tue 7/30/19												
96	Install Erosion Control	10 days	Wed 3/20/19	Tue 4/2/19												
107	Clear and Grub	12 days	Wed 3/20/19	Thu 4/4/19												
99	Strip Topsoil	10 days	Wed 4/3/19	Tue 4/16/19												
100	Install Sediment Basin 1	3 days	Wed 4/3/19	Fri 4/5/19												
106	Site Demolition	5 days	Wed 4/3/19	Tue 4/9/19												
102	Install Sediment Basin 2	3 days	Mon 4/8/19	Wed 4/10/19												
103	Install Sediment Basin 3	3 days	Thu 4/11/19	Mon 4/15/19												
98	Rough Grade Access Road	5 days	Wed 4/17/19	Tue 4/23/19												
105	Mass Grading & Retaining Walls at Great Lawn	15 days	Wed 4/24/19	Tue 5/14/19												
101	Rough Grade Parking Lot & Entrance	5 days	Wed 5/15/19	Tue 5/21/19												
108	Excavate Detention Pond 1	3 days	Wed 5/22/19	Fri 5/24/19												
110	Mass Grading & Retianing Walls Multi-Use Fields	35 days	Wed 5/22/19	Tue 7/9/19												
109	Excavate Detention Pond 3	3 days	Tue 6/25/19	Thu 6/27/19												
97	Mass Grading at Parking / Picnic Area	15 days	Wed 7/10/19	Tue 7/30/19												
104	Excavate Detention Pond 2	2 days	Wed 7/10/19	Thu 7/11/19												
115	Storm Drain	70 days	Wed 5/8/19	Tue 8/13/19												
116	Install Storm Drain at Great Lawn	9 days	Wed 5/8/19	Mon 5/20/19												
117	Install Storm Drain at Multi-Use Fields	10 days	Wed 7/10/19	Tue 7/23/19												
118	Install Storm Drain Parking / Picnic Area	10 days	Wed 7/31/19	Tue 8/13/19												
90	Entrance at Barclay Drive	116 days	Wed 5/15/19	Wed 10/23/19												
91	Grading	15 days	Wed 5/15/19	Tue 6/4/19												
92	Asphalt Paving	10 days	Wed 6/5/19	Tue 6/18/19												
93	Striping and Signage	3 days	Wed 6/19/19	Fri 6/21/19												
94	Permanent Grassing at Entrance	1 day	Wed 10/23/19	Wed 10/23/19												
111	Sanitary Sewer	69 days	Tue 5/21/19	Fri 8/23/19												
114	San Sewer from Great Lawn	8 days	Tue 5/21/19	Thu 5/30/19												
112	San Sewer from Multi-Use Fields	12 days	Wed 7/24/19	Thu 8/8/19												
113	San Sewer from Parking / Picnic Area	8 days	Wed 8/14/19	Fri 8/23/19												
130	Paving	53 days	Wed 7/31/19	Fri 10/11/19												
131	Curb and Gutter Parking / Picnic Area	20 days	Wed 7/31/19	Tue 8/27/19												
132	Curb and Gutter at Multi-use Fields Parking	15 days	Wed 8/28/19	Tue 9/17/19												
133	GAB at Parking / Picnic Area	6 days	Wed 8/28/19	Wed 9/4/19												

City of Dunwoody - Brook Run Park Improvements

ID	Task Name	Duration	Start	Finish	Qtr 1, 2019 Jan	Feb	Mar	Qtr 2, 2019 Apr	May	Jun	Qtr 3, 2019 Jul	Aug	Sep	Qtr 4, 2019 Oct	Nov	Dec
134	GAB at Multi-use Fields Parking	8 days	Wed 9/18/19	Fri 9/27/19									<div></div>	GAB at Multi-use Fields Parking		
135	Asphalt at Parking / Picnic Area	14 days	Tue 9/24/19	Fri 10/11/19									<div></div>	Asphalt at Parking / Picnic Area		
136	Asphalt at Multi-use Fields Parking	10 days	Mon 9/30/19	Fri 10/11/19									<div></div>	Asphalt at Multi-use Fields Parki		
119	Water, Irrigation and Landscaping	100 days	Wed 8/14/19	Tue 12/31/19								<div></div>				
15	Milestones	176 days	Wed 3/27/19	Thu 11/28/19				<div></div>								
16	Start Construction	0 days	Wed 3/27/19	Wed 3/27/19				<div></div> 3/27								
17	Sitework Complete	0 days	Tue 7/30/19	Tue 7/30/19							<div></div> 7/30					
18	Site Utilities Complete	0 days	Fri 8/23/19	Fri 8/23/19								<div></div> 8/23				
26	Great Lawn	1 day	Thu 11/21/19	Fri 11/22/19											<div></div> 11/21	
28	Pavillion and Restroom Building Complete	0 days	Thu 11/21/19	Thu 11/21/19											<div></div> 11/21	
27	Amphitheatre & Hardscapes	0 days	Fri 11/22/19	Fri 11/22/19											<div></div> 11/22	
20	Parking & Picnic Area	19 days	Fri 10/11/19	Thu 11/7/19									<div></div>	10/11		
21	Parking Lot Complete	0 days	Fri 10/11/19	Fri 10/11/19									<div></div> 10/11			
22	Pavillion and Restroom Building Complete	0 days	Thu 11/7/19	Thu 11/7/19											<div></div> 11/7	
19	New Entrance at Barclay Drive Complete	0 days	Wed 10/23/19	Wed 10/23/19										<div></div> 10/23		
23	Multi-Use Fields	17 days	Tue 11/5/19	Thu 11/28/19											<div></div>	11/5
24	Fields & Hardscapes Complete	0 days	Tue 11/5/19	Tue 11/5/19											<div></div> 11/5	
25	Concession / Restroom Building Complete	0 days	Thu 11/28/19	Thu 11/28/19												<div></div> 11/28
51	Great Lawn & Restroom Bldg	138 days	Wed 5/15/19	Fri 11/22/19					<div></div>							
52	Restroom Building	137 days	Wed 5/15/19	Thu 11/21/19					<div></div>							
53	Fine Grade Building Pad	5 days	Wed 5/15/19	Tue 5/21/19					<div></div>	Fine Grade Building Pad						
55	B/G Plumbing	10 days	Wed 5/22/19	Tue 6/4/19					<div></div>	B/G Plumbing						
56	B/G Electrical	5 days	Wed 6/5/19	Tue 6/11/19					<div></div>	B/G Electrical						
54	Excavate Footings	10 days	Wed 6/12/19	Mon 7/1/19					<div></div>	Excavate Footings						
57	FRP Footings	5 days	Tue 7/2/19	Mon 7/8/19					<div></div>	FRP Footings						
58	Below Grade Masonry	6 days	Tue 7/9/19	Tue 7/16/19					<div></div>	Below Grade Masonry						
59	FRP Slab on Grade	10 days	Wed 7/17/19	Tue 7/30/19					<div></div>	FRP Slab on Grade						
60	Above Ground Masonry	20 days	Wed 7/31/19	Tue 8/27/19						<div></div>	Above Ground Masonry					
61	Plumbing Rough in with Masonry	15 days	Mon 8/5/19	Fri 8/23/19							<div></div>	Plumbing Rough in with Masonry				
62	Electrical Rough in with Masonry	15 days	Mon 8/5/19	Fri 8/23/19							<div></div>	Electrical Rough in with Masonry				
63	Install Wood Trusses and Soffit Board	7 days	Tue 9/17/19	Wed 9/25/19								<div></div>	Install Wood Trusses and Soffit Board			
64	Install Standing Seam Roof	5 days	Thu 9/26/19	Wed 10/2/19								<div></div>	Install Standing Seam Roof			
66	Install HVAC Ductwork above Ceiling	4 days	Thu 9/26/19	Tue 10/1/19								<div></div>	Install HVAC Ductwork above Ceiling			
67	Install Electrical Above Ceiling	5 days	Thu 9/26/19	Wed 10/2/19								<div></div>	Install Electrical Above Ceiling			
65	Install Plywood Ceiling	6 days	Thu 10/3/19	Thu 10/10/19								<div></div>	Install Plywood Ceiling			
68	Install Batt Insulation	5 days	Thu 10/3/19	Wed 10/9/19								<div></div>	Install Batt Insulation			
69	Paint Ceiling, Floors and Walls	10 days	Fri 10/11/19	Thu 10/24/19								<div></div>	Paint Ceiling, Floors and W			
70	Install Plumbing Fixtures	8 days	Fri 10/25/19	Tue 11/5/19								<div></div>	Install Plumbing Fixtu			
73	Install Door Hardware	3 days	Fri 10/25/19	Tue 10/29/19								<div></div>	Install Door Hardware			
75	MEP Trim Out	10 days	Fri 10/25/19	Thu 11/7/19								<div></div>	MEP Trim Out			

City of Dunwoody - Brook Run Park Improvements

ID	Task Name	Duration	Start	Finish	Qtr 1, 2019 Jan	Feb	Mar	Qtr 2, 2019 Apr	May	Jun	Qtr 3, 2019 Jul	Aug	Sep	Qtr 4, 2019 Oct	Nov	Dec
71	Install Millwork	4 days	Wed 11/6/19	Mon 11/11/19											<div></div>	Install Millwork
72	Install Toilet Accessories	3 days	Wed 11/6/19	Fri 11/8/19											<div></div>	Install Toilet Accesso
74	HVAC Startup and Balance	5 days	Fri 11/8/19	Thu 11/14/19											<div></div>	HVAC Startup and
76	Final Clean	5 days	Fri 11/15/19	Thu 11/21/19											<div></div>	Final Clean
77	Great Lawn Area (6 ACRE)	138 days	Wed 5/15/19	Fri 11/22/19												
78	Concrete Paving and Hardscapes	60 days	Wed 5/15/19	Tue 8/6/19												
79	Site Seating / Walls	25 days	Wed 8/7/19	Tue 9/10/19												
80	Soil Prep	20 days	Wed 9/11/19	Tue 10/8/19												
81	Prep & Intall Sod	25 days	Wed 10/9/19	Tue 11/12/19												
82	Roll and Top Dress	3 days	Wed 11/13/19	Fri 11/15/19												
83	Site Furnishings	5 days	Mon 11/18/19	Fri 11/22/19												
137	Multi-Use Fields & Buildings	87 days	Wed 7/10/19	Thu 11/7/19												
138	Multi-Use Fields	55 days	Wed 7/10/19	Tue 9/24/19												
139	Subgrade/Drainage Field No. 1	15 days	Wed 7/10/19	Tue 7/30/19												
140	Turf Field No. 1	10 days	Wed 7/31/19	Tue 8/13/19												
142	Subgrade/Drainage Field No. 2	15 days	Wed 7/31/19	Tue 8/20/19												
143	Turf Field No. 2	10 days	Wed 8/28/19	Tue 9/10/19												
141	Hardscapes & Landscaping	10 days	Wed 9/11/19	Tue 9/24/19												
151	Concession / Restroom Building	76 days	Thu 7/25/19	Thu 11/7/19												
152	Fine Grade Building Pad	1 day	Thu 7/25/19	Thu 7/25/19												
154	B/G Plumbing	3 days	Fri 7/26/19	Tue 7/30/19												
155	B/G Electrical	3 days	Wed 7/31/19	Fri 8/2/19												
153	Excavate Footings	2 days	Mon 8/5/19	Mon 8/12/19												
156	FRP Footings	3 days	Tue 8/13/19	Thu 8/15/19												
157	Below Grade Masonry	3 days	Fri 8/16/19	Tue 8/20/19												
158	FRP Slab on Grade	11 days	Wed 8/21/19	Wed 9/4/19												
159	Above Ground Masonry	15 days	Thu 9/5/19	Wed 9/25/19												
160	Plumbing Rough in with Masonry	12 days	Tue 9/10/19	Wed 9/25/19												
161	Electrical Rough in with Masonry	12 days	Tue 9/10/19	Wed 9/25/19												
162	Install Wood Trusses and Soffit Board	5 days	Wed 10/16/19	Tue 10/22/19												
163	Install Standing Seam Roof	4 days	Wed 10/23/19	Mon 10/28/19												
165	Install HVAC Ductwork above Ceiling	2 days	Wed 10/23/19	Thu 10/24/19												
166	Install Electrical Above Ceiling	2 days	Wed 10/23/19	Thu 10/24/19												
164	Install Plywood Ceiling	2 days	Fri 10/25/19	Mon 10/28/19												
167	Install Batt Insulation	2 days	Fri 10/25/19	Mon 10/28/19												
168	Paint Ceiling, Floors and Walls	2 days	Tue 10/29/19	Wed 10/30/19												
169	Install Plumbing Fixtures	1 day	Thu 10/31/19	Thu 10/31/19												
172	Install Door Hardware	2 days	Thu 10/31/19	Fri 11/1/19												
173	Install Concession Windows	1 day	Thu 10/31/19	Thu 10/31/19												
175	MEP Trim Out	2 days	Thu 10/31/19	Fri 11/1/19												

City of Dunwoody - Brook Run Park Improvements

ID	Task Name	Duration	Start	Finish	Qtr 1, 2019 Jan	Feb	Mar	Qtr 2, 2019 Apr	May	Jun	Qtr 3, 2019 Jul	Aug	Sep	Qtr 4, 2019 Oct	Nov	Dec
170	Install Millwork	2 days	Fri 11/1/19	Mon 11/4/19											<div>■</div> Install Millwork	
171	Install Toilet Accessories	1 day	Fri 11/1/19	Fri 11/1/19											<div>■</div> Install Toilet Accessories	
174	HVAC Startup and Balance	2 days	Mon 11/4/19	Tue 11/5/19											<div>■</div> HVAC Startup and Balance	
176	Final Clean	2 days	Wed 11/6/19	Thu 11/7/19											<div>■</div> Final Clean	
144	Field House	25 days	Thu 8/8/19	Wed 9/11/19								<div>■</div>	<div>■</div>			
36	Parking & Picnic Area	72 days	Wed 7/31/19	Thu 11/7/19								<div>■</div>	<div>■</div>	<div>■</div>		
37	Restroom Building	72 days	Wed 7/31/19	Thu 11/7/19								<div>■</div>	<div>■</div>	<div>■</div>		
38	Fine Grade Building Pad	2 days	Wed 7/31/19	Thu 8/1/19								<div>■</div> Fine Grade Building Pad				
40	B/G Plumbing	2 days	Fri 8/2/19	Mon 8/5/19								<div>■</div> B/G Plumbing				
41	B/G Electrical	2 days	Tue 8/6/19	Wed 8/7/19								<div>■</div> B/G Electrical				
39	Excavate Footings	2 days	Thu 8/8/19	Thu 8/15/19								<div>■</div> Excavate Footings				
42	FRP Footings	2 days	Fri 8/16/19	Mon 8/19/19								<div>■</div> FRP Footings				
43	Below Grade Masonry	2 days	Tue 8/20/19	Wed 8/21/19								<div>■</div> Below Grade Masonry				
44	FRP Slab on Grade	8 days	Thu 8/22/19	Mon 9/2/19								<div>■</div> FRP Slab on Grade				
45	Above Ground Masonry	15 days	Tue 9/3/19	Mon 9/23/19									<div>■</div> Above Ground Masonry			
46	Plumbing Rough in with Masonry	10 days	Fri 9/6/19	Thu 9/19/19									<div>■</div> Plumbing Rough in with Masonry			
47	Electrical Rough in with Masonry	10 days	Fri 9/6/19	Thu 9/19/19									<div>■</div> Electrical Rough in with Masonry			
48	Install Premanufactured Restroom Building	15 days	Mon 10/14/19	Fri 11/1/19										<div>■</div> Install Premanufactured		
49	MEP Trim Out	2 days	Mon 11/4/19	Tue 11/5/19											<div>■</div> MEP Trim Out	
50	Final Clean	2 days	Wed 11/6/19	Thu 11/7/19											<div>■</div> Final Clean	
29	Disc Golf Course	47 days	Wed 8/14/19	Thu 10/17/19								<div>■</div>	<div>■</div>			
30	Fine Grading	15 days	Wed 8/14/19	Tue 9/3/19								<div>■</div> Fine Grading				
31	Soil Prep	12 days	Wed 9/4/19	Thu 9/19/19									<div>■</div> Soil Prep			
32	Sod Prep and Install	7 days	Fri 9/20/19	Mon 9/30/19									<div>■</div> Sod Prep and Install			
33	Roll and Top Dress	3 days	Tue 10/1/19	Thu 10/3/19									<div>■</div> Roll and Top Dress			
34	Site Furnishings	3 days	Fri 10/4/19	Tue 10/8/19									<div>■</div> Site Furnishings			
35	Disc Golf Equipment	10 days	Fri 10/4/19	Thu 10/17/19										<div>■</div> Disc Golf Equipment		

DUNWOODY CONVENTION AND VISITORS BUREAU
2019 BUDGET

	2019 BUDGET	2018 FORECAST	2018 BUDGET	2019/2018 Variance to Forecast		2019/2018 Variance to Budget		CVBD %	D.I. %
				\$ Amount	%	\$ Amount	%		
Revenues			\$0						
Tax Revenue	\$1,757,840	\$1,646,322	\$1,727,117	\$111,518	6.3%	\$30,723	1.7%		
Interest Income	\$420	\$341	\$420	\$79	18.8%	\$0	0.0%		
Rent Income	\$24,132	\$18,835	\$22,740	\$5,297	22.0%	\$1,392	5.8%		
Total Revenue	\$1,782,392	\$1,665,498	\$1,750,277	\$116,894	6.6%	\$32,115	1.8%		
TOTAL SOURCES	\$1,782,392	\$1,665,498	\$1,750,277	\$116,894	6.6%	\$32,115	1.8%		
Personnel									
Salaries	\$428,544	\$380,330	\$370,738	\$48,214	11.3%	\$57,806	13.5%		
Employee Benefits	\$49,200	\$50,941	\$53,400	-\$1,741	-3.5%	-\$4,200	-8.5%		
Payroll Taxes	\$42,854	\$30,344	\$37,074	\$12,510	29.2%	\$5,781	13.5%		
Total Personnel	\$520,598	\$461,615	\$461,212	\$58,983	11.3%	\$59,386	11.4%	29.72%	40%
Administrative									
Employee Development	\$9,600	\$5,898	\$3,600	\$3,702	38.6%	\$6,000	62.5%		
Furniture & Fixtures	\$0	\$5,088	\$0	-\$5,088	#DIV/0!	\$0	#DIV/0!		
Insurance	\$5,000	\$1,757	\$4,400	\$3,243	64.9%	\$600	12.0%		
IT Support	\$9,600	\$12,150	\$8,640	-\$2,550	-26.6%	\$960	10.0%		
Legal and Professional Fees	\$15,500	\$16,130	\$15,500	-\$630	-4.1%	\$0	0.0%		
Licenses and Fees	\$600	\$100	\$600	\$500	83.3%	\$0	0.0%		
Meals and Meeting Expenses	\$2,500	\$2,120	\$2,500	\$380	15.2%	\$0	0.0%		
Miscellaneous	\$1,200	\$900	\$1,200	\$300	25.0%	\$0	0.0%		
Office Expense	\$2,400	\$3,573	\$2,400	-\$1,173	-48.9%	\$0	0.0%		
Rent	\$105,912	\$80,557	\$102,900	\$25,355	23.9%	\$3,012	2.8%		
Small Equipment	\$10,000	\$133	\$0	\$9,867	98.7%	\$10,000	100.0%		
Telephone/Internet	\$7,320	\$8,019	\$11,100	-\$699	-9.5%	-\$3,780	-51.6%		
Travel	\$12,000	\$4,561	\$6,000	\$7,439	62.0%	\$6,000	50.0%		
Total Administrative	\$181,632	\$140,984	\$158,840	\$40,648	22.4%	\$22,792	12.5%	10.37%	12%
<i>Total Personnel/Administrative</i>	<i>\$702,230</i>	<i>\$602,599</i>	<i>\$620,052</i>	<i>\$99,632</i>	<i>14.2%</i>	<i>\$82,178</i>	<i>11.7%</i>		
Marketing									
Advertising - Print	\$144,000	\$114,062	\$108,000	\$29,938	20.8%	\$36,000	25.0%		
Advertising - Digital	\$198,000	\$189,303	\$184,200	\$8,697	4.4%	\$13,800	7.0%		
CRM	\$13,500	\$15,326	\$13,500	-\$1,826	-13.5%	\$0	0.0%		
Dues and Subscriptions	\$48,600	\$73,871	\$63,800	-\$25,271	-52.0%	-\$15,200	-31.3%		
Graphic Design	\$41,000	\$8,770	\$24,000	\$32,230	78.6%	\$17,000	41.5%		
Memberships	\$12,000	\$11,591	\$10,200	\$409	3.4%	\$1,800	15.0%		
Miscellaneous	\$1,200	\$223	\$1,200	\$977	81.4%	\$0	0.0%		
Photography/Videography	\$42,000	\$20,226	\$21,600	\$21,774	51.8%	\$20,400	48.6%		
Postage/Courier/Overnight	\$1,200	\$1,140	\$1,800	\$60	5.0%	-\$600	-50.0%		
Printing	\$12,600	\$7,149	\$15,000	\$5,451	43.3%	-\$2,400	-19.0%		
Public Relations	\$54,000	\$29,348	\$24,600	\$24,652	45.7%	\$29,400	54.4%		
Research	\$19,500	\$57,000	\$90,000	-\$37,500	-192.3%	-\$70,500	-361.5%		
Website Management	\$36,000	\$35,735	\$51,600	\$265	0.7%	-\$15,600	-43.3%		
Website Marketing	\$70,500	\$79,103	\$88,800	-\$8,603	-12.2%	-\$18,300	-26.0%		
Total Marketing	\$694,100	\$642,845	\$698,300	\$51,255	7.4%	-\$4,200	-0.6%	39.63%	
Sales/Promotional									
Conventions/Trade Shows	\$66,000	\$42,777	\$43,200	\$23,223	35.2%	\$22,800	34.5%		
Event Hosting/Site Visits	\$63,400	\$5,019	\$30,000	\$58,381	92.1%	\$33,400	52.7%		
Meals and Business Development	\$4,200	\$2,805	\$3,900	\$1,395	33.2%	\$300	7.1%		
Meeting Bids and Incentives	\$12,000	\$2,000	\$12,000	\$10,000	83.3%	\$0	0.0%		
Promotional Materials	\$24,000	\$13,518	\$6,000	\$10,482	43.7%	\$18,000	75.0%		
Promotions	\$77,700	\$72,547	\$62,400	\$5,153	6.6%	\$15,300	19.7%		
Sponsorships	\$84,000	\$29,364	\$37,800	\$54,636	65.0%	\$46,200	55.0%		
Travel	\$24,000	\$23,206	\$18,000	\$794	3.3%	\$6,000	25.0%		
Total Sales/Promotional	\$355,300	\$191,236	\$213,300	\$164,064	46.2%	\$142,000	40.0%	20.28%	
<i>Total Marketing/Sales/Promotional</i>	<i>\$1,049,400</i>	<i>\$834,081</i>	<i>\$911,600</i>	<i>\$215,319</i>	<i>20.5%</i>	<i>\$137,800</i>	<i>13.1%</i>	59.91%	48%
TOTAL USES	\$1,751,630	\$1,436,680	\$1,531,652	\$314,950	18.0%	\$219,978	12.6%		
NET	\$30,762	\$228,818	\$218,625	-\$198,056	-643.8%	-\$187,864	-610.7%		

Actuals through October 2018