



# *City of* Dunwoody *Georgia*

## Mayor and City Council

March 25, 2024

Packet page:...

# MMSP 24-02 (Emory) Potential Condition



- At the March 13th meeting, Council discussed an option to regulate the hours of illumination for wall sign #3 facing Pernoshal Court
- Staff has worked with the applicant to find an acceptable compromise
- Proposed condition: “The lighting for building wall sign #3 facing Pernoshal Court shall be turned off at 10:30 PM and turned back on at 5:30 AM.”

# Master Sign Plan Process - Background

- Approved as part of sign code updates in early 2023
- Providing for visual consistency among signs for larger campuses
- Allowing certain specific requests for deviation from the code to allow for creativity and unusual circumstances
- Three avenues:
  1. Permitting process – master sign plan without any exemptions
  2. Administrative master sign plan process – small exemptions
  3. Major master sign plan process – large exemptions



# Master Sign Plan Process – Avenues

<p>If you want to do any of the following beyond what is allowed in the district regulations elsewhere in Article V...</p> <ul style="list-style-type: none"> <li>• Exceed the maximum area and/or height for individual signs and/or;</li> <li>• Change the location of signs and/or;</li> <li>• Change the design of signs and/or;</li> <li>• Use different materials for signs</li> </ul>  <p>Apply for an administrative master sign plan, which will be reviewed by the Community Development Director within 30 days</p>	<p>If you want to do any of the following beyond what is allowed in the district regulations elsewhere in Article V...</p> <ul style="list-style-type: none"> <li>• Exceed the maximum number of sign types and/or;</li> <li>• Exceed the maximum count for each sign type and/or;</li> <li>• Exceed the maximum total sign area allowed and/or;</li> <li>• Any of the four changes allowed as part of the administrative master sign plan, if included with any of the three preceding changes allowed as part of the major master sign plan</li> </ul>  <p>Apply for a major master sign plan, which will be reviewed by the Planning Commission and Mayor and City Council (who will make the final decision) in a period of several months</p>
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# Master Sign Plan Process - Criteria

- Master sign plans shall provide for visual consistency within developments based on at least three of the following factors:
  - Color scheme
  - Lettering style
  - Materials
  - Location of signs to be posted on buildings
- Master sign plans must be reviewed for compliance with these factors for:
  - All new common developments
  - Any existing development over 7 acres where total sign area is increasing or any sign location is changing

# MMSP 24-01, 4896 N Peachtree Road

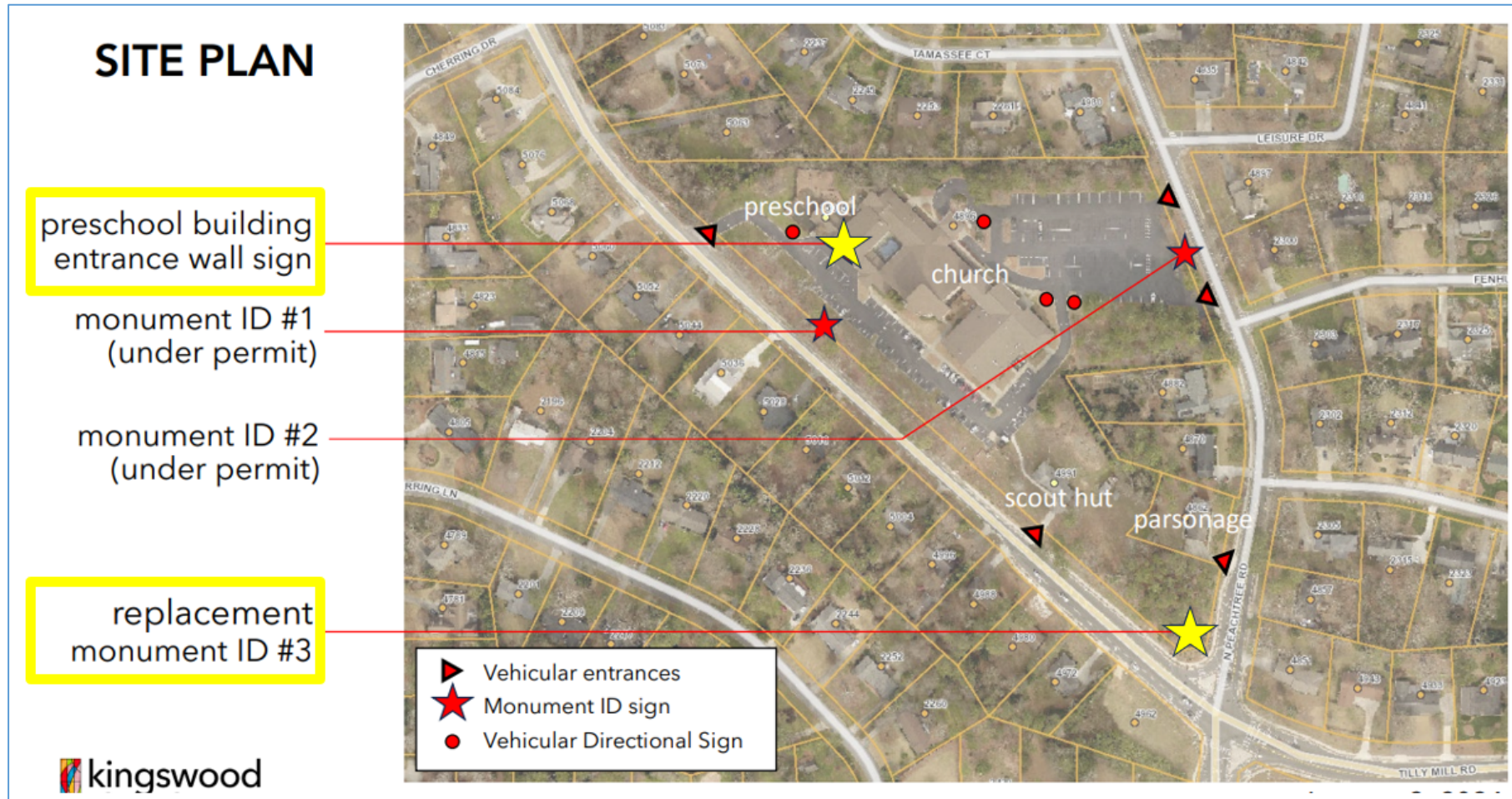
- Paul McKeever, on behalf of the property owner at 4896 N Peachtree Road, Dunwoody, GA, 30360, seeks a Major Master Sign Plan for Kingswood United Methodist Church.

# Planning Commission, February 13, 2024

- Planning Commission voted unanimously (7-0) to recommend approval for MMSP 24-01
- No public comments

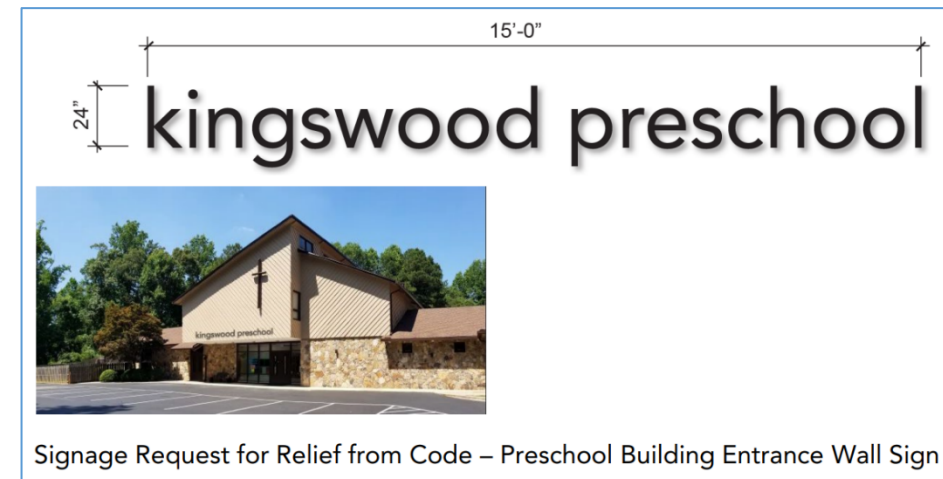


# MMSP 24-01 – Site Plan

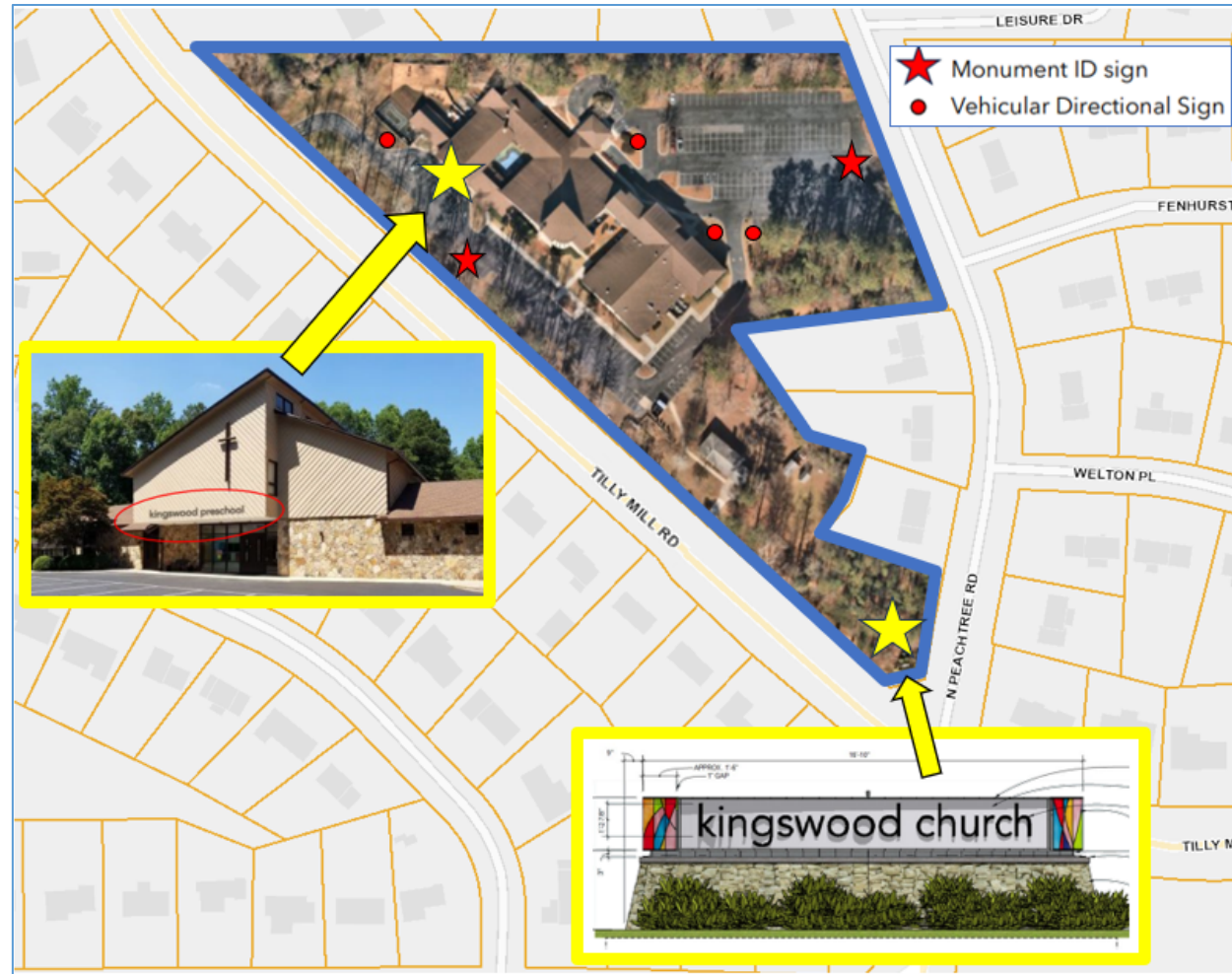


# MMSP 24-01 – Proposed Signs

- Monument sign
  - To replace existing nonconforming sign that consists of three crosses at the corner of N Peachtree Road and Tilly Mill Road
- Building entrance wall sign
  - To be placed on the preschool entrance facade



# MMSP 24-01 – View and Direction of Signs

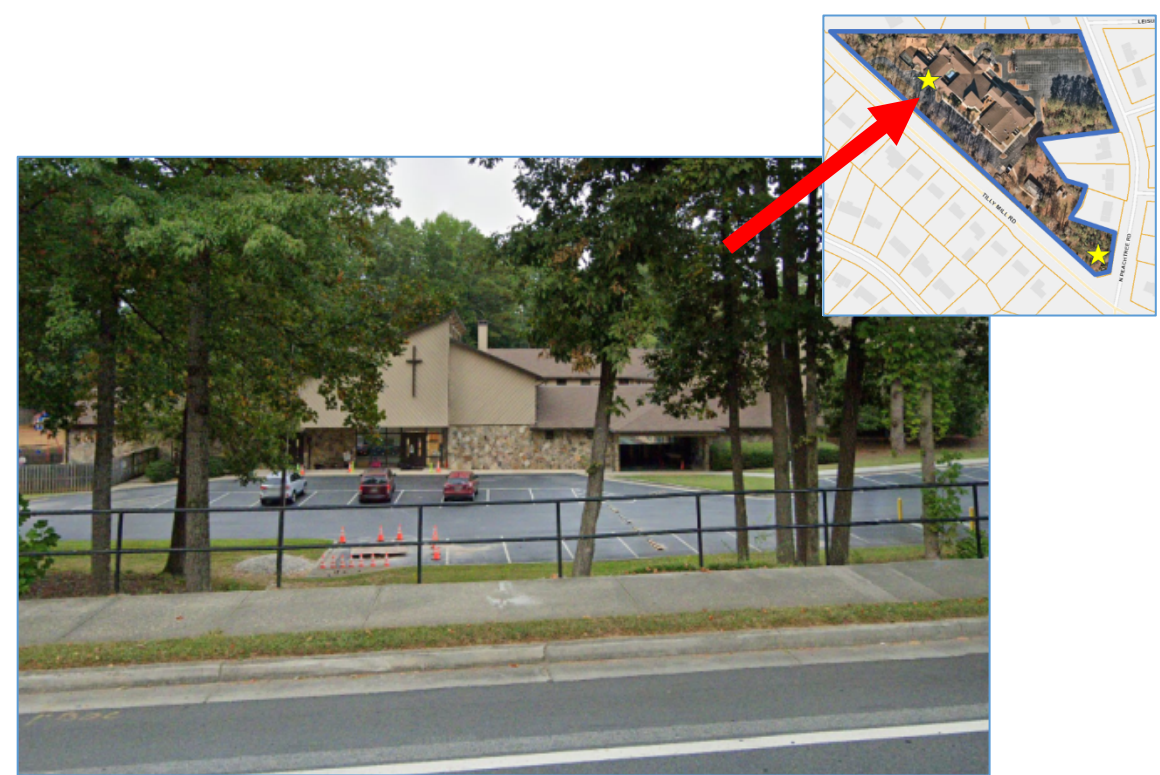




# MMSP 24-01 – Chart

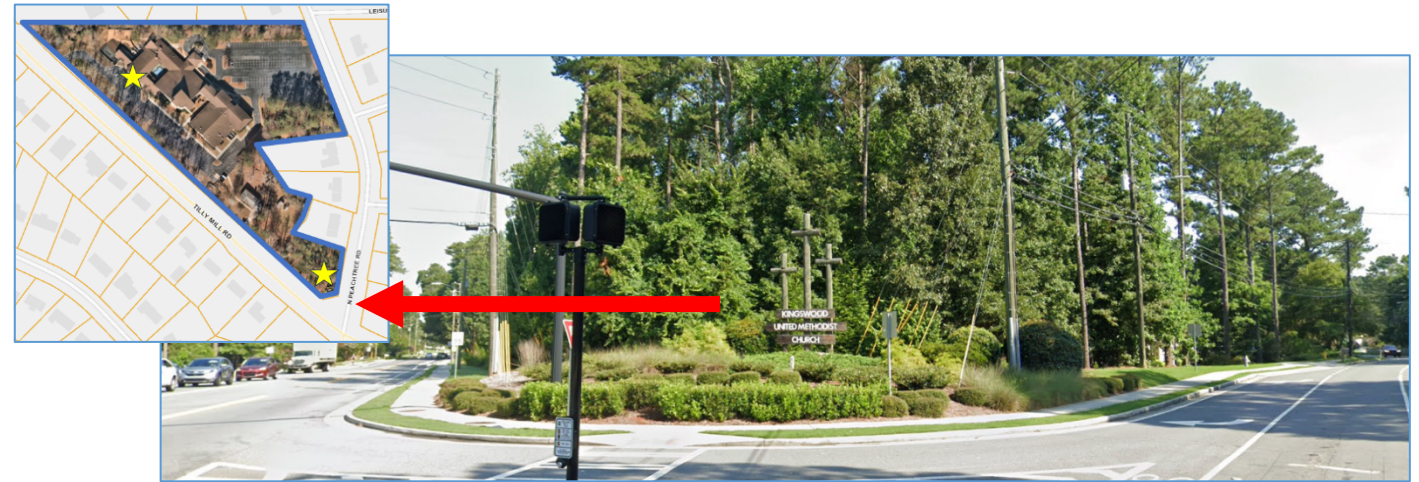
Chart Showing Regulations vs Proposed Signage			
	Allowed Per Code	Proposed	Exemption?
<b>BUILDING ENTRANCE WALL SIGNS</b>			
Sign count	11	1	No
Area per sign	4 SF	30 SF	Yes
Height per sign (as measured from door threshold to top of sign)	6 feet	13.5 feet	Yes
Total sign area	44 SF	30 SF	No
<b>MONUMENT SIGNS</b>			
Sign count	2	3	Yes
Area per sign	36 SF	36 SF	No
Height per sign	6 feet	5 feet	No
Total sign area	72 SF	108	Yes
<b>WAYFINDING SIGNS</b>			
Sign count (2 per common development plus 2 max per full acre)	22	4	No
Area per sign	6 SF	6 SF	No
Height per sign	3 feet	3 feet	No
Total sign area	132 SF	24 SF	No

# MMSP 24-01 – Photos – Wall Sign





# MMSP 24-01 – Photos – Monument Sign



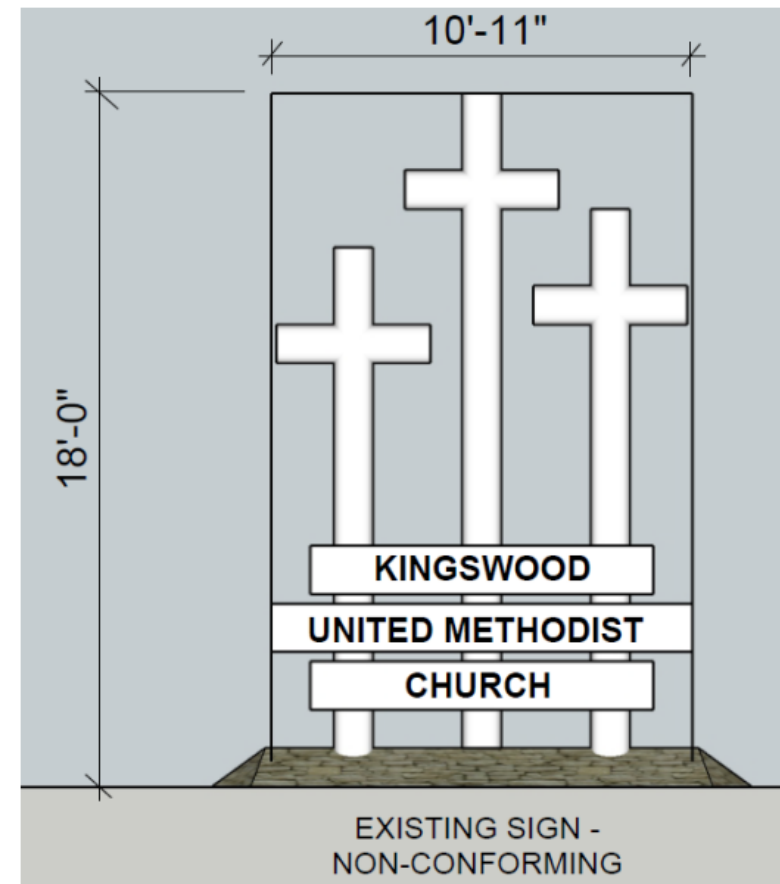


# MMSP 24-01 – Review and Approval Criteria

- **Visually consistent** within the development based on at least three of the following factors: color scheme, lettering style, materials, and location of signs to be posted on buildings?
  - Staff conclusion: Yes, there is visual consistency through the color scheme, lettering style, and materials
- **Consistent size and scale** to existing signs in the immediate area?
  - Staff conclusion: Yes, consistent signage in the area of a similar size and shape
- **Reasonably scaled** to the size of the subject structure and/or premises?
  - Staff conclusion: Yes, signs are reasonably scaled to building and façade size
- Do **unusual circumstances** exist that warrant the granting of this major master sign plan?
  - Staff conclusion: Yes, the monument sign is an improvement for the property as it replaces a nonconforming sign with a conforming sign and unique visibility concerns exist as a result of topography that necessitate a higher and larger building entrance wall sign than what is permitted by code

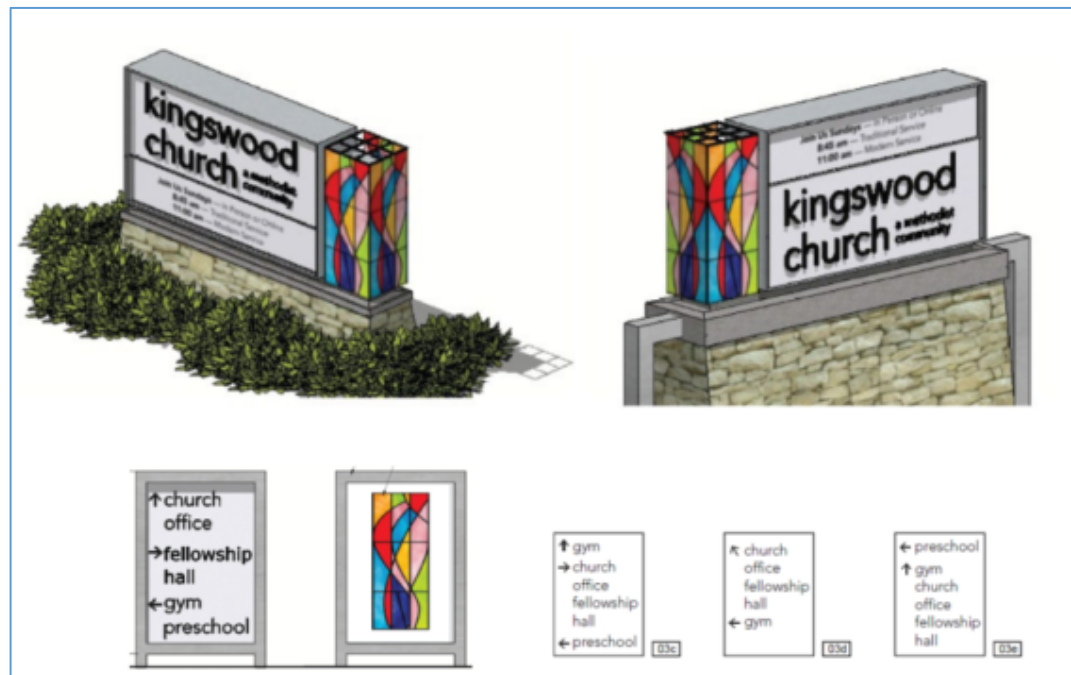
# MMSP 24-01 – Additional Renderings

**EXISTING NON-CONFORMING  
MONUMENT *(to be replaced)***



# MMSP 24-01 – Background

- Received a sign permit in November 2023 for 2 new monument signs and 4 new wayfinding signs
- Removing 2 existing monument signs and 9 existing wayfinding signs





# MMSP 24-02, 4553 North Shallowford Road

- John Barrow, on behalf of the property owner at 4553 North Shallowford Road, Dunwoody, GA, 30338, seeks a Major Master Sign Plan for Emory Healthcare.

# Planning Commission, February 13, 2024

- Planning Commission voted unanimously (7-0) to recommend approval for MMSP 24-02
- One email against

# MMSP 24-02 – Background

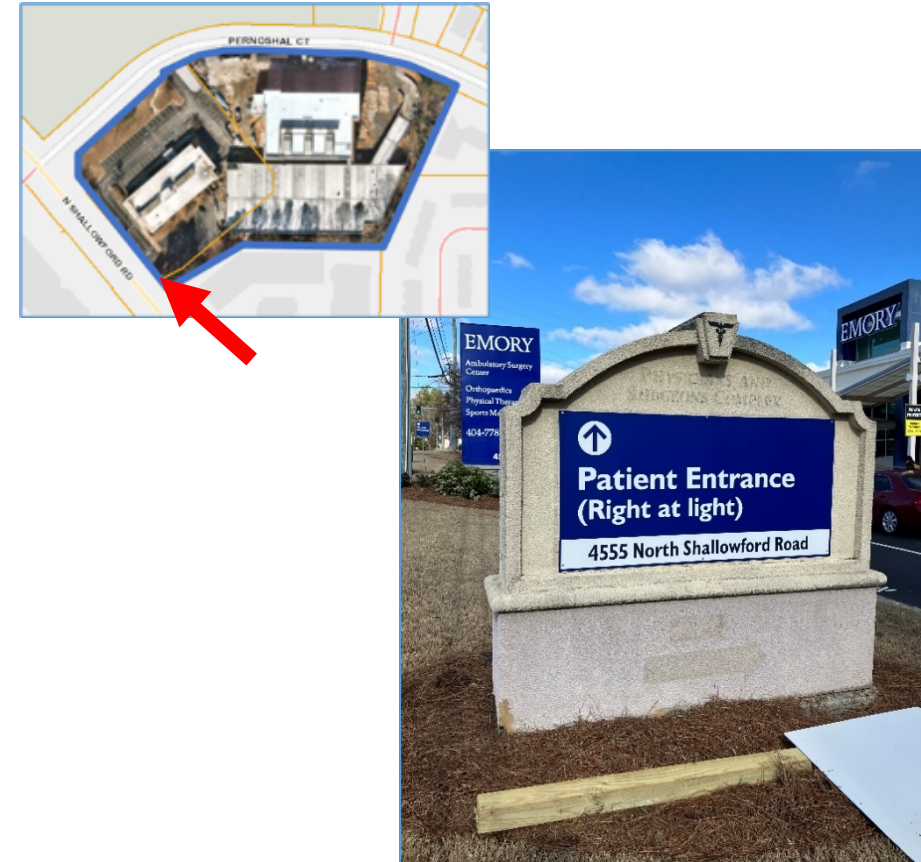
- Property is developed with an existing ambulatory surgery center, while a medical office building and parking garage are both under construction
- RZ 21-04

# MMSP 24-02 – Overview of Monument and Wall Signs #5.



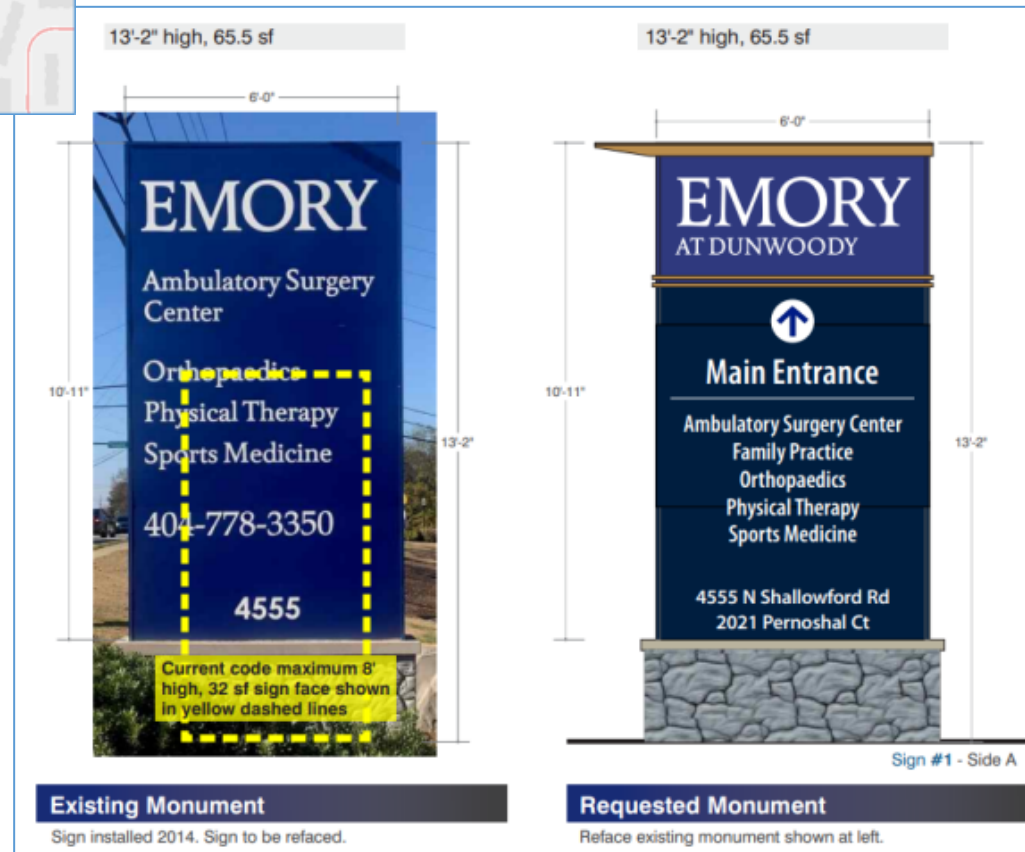
# MMSP 24-02 – Photos of Existing Monument Signs

#5.

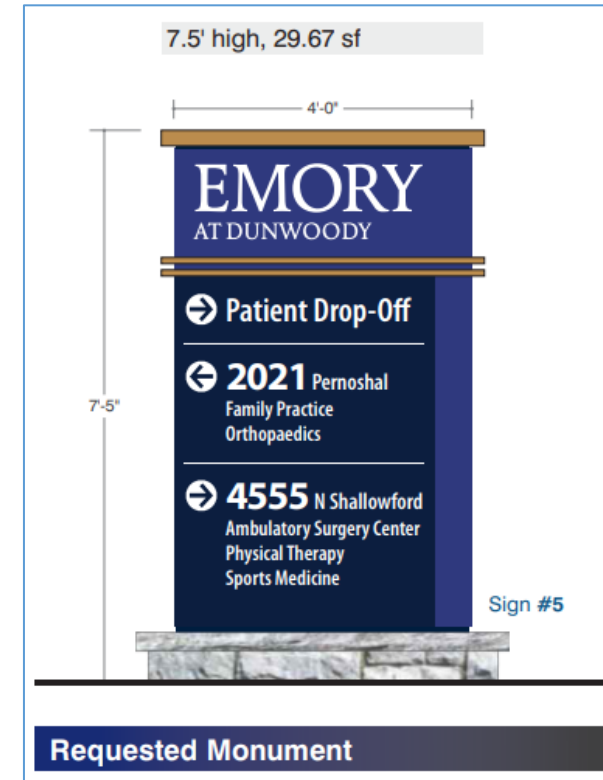
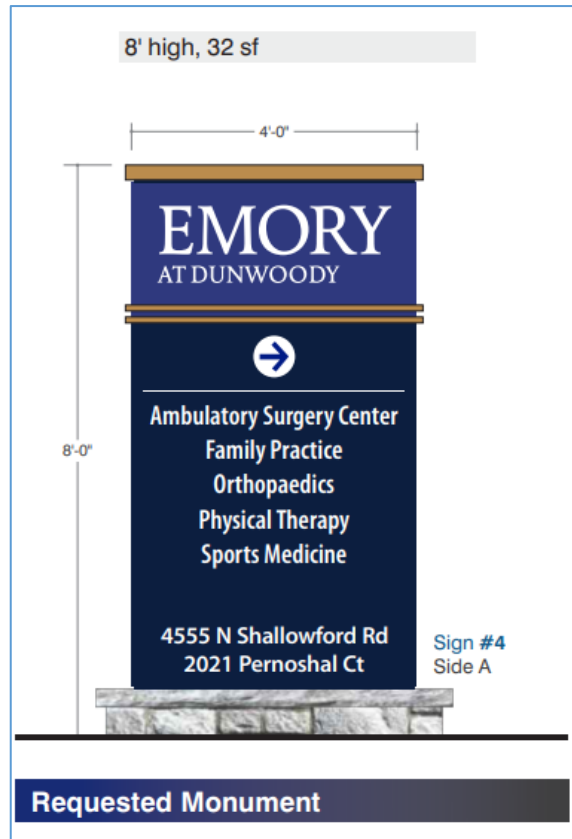




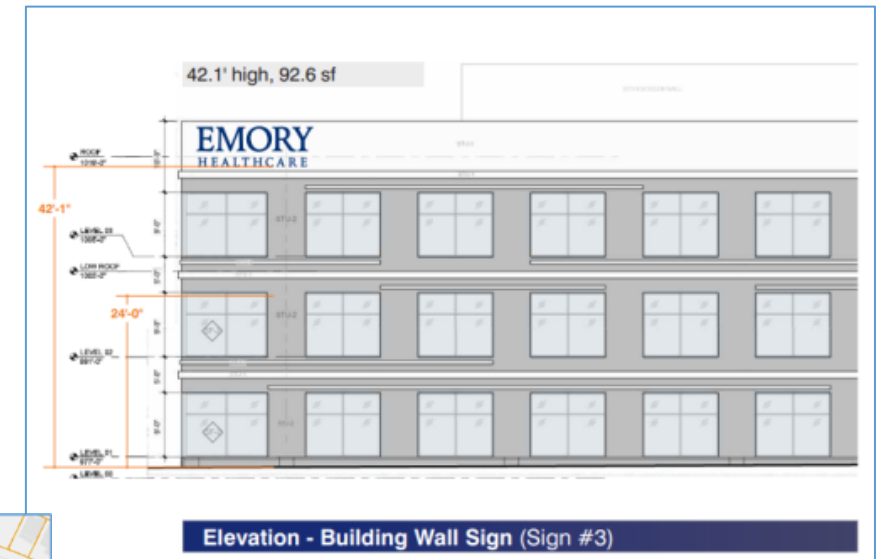
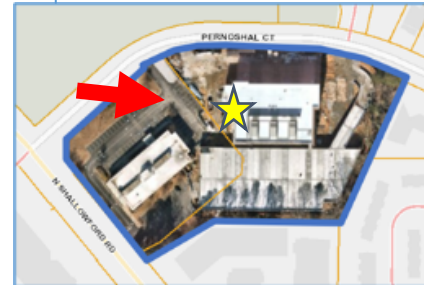
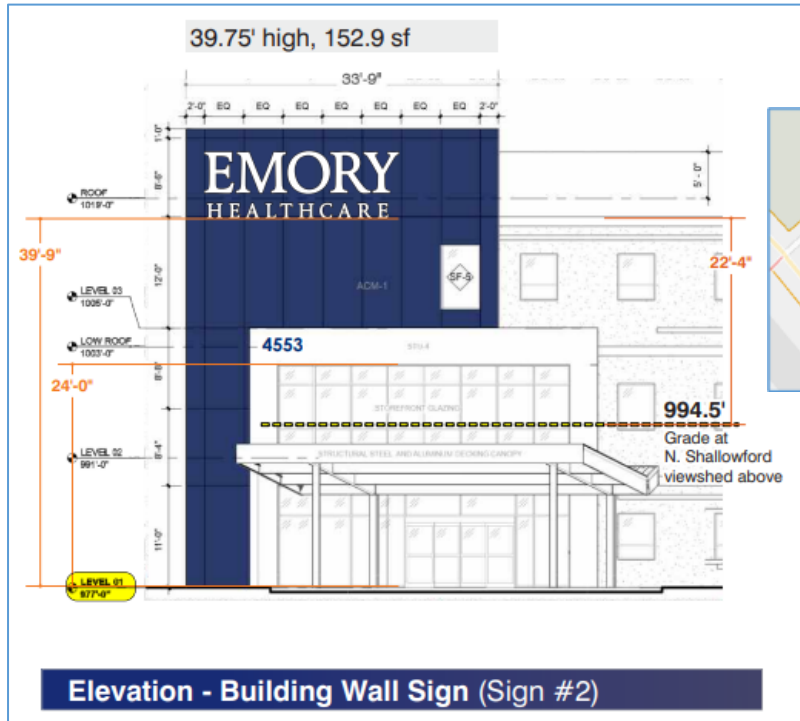
# MMSP 24-02 – Proposed Monument Reface



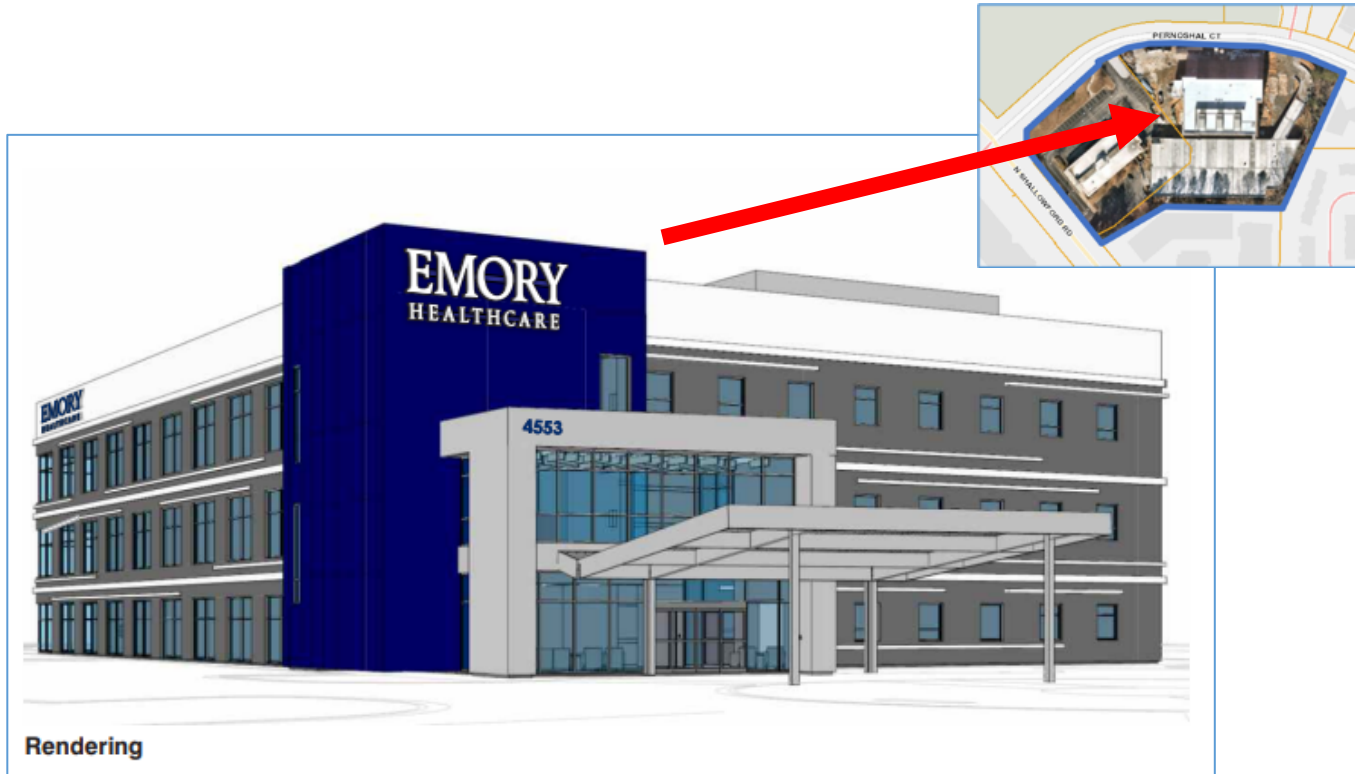
# MMSP 24-02 – Proposed Monument Signs (2)



# MMSP 24-02 – Proposed Wall Signs (2)



# MMSP 24-02 – Proposed Wall Signs





# MMSP 24-02 – Existing Wall Sign



# MMSP 24-02 – New Medical Office Building

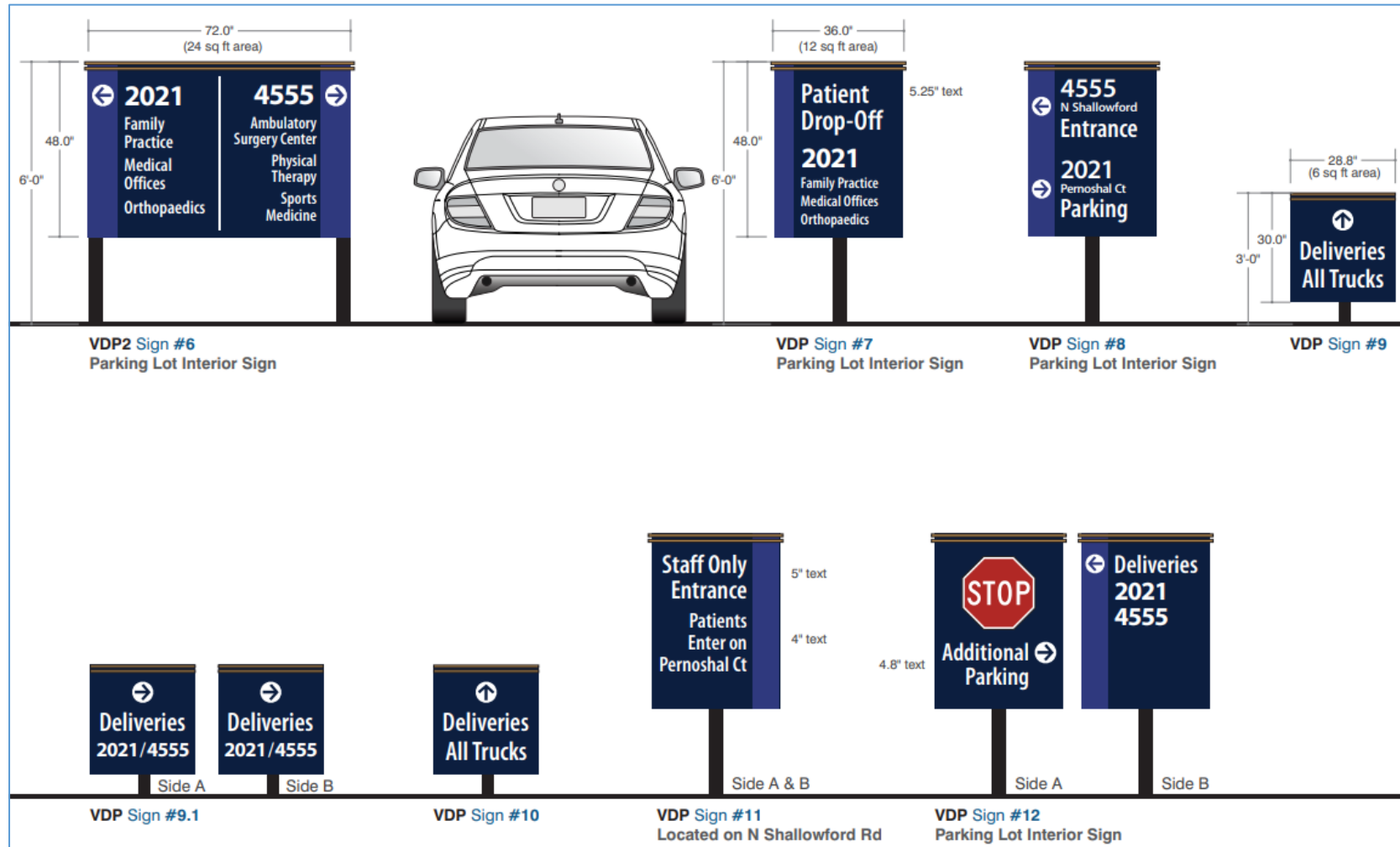


# MMSP 24-02 – Overview of Wayfinding Signs





# MMSP 24-02 – Proposed Wayfinding Signs (8)





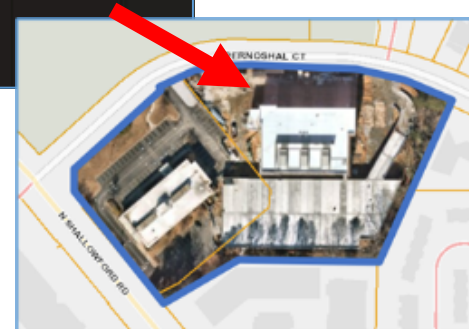
# MMSP 24-02 – Chart

Chart Showing Regulations vs Proposed Signage			
	Allowed Per Code	Proposed	Exemption?
<b>WALL SIGNS</b>			
Sign count (max. number of building facades facing a street plus one)	5	3	No
Area per sign (10% of façade area or up to 180 SF, whichever is less)	180 SF* *just for medical office building; no wall sign changes to ambulatory building	Maximum 152.9 SF	No
Height per sign (measured from bottom of sign)	24 feet	Maximum 42.1 feet	Yes
Total sign area	720 SF	274.4 SF	No
<b>MONUMENT SIGNS</b>			
Sign count	2	3	Yes
Area per sign	32 SF	32 SF* *one existing 65.5 SF monument sign will be refaced; no exemption needed	No
Height per sign	8 feet	8 feet	No
Total sign area	64 SF	129.5 SF	Yes
<b>WAYFINDING SIGNS</b>			
Sign count	2	8	Yes
Area per sign	6 SF	Maximum 24 SF	Yes
Height per sign	3 feet	Maximum 6 feet	Yes
Total sign area	12 SF	90 SF	Yes

# MMSP 24-02 – Review and Approval Criteria

- **Visually consistent** within the development based on at least three of the following factors: color scheme, lettering style, materials, and location of signs to be posted on buildings?
  - Staff conclusion: Yes, there is visual consistency through the color scheme, lettering style, and materials
- **Consistent size and scale** to existing signs in the immediate area?
  - Staff conclusion: Yes, consistent signage in the area of a similar size and shape
- **Reasonably scaled** to the size of the subject structure and/or premises?
  - Staff conclusion: Yes, signs are reasonably scaled to building and façade size
- Do **unusual circumstances** exist that warrant the granting of this major master sign plan?
  - Staff conclusion: Yes, one of the monument signs is merely a reface while the two new ones are a minor request, unique visibility concerns exist as a result of topography that necessitate higher wall signs than what is permitted by code, and a healthcare campus has additional wayfinding needs

# MMSP 24-02 –Lighting for New Wall Signs



## MEMORANDUM

To: Mayor and City Council

From: Allegra DeNooyer, Planner II

Date: March 25, 2024

Subject: MMSP 24-02 – 4553 North Shallowford Road, Parcel ID # 18 344 01 009

### REQUEST

John Barrow, on behalf of the property owner at 4553 North Shallowford Road, Dunwoody, GA, 30338, seeks a Major Master Sign Plan for Emory Healthcare.

### APPLICANT

Property Owner:  
SHG Dunwoody LLC and DOC – Dunwoody  
Medical Campus, LLC

Petitioner:  
John Barrow

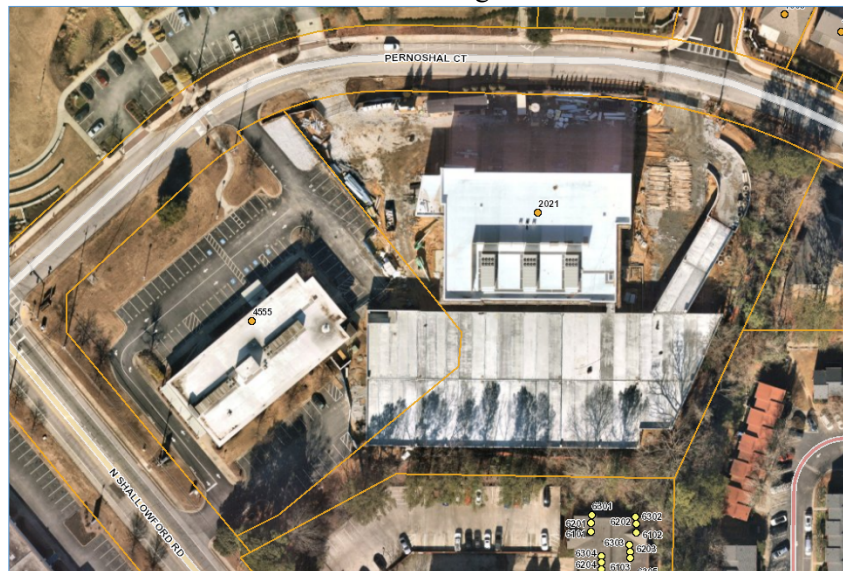
### PLANNING COMMISSION, 2.13.24

Planning Commission held a public hearing regarding the subject case on February 13, 2024. There were no public comments. Following a limited discussion, the Planning Commission voted unanimously (7-0) to recommend approval for MMSP 24-02.

### BACKGROUND & PROPOSED DEVELOPMENT

The property is zoned O-I (Office-Institution) and abuts O-I, PDc, RM-85, and RM-HD. It is 4.7 acres and is developed with an existing ambulatory surgery center, while a medical office building and parking garage are both under construction. It is located at the corner of North Shallowford Road and Pernoshal Court and has frontage on both roads.

Aerial image:





Sec. 20-133 of the City of Dunwoody Sign Code specifies that master sign plans shall provide for visual consistency within developments based on at least three of the following factors: color scheme, lettering style, materials, and location of signs to be posted on buildings. A master sign plan must be reviewed for compliance with these factors for all new common developments and in any existing development over 7 acres where total sign area is increasing or any sign location is changing. Since Emory Healthcare is a new common development, defined in Sec. 20-56 as “a parcel or combination of parcels which share a common development plan, or are dependent upon one another for access, parking, or utilities,” the master sign plan process is triggered. The master sign plan process can also be used to make specific requests beyond what is allowed in the district regulations in the sign code, which can be granted either administratively (an administrative master sign plan) or by Mayor and City Council after a review by Planning Commission (a major master sign plan). The route for that a master sign plan requesting exemptions from the sign code is determined by the nature of the exemptions.

Emory Healthcare is requesting a major master sign plan, in order to exceed the maximum count for 2 sign types; to exceed the maximum height for 10 individual signs; and to exceed the maximum total sign area allowed. They are proposing to keep 1 existing wall sign; to reface 1 existing monument sign; and to construct 2 new wall signs, 2 new monument signs, and 8 wayfinding signs. One of the wayfinding signs is replacing an existing monument sign. 3 existing wayfinding signs will be removed.

Chart Showing Regulations vs Proposed Signage

	Allowed Per Code	Proposed	Exemption?
<b>WALL SIGNS</b>			
Sign count (max. number of building facades facing a street plus one)	5	3	No
Area per sign (10% of façade area or up to 180 SF, whichever is less)	180 SF* *just for medical office building; no wall sign changes to ambulatory building	Maximum 152.9 SF	No
Height per sign (measured from bottom of sign)	24 feet	Maximum 42.1 feet	Yes
Total sign area	720 SF	274.4 SF	No
<b>MONUMENT SIGNS</b>			
Sign count	2	3	Yes
Area per sign	32 SF	32 SF* *one existing 65.5 SF monument sign will be refaced; no exemption needed	No
Height per sign	8 feet	8 feet	No
Total sign area	64 SF	129.5 SF	Yes
<b>WAYFINDING SIGNS</b>			
Sign count	2	8	Yes
Area per sign	6 SF	Maximum 24 SF	Yes
Height per sign	3 feet	Maximum 6 feet	Yes
Total sign area	12 SF	90 SF	Yes

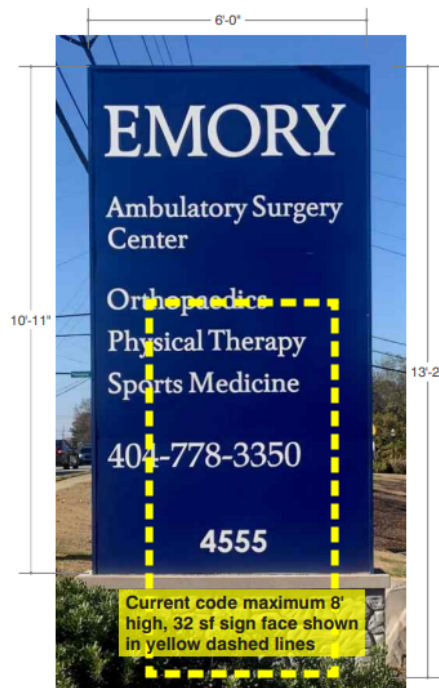
Sec. 20-84(a) of the sign code specifies that the property is allowed 2 monument signs – the applicant is refacing one existing monument sign and proposing two new monument signs, prompting the major master sign plan process. Additionally, Sec. 20-85(a) of the sign code states that the property is allowed 2 wayfinding signs of no more than 6 square feet in area and 3 feet in height. The applicant is proposing 8 wayfinding signs – 4 of them will be 6 square feet in area and 3 feet in height; 3 of them will be 12 square feet in area and 6 feet in height; and 1 sign will be 24 square feet in area and 6 feet in height. Lastly, the applicant is proposing to locate the 2 new building wall signs on the medical office building at 39.75 feet and 42.1 feet above grade respectively, which exceeds the maximum height above grade of 24 feet dictated in Sec. 20-84(b) of the sign code. This would prompt the administrative master sign plan process if it was a standalone request; however, since it is included with requests that triggered the major master sign plan process, all of the requests are included with the major master sign plan process.

### Proposed Monument Reface



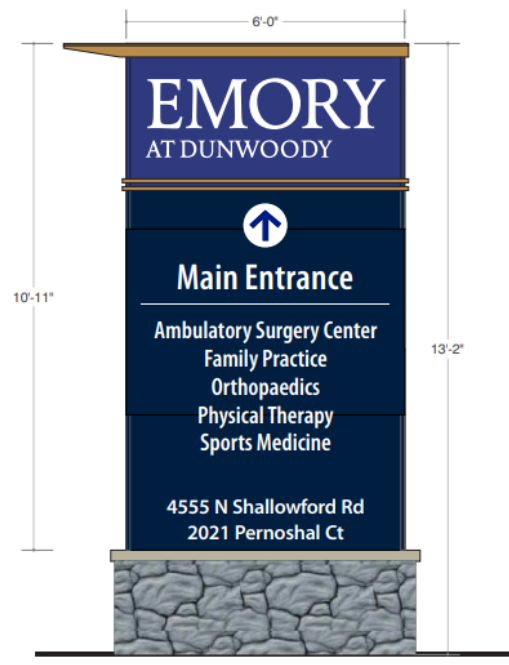
13'-2" high, 65.5 sf

13'-2" high, 65.5 sf



#### Existing Monument

Sign installed 2014. Sign to be refaced.

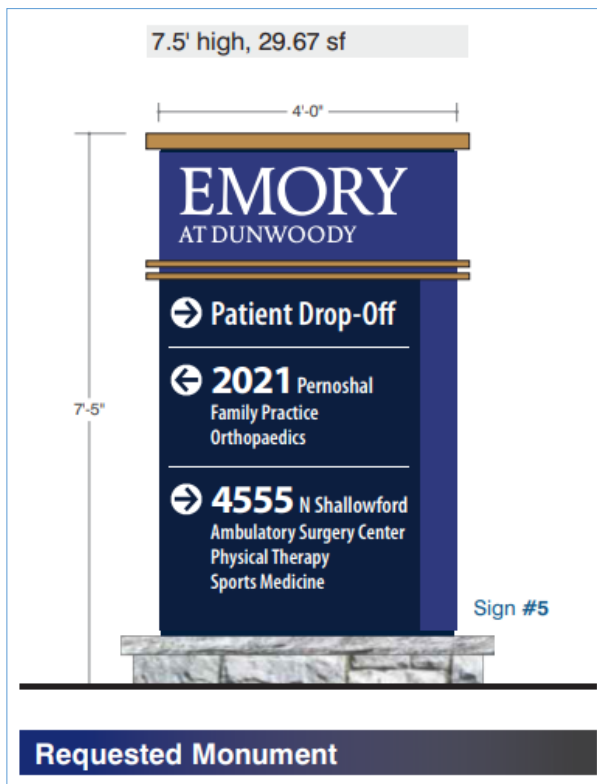
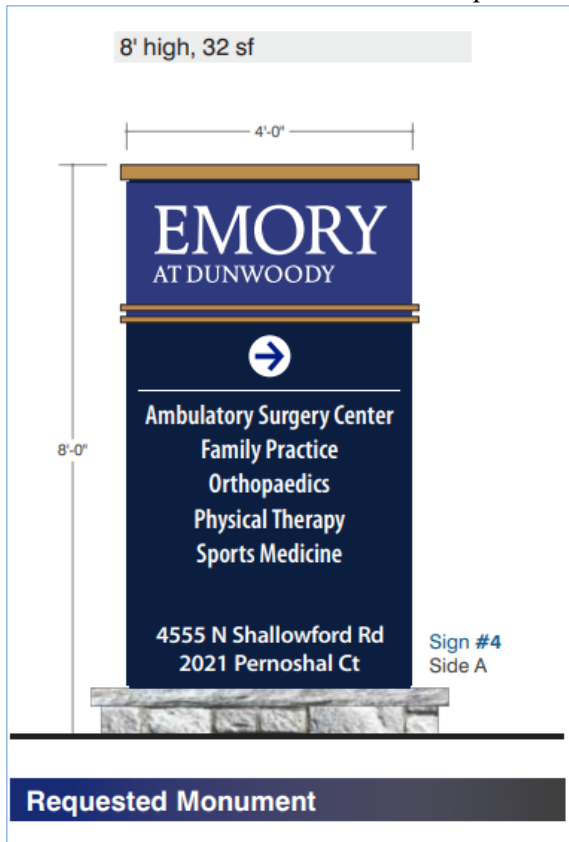


Sign #1 - Side A

#### Requested Monument

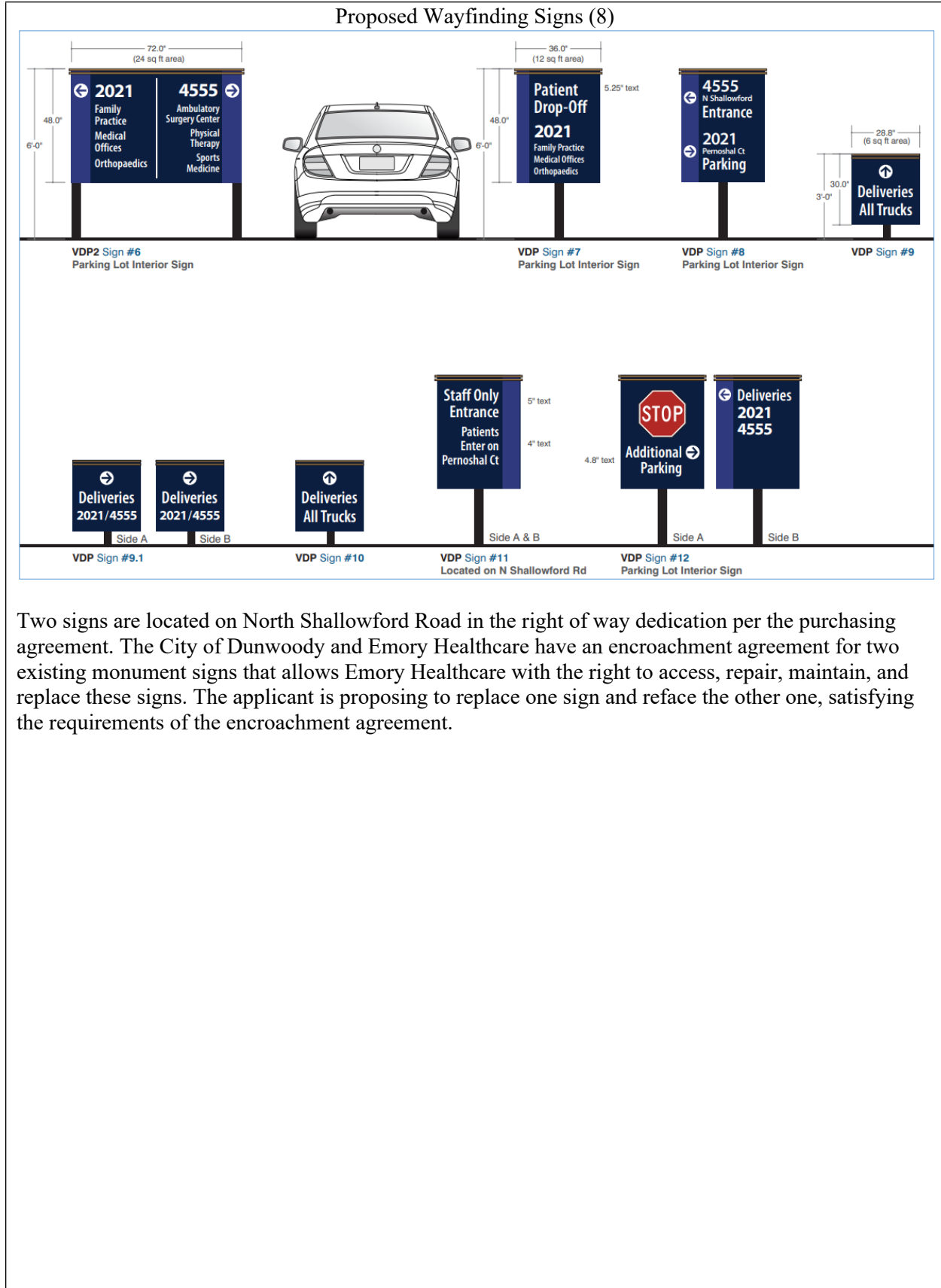
Reface existing monument shown at left.

Proposed Monument Signs (2)



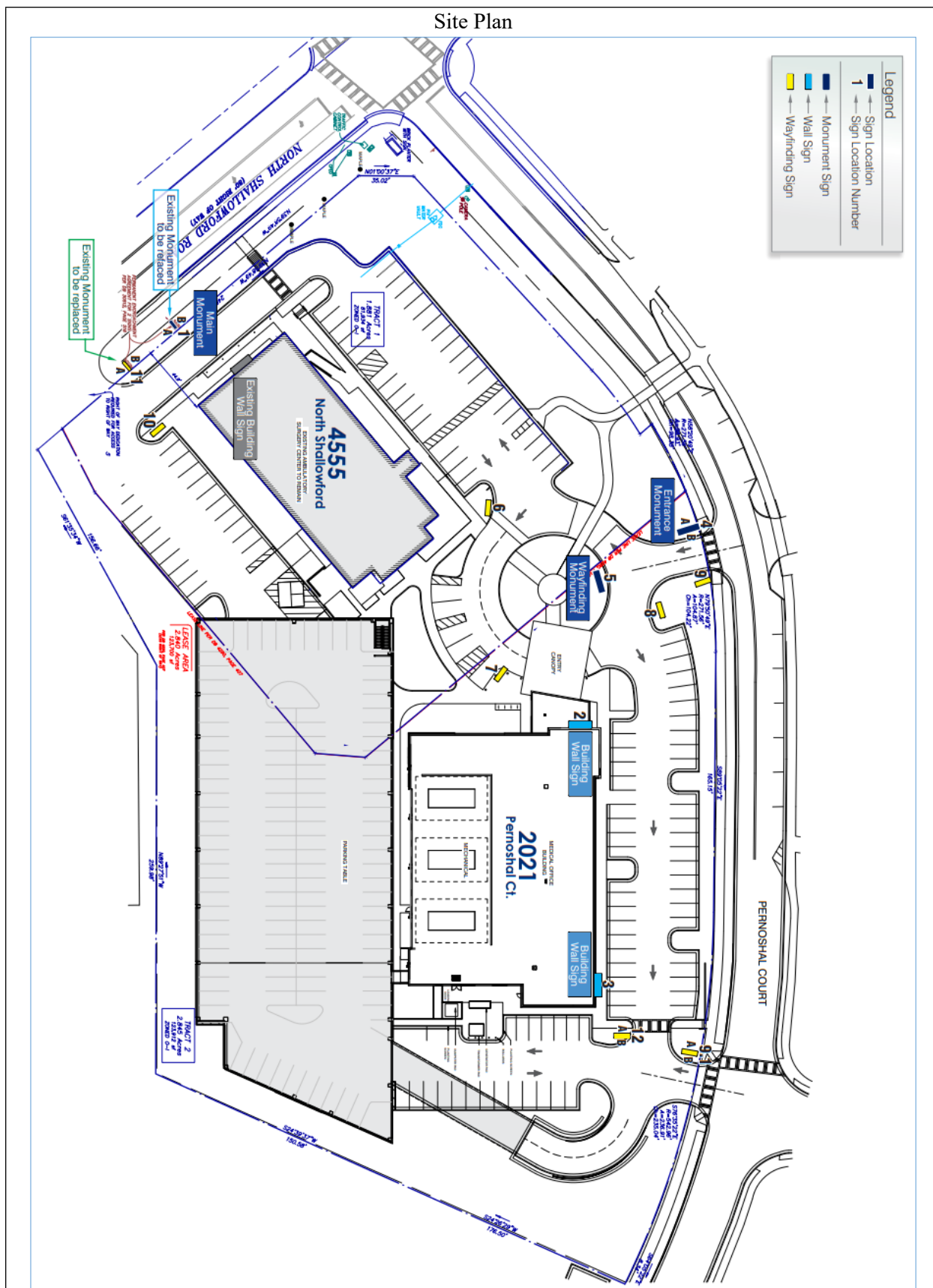






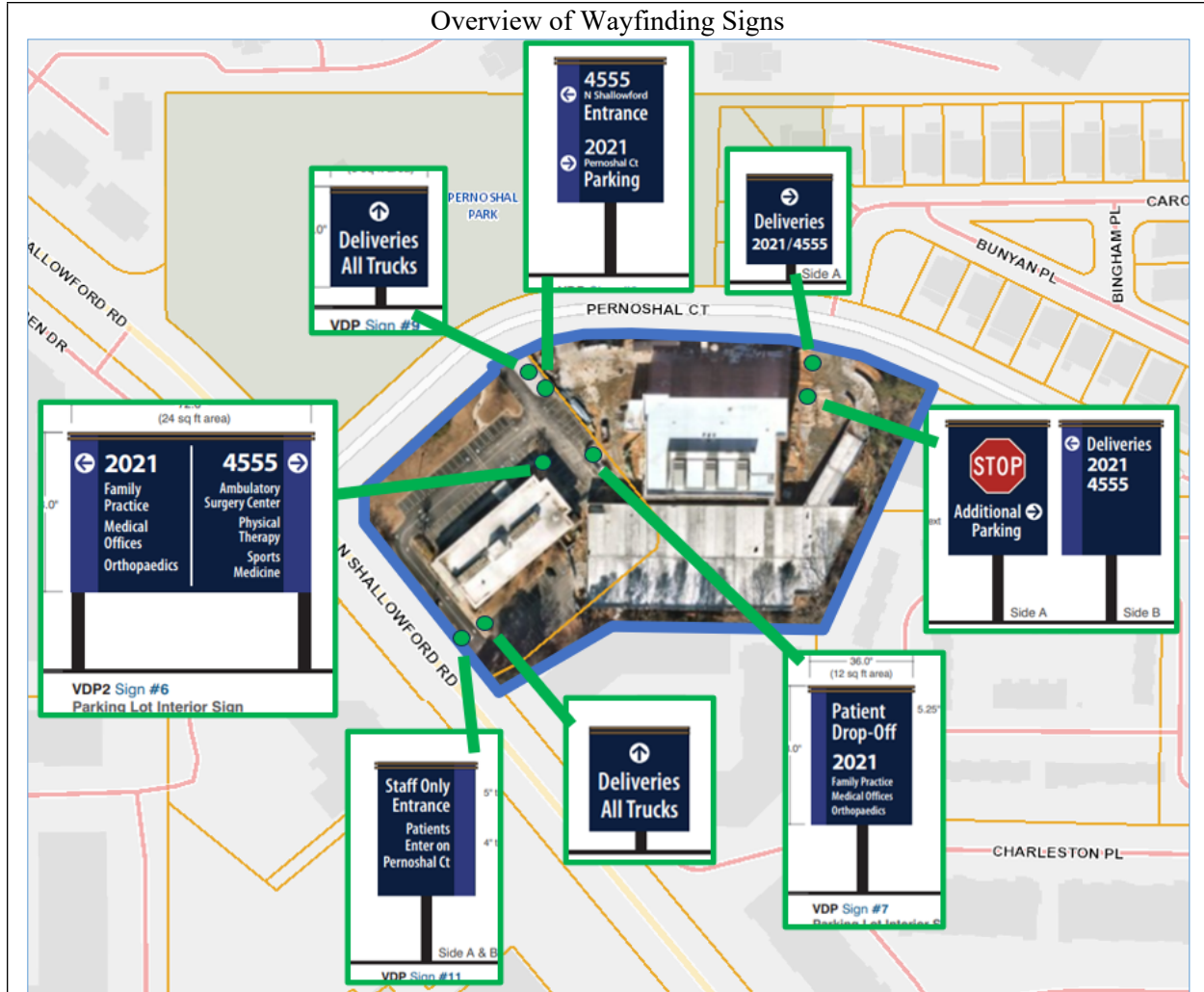
Two signs are located on North Shallowford Road in the right of way dedication per the purchasing agreement. The City of Dunwoody and Emory Healthcare have an encroachment agreement for two existing monument signs that allows Emory Healthcare with the right to access, repair, maintain, and replace these signs. The applicant is proposing to replace one sign and reface the other one, satisfying the requirements of the encroachment agreement.

## Site Plan



## Overview of Monument and Wall Signs





## REVIEW AND APPROVAL CRITERIA

Chapter 20, §20-133(iii)(7) identifies the following criteria for evaluation that must be used in reviewing and taking action on all major master sign plan applications:

- i. Whether the proposed signs(s) are visually consistent within the development based on at least three of the following factors: color scheme, lettering style, materials, and location of signs to be posted on buildings;
- ii. Whether the proposed sign(s) are of a consistent size and scale to existing signs in the immediate area;
- iii. Whether the proposed sign(s) are reasonably scaled to the size of the subject structure and/or premises; and
- iv. Whether unusual circumstances exist that warrant the granting of this major master sign plan.

The major master sign plan proposal from Emory Healthcare addresses visual consistency through the color scheme, lettering style, and materials. All the proposed signs use the same navy blue background color, the same white text and arrows, and the same gold and blue accent colors. The two proposed monument signs use masonry bases that match the existing monument sign to be refaced. All the



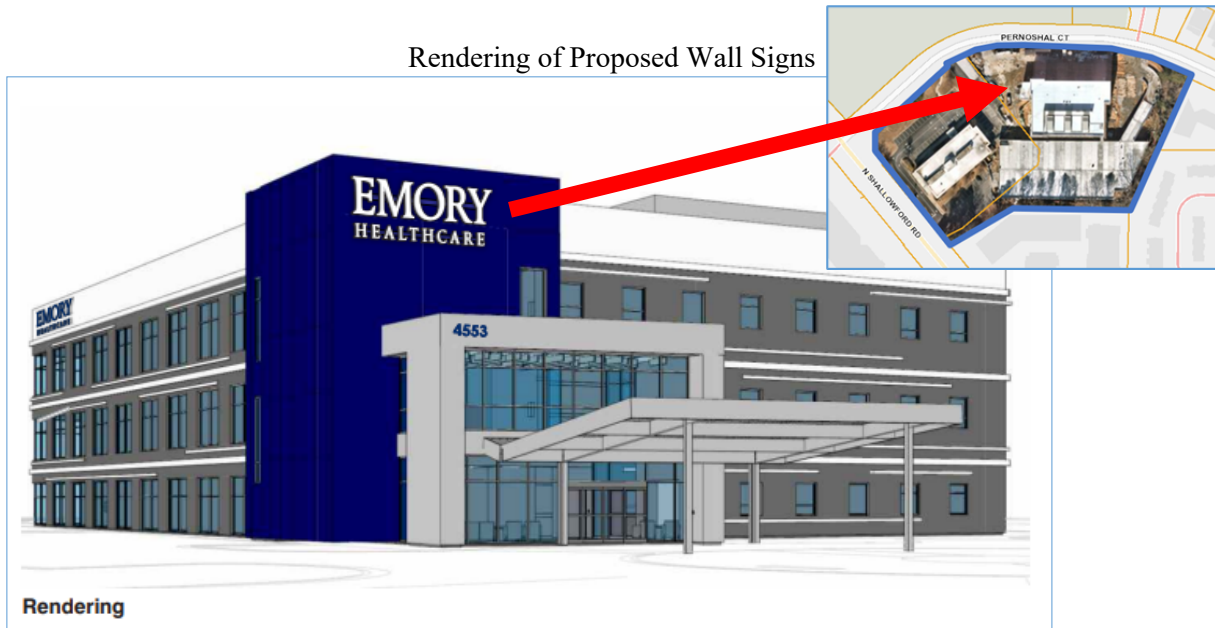
proposed signs also use the same lettering style as the two existing signs. Overall, staff finds that the major master sign plan proposal does provide visual consistency with the proposed and existing signs.

The proposed signs are of a consistent size and scale to existing signs in the surrounding area – Emory Healthcare operates a medical office building on the other side of the street at 4500 N Shallowford Road that has an existing monument sign of a similar size and shape to the proposed refacing of the existing monument sign. The two proposed new monument signs are also of a similar size and shape as the ground signs for North Shallowford Plaza and Independence Square, providing a reasonable scale for pedestrians and for the premises. The proposed wall signs are also at a reasonable scale to the size of the subject structure – the subject structure has large facades and the proposed wall signs are below the maximum wall sign area allowed.

Sign at 4500 N Shallowford



Rendering of Proposed Wall Signs



The subject property sits at the corner of Pernoshal Court and Tilly Mill Road and has 2 separate frontages and 3 different vehicular entrances. The sign code allows for 1 monument sign per frontage up to 2 maximum. The applicant is proposing to reface one existing monument sign by the curb cut on North Shallowford Road in the same square footage as what is existing. The applicant is also proposing to install two new monument signs that will meet the code restrictions on height and square footage: one at a curb cut on Pernoshal Court and one internal to the site. Staff finds that the request is minor in nature given that the new monument signs will conform to the code in every aspect except the count for the sign type.

The topography for the subject property is unusual – the property slopes down approximately 20 feet from the corner of N Shallowford Road and Pernoshal Court towards the eastern property line and the new medical office building sits approximately 17 feet below the intersection. The height of the proposed wall signs is 29.75 feet and 42.1 feet respectively, which is a maximum of 18.1 feet above what is allowed per code, but is designed to help make up for the downward slope. Due to the change of grade, staff finds that unique visibility concerns exist for Emory Healthcare's medical office building that necessitate a higher wall sign than what is permitted by code.

Rendering of Wall Sign #2 In Relation to Grade Change



11/20/2023 progress photo as viewed from North Shallowford Rd

The needs of a healthcare campus are somewhat unusual compared to typical office buildings that would be in an Office-Institutional zoning district due to the larger number of visitors only occasionally traveling to the property. Patients at the Emory Healthcare campus need to orient themselves accurately in order to distinguish the ambulatory surgery center from the medical office building. The healthcare staff have a different entrance and parking area from patients and delivery trucks need a clear demarcated route. Per the sign code, the property is only allotted 2 wayfinding signs – the applicant is proposing 8, which staff finds reasonable given the additional wayfinding needs of a healthcare campus.

**COMMENTS FROM OTHER PARTIES**

Correspondence Received: One email against, included below.

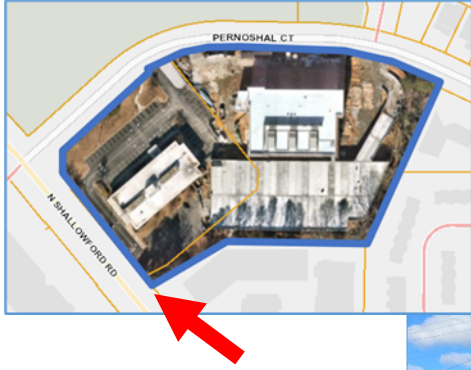
**DEPARTMENT OF COMMUNITY DEVELOPMENT RECOMMENDATION**

Based on the above analysis and findings, staff has determined that the requested major master sign plan does meet the requirements of Chapter 20, §20-133(iii)(7); therefore, staff recommends APPROVAL of the request.

**ATTACHMENTS**

- Staff Memo
- Appendix A, Site Photos
- Appendix B, Public Comment
- Major Master Sign Plan Application

Appendix A, Site Photos



Existing monument sign to be refaced



Existing monument sign to be replaced





Existing building sign to remain



Medical office building under construction



All three existing signs



## Appendix B, Public Comment

Caution: External Message

**General Contact Form**

**Submission #:** 2997708  
**IP Address:** 99.11.165.203  
**Submission Date:** 02/12/2024 1:19  
**Survey Time:** 2 minutes, 49 seconds

You have a new online form submission.

Note: all answers displaying "\*\*\*\*\*" are marked as sensitive and must be viewed after your login.

**Name**

Gregory Zengo

**Email**

\*\*\*\*\*

**Message**

I reside at 4541 Caroline Walk. I am specifically commenting in advance of the Planning Commission meeting tomorrow night regarding the Emory Clinic Sign plan. I would suggest that the Sign B and Sign C on the building facade not be illuminated since they are higher elevation than the City standard for a building of that size. They do not conduct business at night and we don't need the extra illumination pointing toward the Park and residential neighborhoods. Thanks.

Thank you,  
**City of Dunwoody**

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This is an automated message generated by Granicus. Please do not reply directly to this email.





# MAJOR MASTER SIGN PLAN APPLICATION

## Community Development

4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

### Project:

Name of Project / Subdivision: _ Emory Healthcare - Emory at Dunwoody	Zoning: _ O-I
Property Address / Location: 4555 N. Shallowford Rd. and 2021 Pernoshal Ct.	
District: _ 50th	Land Lot: _ 344
Block: 6035	Property ID: 18 344 01 007
	18 344 01 009

### Owner Information:

Owner's Name: SHG Dunwoody, LLC	AND	DOC - Dunwoody Medical Campus, LLC
Owner's Address: 4244 Goodyear Dr., Winston-Salem, NC 27104		c/o 309 N Water St., Floor 7, Milwaukee, WI 53202
Phone: SHG, 336-774-9127	Fax: _ N/A	Email: SHG, jjoseph@summithg.com
DMC, 414-367-5600		DMC, dgd@doceit.com

### Applicant Information: ☐ Check here if same as Property Owner


Contact Name: John Barrow, Miller EG Design
Address: 315 Northpoint Parkway, Suite F, Acworth GA 30102
Phone: _ 770-851-6842
Fax: _ N/A
Email: jbarrow@milleregdesign.com

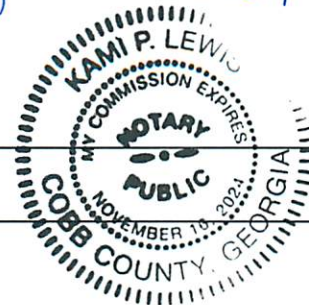
### Terms & Conditions:

I hereby certify that to the best of my knowledge, this application form is correct and complete. If additional materials are determined to be necessary, I understand that I am responsible for filing additional materials as specified by the City of Dunwoody Sign Ordinance. I understand that failure to supply all required information (per the relevant Applicant Checklists and Requirements of the Dunwoody Sign Ordinance) will result in the rejection of this application.

Applicant's Name: John Barrow
Applicant's Signature: 
Date: 1/29/24

### Notary:

Sworn to and subscribed before me this _ 29th	Day of _ January	, 20_24
Notary Public: _ Kami P. Lewis		
Signature: 		
My Commission Expires: _ November 16, 2024		



### \*Application Requirements:\*

- Major Master Sign Plan Application (See Page 1)
- Property Owner Notarized Affidavit(s) (See Page 2)
- Site plan showing location of buildings, parking lots, driveways and landscaped areas and the location, size, area and height of all proposed signs
- List of all requests and all signs
- Computation of the maximum total sign area allowed and the maximum area allowed and requested for each individual sign
- Narrative AND graphic description of visual consistency among all signs, regarding color scheme, lettering or graphic style; materials and support structures; and location of each sign on the site and on buildings





## Property Owner(s) Notarized Affidavit

Community Development  
4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

The owner and petitioner acknowledge that this application form is correct and complete. By completing this form, all owners of the subject property certify authorization of the filing of the application for variance(s), and authorization of an applicant or agent to act on their behalf in the filing of the application including all subsequent application amendments.

### Property Owner (If Applicable):

Owner Name:	SHG Dunwoody, LLC			Joe Joseph, manager		
Signature:				Date:		
Address:	4244 Goodyear Dr. Winston-Salem, NC 27104					
Phone:	336-774-9127	Fax:		Email:	joseph@summitshg.com	
Sworn to and subscribed before me this	12 <sup>th</sup>	Day of	December	, 2023		
Notary Public:	Mildred Noriega					
<div style="border: 1px solid black; padding: 5px; text-align: center;"> Mildred Noriega  NOTARY PUBLIC  Forsyth County, NC  My Commission Expires November 24, 2025 </div>						

### Property Owner (If Applicable):

Owner Name:						
Signature:				Date:		
Address:						
Phone:		Fax:		Email:		
Sworn to and subscribed before me this		Day of		, 20_		
Notary Public:						

### Property Owner (If Applicable):

Owner Name:						
Signature:				Date:		
Address:						
Phone:		Fax:		Email:		
Sworn to and subscribed before me this		Day of		, 20_		
Notary Public:						



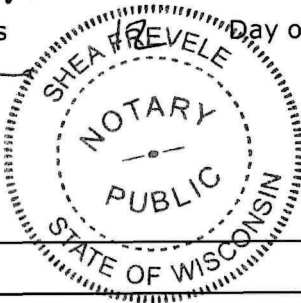
## Property Owner(s) Notarized Affidavit

Community Development  
4800 Ashford Dunwoody Road | Dunwoody, GA 30338  
Phone: (678) 382-6800 | Fax: (770) 396-4828

The owner and petitioner acknowledge that this application form is correct and complete. By completing this form, all owners of the subject property certify authorization of the filing of the application for variance(s), and authorization of an applicant or agent to act on their behalf in the filing of the application including all subsequent application amendments.

### Property Owner (If Applicable):

Owner Name:	DOC - DUNWOODY MEDICAL CAMPUS, LLC		
Signature:	<i>[Signature]</i>	Date:	DECEMBER 12, 2023
Address:	40309 N WATER ST, FLOOR 7, MILWAUKEE, WI 53202		
Phone:	(414) 361-5600	Fax:	N/A
		Email:	dqd @ docreit.com
Sworn to and subscribed before me this	Day of	December	, 20_23
Notary Public:	<i>[Signature]</i>		
	Shea Frevele exp 01/25/2025		



### Property Owner (If Applicable):

Owner Name:			
Signature:		Date:	
Address:			
Phone:		Fax:	
		Email:	
Sworn to and subscribed before me this	Day of		, 20_
Notary Public:			

### Property Owner (If Applicable):

Owner Name:			
Signature:		Date:	
Address:			
Phone:		Fax:	
		Email:	
Sworn to and subscribed before me this	Day of		, 20_
Notary Public:			

# Master Sign Plan



EMORY  
UNIVERSITY

EMORY  
HEALTHCARE

EMORY  
AT DUNWOODY

## Emory at Dunwoody

December 2023

Project No.: EC-AS1022.02DMOB

2021 Pernoshal Ct.  
and  
4555 N. Shallowford Road

O-I Zoning

Prepared by:



MILLER EG DESIGN

Drawing	Title	Section
G0.00	Cover	
G1.00	Exterior Sign Location Plan	Plan
G2.00	Summary	Elevation
G2.01	Graphic Standards	Elevation
G2.02	Type BWS - Building Wall Signs	Elevation
G2.03	Type MID - Main ID Monument Sign	Elevation
G2.04	Type VDM1 - Vehicular Directional Monument	Elevation
G2.05	Type VDM2 - Vehicular Directional Monument	Elevation
G2.06	Vehicular and Pedestrian Wayfinding	Elevation
G2.07a	Wayfinding Sight Analysis	Elevation
G2.07b	Wayfinding Sight Analysis	Elevation
G2.08	Existing Signage at 4555 N Shallowford Rd	Elevation



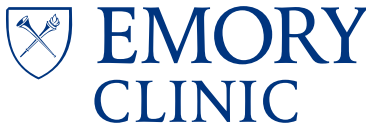


PROJECT:

DUNWOODY MOB

4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338

CLIENT:



PREPARED BY:



315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
Office 678-369-4877  
Fax 678-559-0660

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REVISIONS

DRAWN DATE

PROJECT ACRONYM AND NUMBER:

EC-AS1022.02DMOB

DRAWN MD PM JB EM TM

PM PHASE REVIEW 01 02 03 04

EM PHASE REVIEW 01 02 03 04

DATE 09/22/2023

SCALE as shown

FILEPATH M:\CUST\EC-AS\22\DMOB

DRAWING TITLE:

EXTERIOR SIGN  
LOCATION PLAN

DRAWING #: SECTION

G1.00 PLAN

Packet page:...

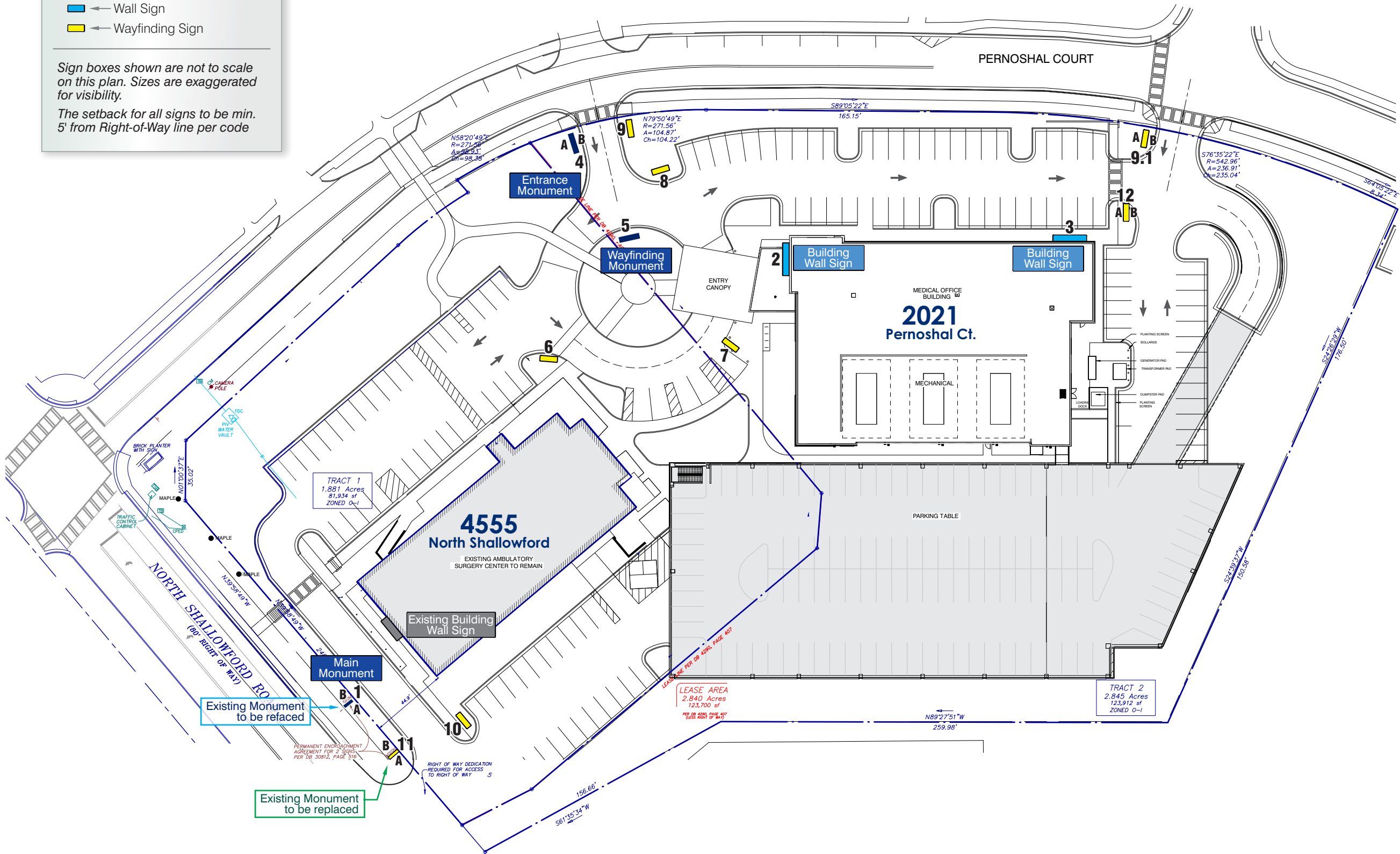
Legend

- Sign Location
- 1 Sign Location Number

- Monument Sign
- Wall Sign
- Wayfinding Sign

Sign boxes shown are not to scale on this plan. Sizes are exaggerated for visibility.

The setback for all signs to be min. 5' from Right-of-Way line per code



1 SITE PLAN  
SCALE: 1" = 60'-0"



Summary



Emory at Dunwoody, as part of the Emory Healthcare Network and Emory University, is an integrated academic healthcare system **committed to providing the best care for our patients.**

Emory is committed to **serving the community of Dunwoody** by enhancing the healthcare experience at every level and as such, is excited to roll out this Master Sign Plan for the new Emory at Dunwoody Campus.

With the expansion of Emory University Hospital in 2017, a new exterior sign design was implemented at the Clifton Road campus. To ensure visual consistency, sign designs for Emory at Dunwoody follow these same standards, matching the same color scheme, lettering style, and sign materials. Examples are shown herein.

**Visual confirmations** that patients have arrived at Emory at Dunwoody are key to wayfinding, and enhance **vehicular safety with clear and concise messaging.**

**Note regarding total sign area:** Max total sign area allowed is 796 sf. With the implementation of the signs described in this Master Plan, total installed signs area will be 492 sf.

***This Master Sign Plan requests the following:***

	<b><i>Requested Allowance</i></b>	<b><i>Additional Information</i></b>
1. <u>Building Wall Signs</u>		
a. Exceed the 24' maximum height above grade. . . . .	<b><i>to 42.1' above grade</i></b>	The new building is visible from North Shallowford, and is about 17' lower than the intersection at Pernoshal Ct. The Master Sign Plan requests the main building signs install higher on the building than code currently allows (24' max. height per Sec. 20-84 table (b)). Building elevations illustrate this request.
2. <u>Monument Signs</u>		
a. Exceed the maximum count of 2 signs . . . . .	<b><i>to 3 total</i></b>	A new, common and primary entrance drive off Pernoshal Ct. is the campus entry point to both buildings and all Emory services. The Master Sign Plan requests one additional monument sign be allowed on campus (code allows 2 signs per Sec. 20-84 table (a)). This will provide for adequate and appropriate decision making as vehicles enter campus.
3. <u>Wayfinding Signs</u>		
a. Exceed the 3' maximum height . . . . .	<b><i>up to 6'</i></b>	Wayfinding signs assist in getting vehicles to their destination as efficiently as possible. Some of the wayfinding signs are located within the parking lot area of campus. The Master Sign Plan requests modifications to sizes, height, and quantity of signs based on the current code (Sec, 20-85 table (a)). Sizes and heights of proposed signs provide for optimum visibility, allowing maximum time for decision making.
b. Exceed 6 square feet size . . . . .	<b><i>up to 24sf</i></b>	
c. Exceed maximum count of 2 signs . . . . .	<b><i>to 8 total</i></b>	



Existing Sign Standards at Various Metro Atlanta Area Locations

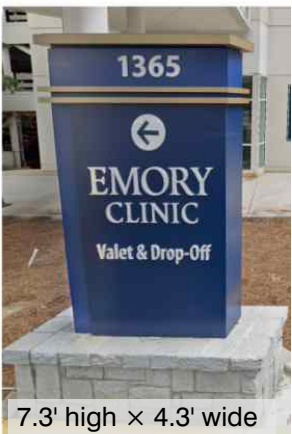
Main Campus, Atlanta



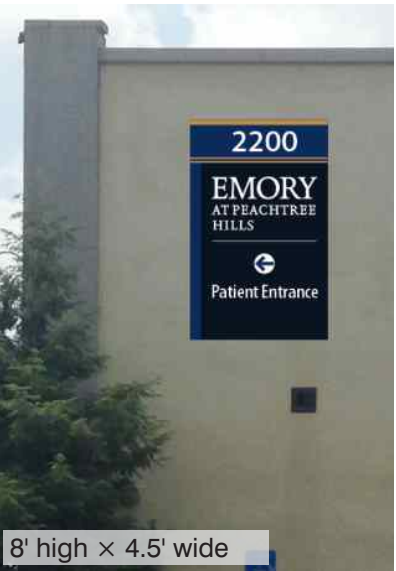
Common Design Elements

- Navy Blue background color
- White text and arrows
- Gold & Blue accent colors
- Myriad Pro typeface
- Masonry bases
- Emory Logo as applicable
- Address or Logo at top as applicable

Spivey Station, Jonesboro



Peachtree Hills, Atlanta



Old Fourth Ward, Atlanta



Conceptual Approach to Window Signage



PROJECT:  
**DUNWOODY MOB**  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338

CLIENT:  
 **EMORY CLINIC**

PREPARED BY:  
 **MILLER EG DESIGN**  
315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
Office 678-369-4877  
Fax 678-559-0660

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REVISIONS	
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PROJECT ACRONYM AND NUMBER:						
EC-AS1022.02DMOB						
DRAWN	MD	PM	JB	EM	TM	
PM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03	<input type="checkbox"/> 04 <input type="checkbox"/>
EM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03	<input type="checkbox"/> 04 <input type="checkbox"/>
DATE	11/27/2023					
SCALE	as shown					
FILEPATH	M:\CUST\EC-AS\22\DMOB\03\Sign Plan					
DRAWING TITLE:						

GRAPHIC STANDARDS

DRAWING #:	SECTION
G2.01	ELEVATION
Packet page:...	



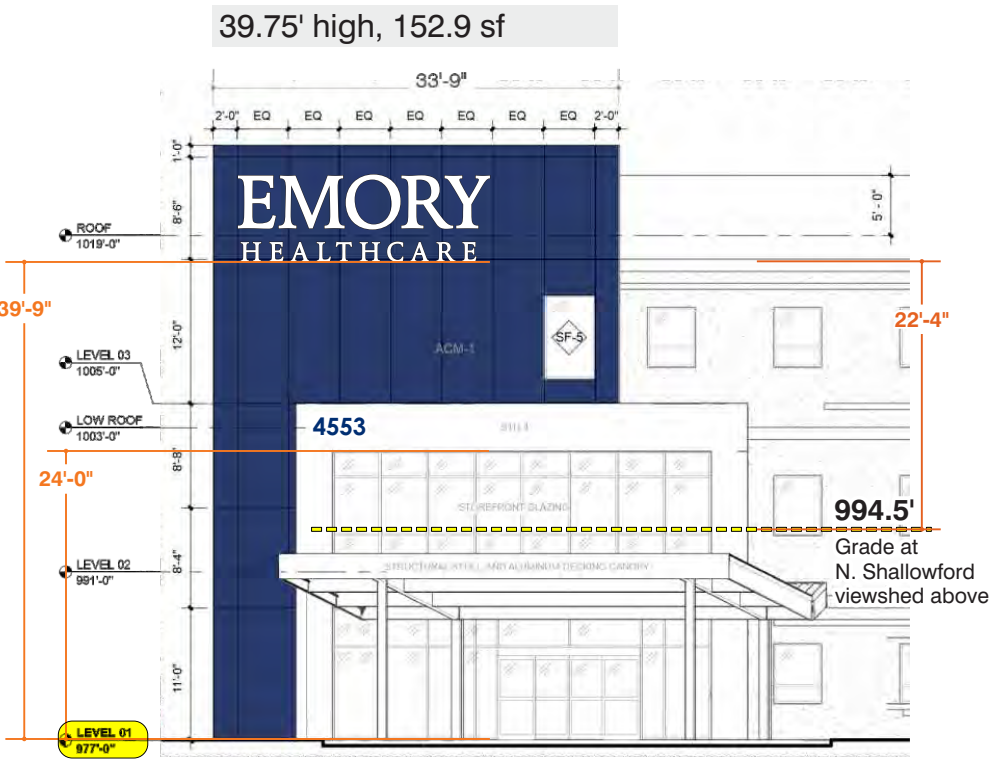
Building Wall Signs			
Height Allowed:	24'	Height Requested:	39.75'
			and 42.1'



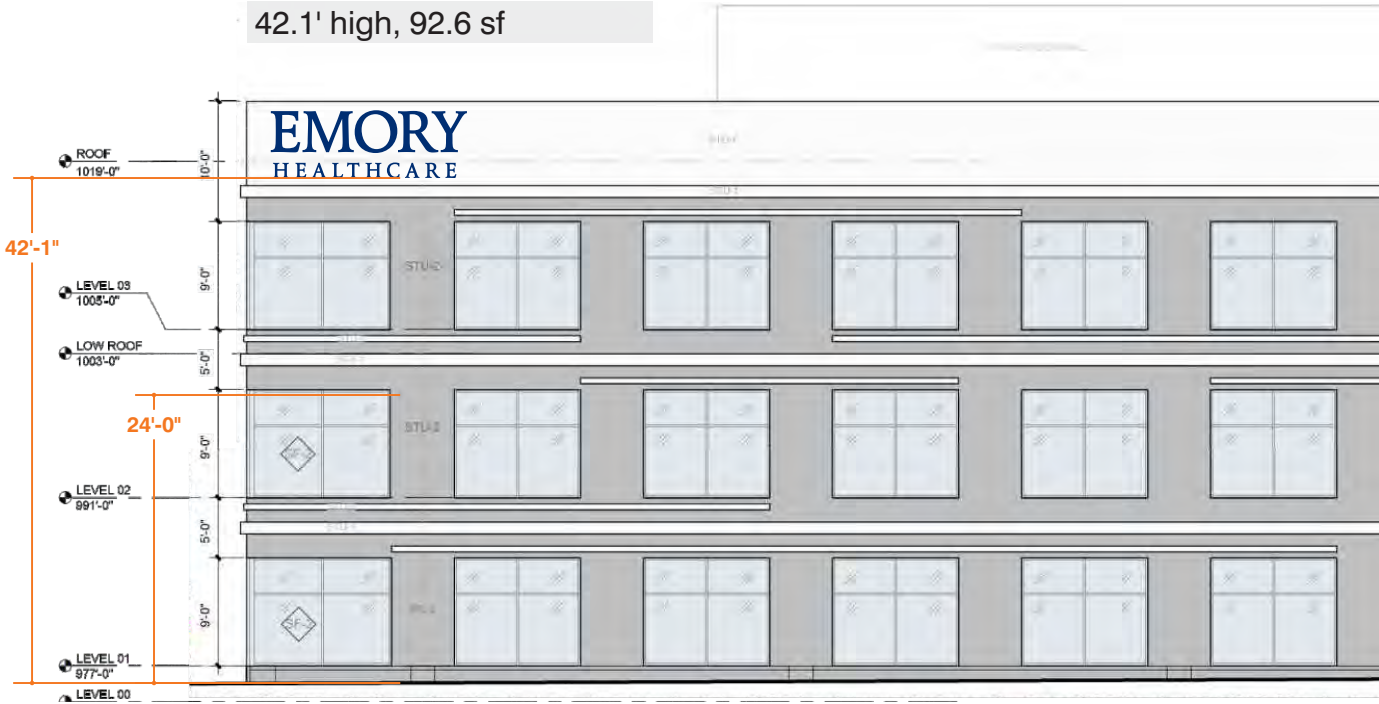
11/20/2023 progress photo as viewed from North Shallowford Rd



Rendering



Elevation - Building Wall Sign (Sign #2)



Elevation - Building Wall Sign (Sign #3)

PROJECT:  
**DUNWOODY MOB**  
4553 N SHALLOWFORD RD  
DUNWOODY, GA 30338

CLIENT:  
 **EMORY  
CLINIC**

PREPARED BY:  
  
315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
Office 678-369-4877  
Fax 678-559-0660

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PROJECT ACRONYM AND NUMBER:  
**EC-AS1022.02DMOB**

DRAWN	MD	PM	JB	EM	TM
PM PHASE REVIEW	01	02	03	04	
EM PHASE REVIEW	01	02	03	04	
DATE	11/28/2023				
SCALE	as shown				

FILEPATH M:\CUST\EC-AS\22\CAP\DMOB

DRAWING TITLE:  
**TYPE BWS  
BUILDING WALL SIGNS**

DRAWING #: G2.02 SECTION: ELEVATION  
Packet page:...

PROJECT:  
  
DUNWOODY MOB  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338



PREPARED BY:

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Fax 678-559-0660

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PROJECT ACRONYM AND NUMBER:  
EC-AS1022.02DMOB

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PM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
EM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
DATE	11/27/2023				
SCALE	as shown				

FILEPATH M:\CUST\EC-AS\22\DMOB\03\Sign Plan

DRAWING TITLE:  
TYPE MID - MAIN ID  
MONUMENT SIGN

DRAWING #:	SECTION
G2.03	ELEVATION

Packet page:...

Monument 1 – Main Monument

Height Allowed: 8'	Existing Sign Height: 13'-2"	Height Requested: Match Existing
Size Allowed: 32 sf	Existing Sign Size: 65.5 sf	Size Requested: Match Existing

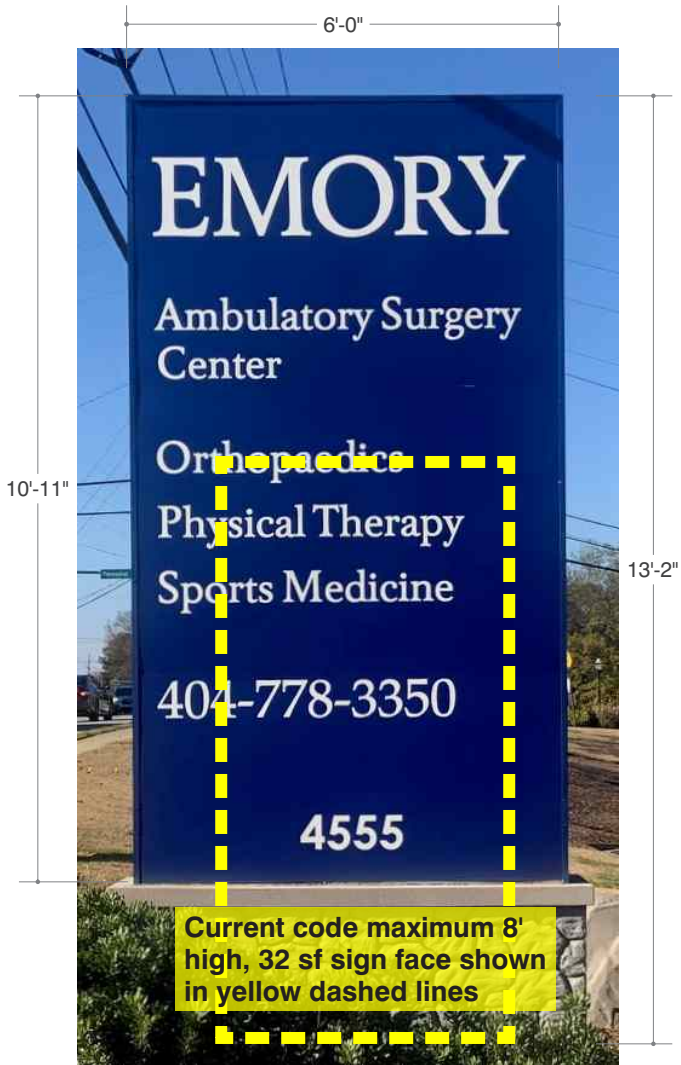
15' high, 95 sf



Emory Standard

Standard developed 2016. Sign installed 2017.

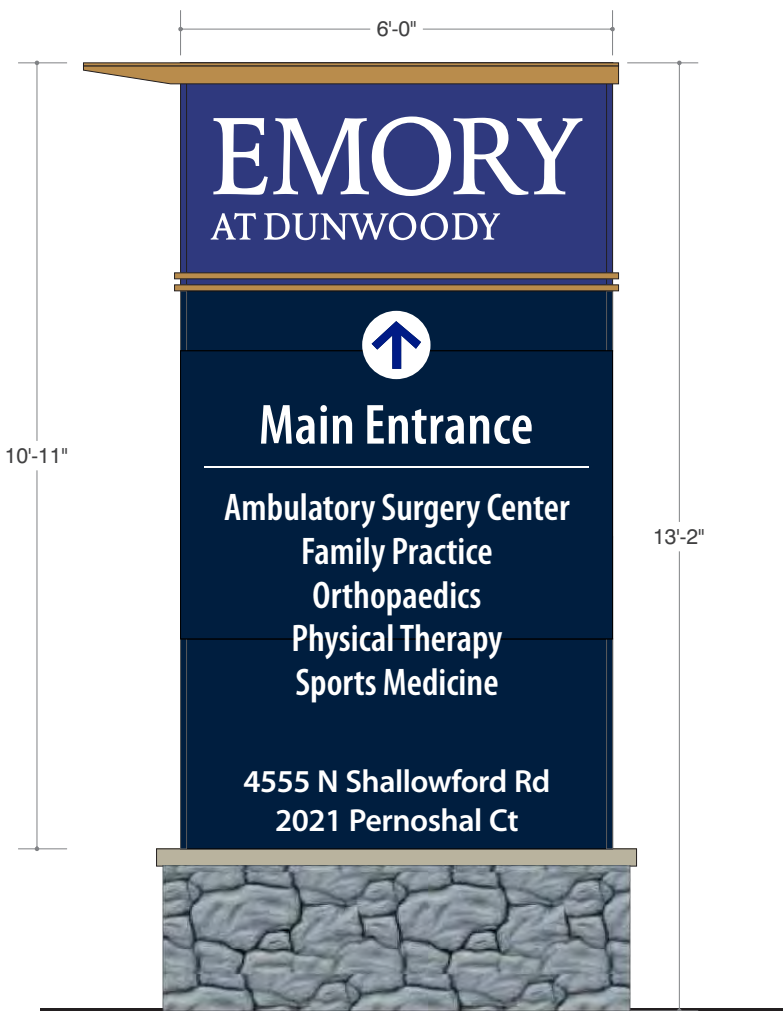
13'-2" high, 65.5 sf



Existing Monument

Sign installed 2014. Sign to be refaced.

13'-2" high, 65.5 sf



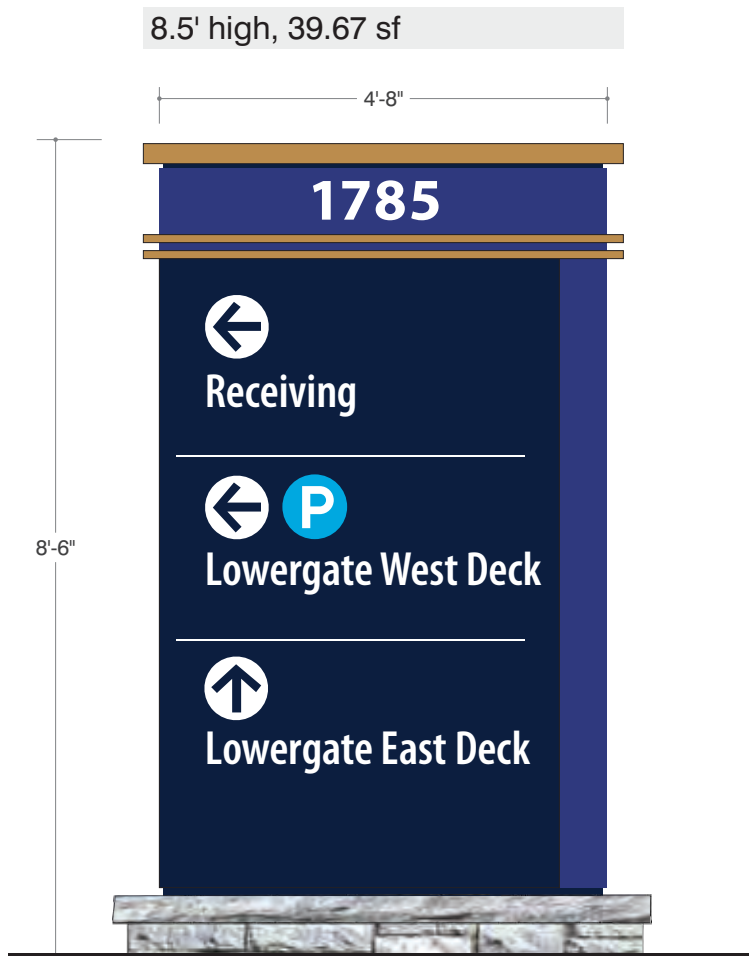
Sign #1 - Side A

Requested Monument

Reface existing monument shown at left.

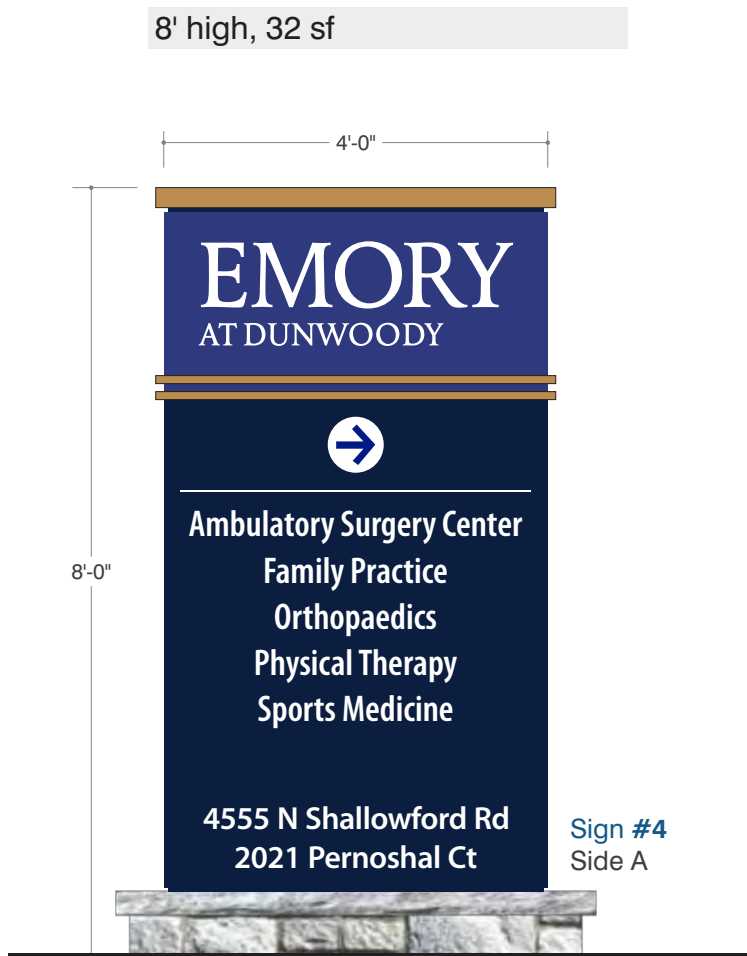
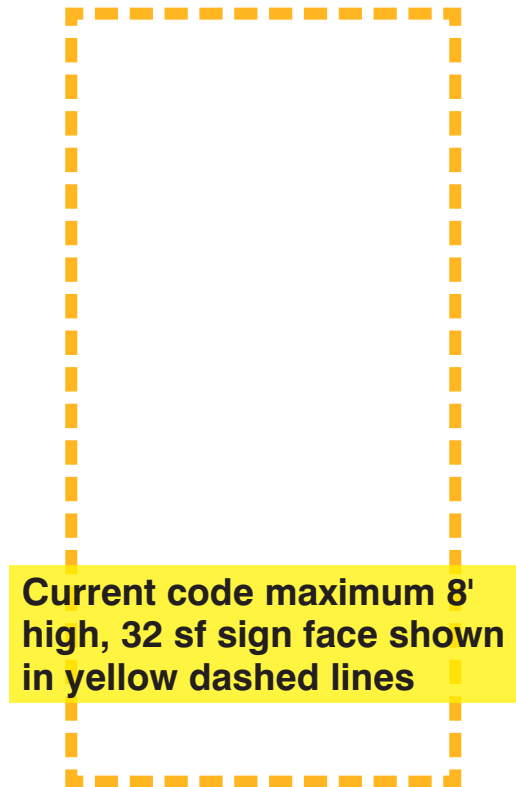


Monument 2 – Entrance Monument			
Height Allowed:	8'	Height Requested:	8' (no variance requested)
Size Allowed:	32 sf	Size Requested:	32 s (no variance requested)



### Emory Standard

Standard developed 2016. Sign installed 2017



### Requested Monument

PROJECT:

DUNWOODY MOB  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338

CLIENT:



PREPARED BY:



315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
Office 678-369-4877  
Fax 678-559-0660

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PM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
EM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
DATE	11/27/2023				
SCALE	as shown				
FILEPATH	M:\CUST\EC-AS\22\DMOB\03\Sign Plan				

DRAWING TITLE:

TYPE VDM1 - VEHICULAR  
DIRECTIONAL MONUMENT

DRAWING #:	SECTION
G2.04	ELEVATION

Packet page:...

Monument 3 – Wayfinding Monument	
Monument Quantity Allowed: 2	Monument Quantity Requested: 3 (this is the 3 <sup>rd</sup> sign)

7.5' high, 29.67 sf

4'-0"

7'-5"

1365

←

EMORY  
CLINIC

Valet & Drop-Off

Emory Standard

Standard developed 2016. Sign installed 2017

7.5' high, 29.67 sf

4'-0"

7'-5"

EMORY  
AT DUNWOODY

→ Patient Drop-Off

← 2021 Pernoshal  
Family Practice  
Orthopaedics

→ 4555 N Shallowford  
Ambulatory Surgery Center  
Physical Therapy  
Sports Medicine

Sign #5

Requested Monument

PROJECT:  
  
DUNWOODY MOB  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338



PREPARED BY:

315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
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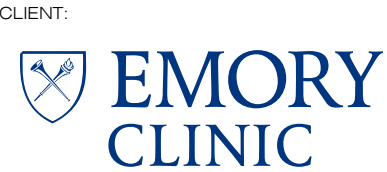
PROJECT ACRONYM AND NUMBER:  
EC-AS1022.02DMOB

DRAWN	MD	PM	JB	EM	TM
PM PHASE REVIEW	01 <input type="checkbox"/>	02 <input type="checkbox"/>	03 <input type="checkbox"/>	04 <input type="checkbox"/>	
EM PHASE REVIEW	01 <input type="checkbox"/>	02 <input type="checkbox"/>	03 <input type="checkbox"/>	04 <input type="checkbox"/>	
DATE	11/27/2023				
SCALE	as shown				
FILEPATH	M:\CUST\EC-AS\22\DMOB\03\Sign Plan				

DRAWING TITLE:  
**TYPE VDM2 - VEHICULAR  
DIRECTIONAL MONUMENT**

DRAWING #:	SECTION
G2.05	ELEVATION

PROJECT:  
  
DUNWOODY MOB  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338



PREPARED BY:

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PM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
EM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
DATE	12/06/2023				
SCALE	3/8" = 1'-0"				
FILEPATH	M:\CUST\EC-AS\22\DMOB				

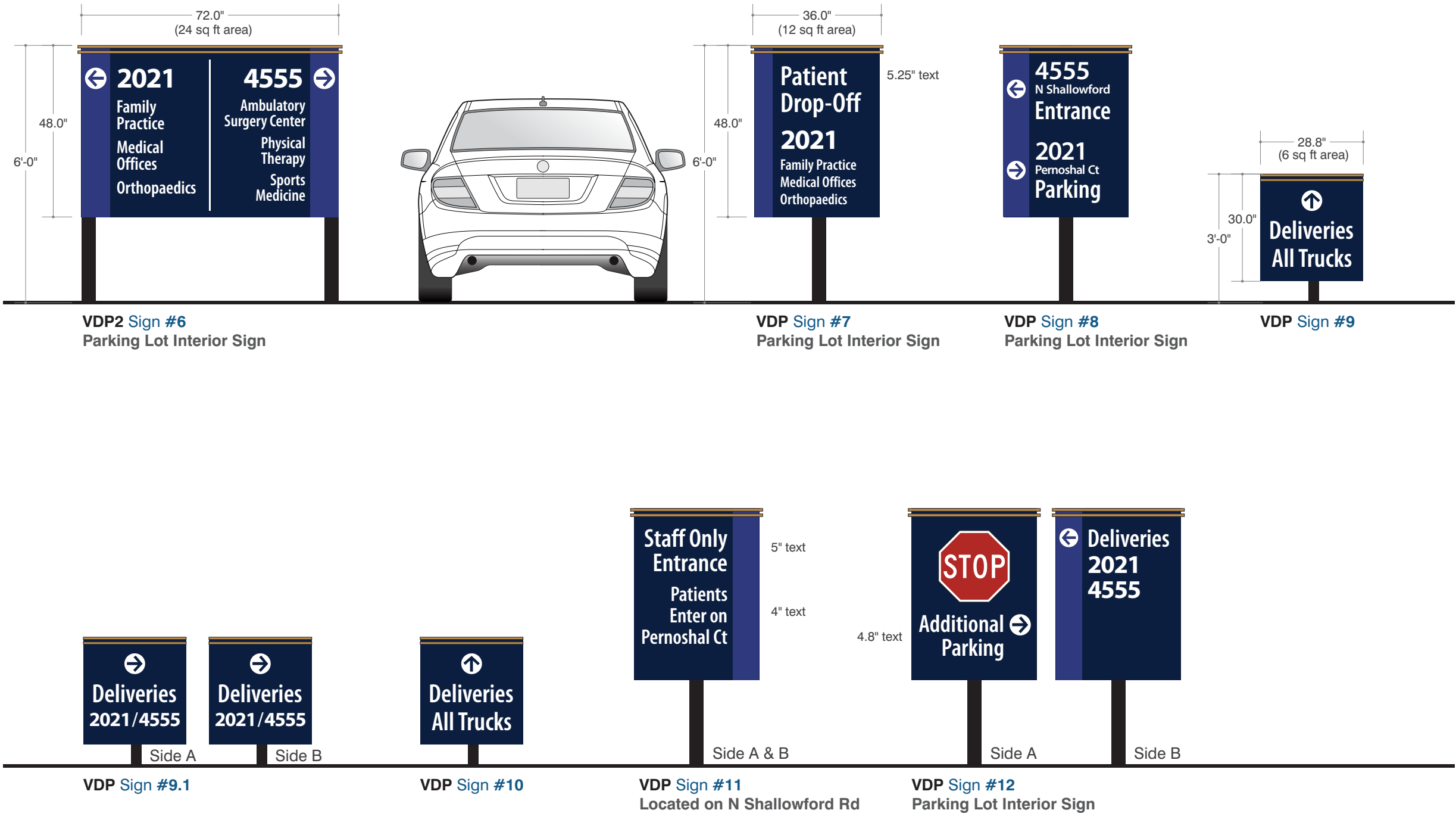
DRAWING TITLE:  
**VEHICULAR AND PEDESTRIAN WAYFINDING**

DRAWING #:	SECTION
G2.06	ELEVATION

Packet page:...

Vehicular and Pedestrian Wayfinding			
Height Allowed:	3'	Height Requested:	3' / 6'
Size Allowed:	6 sf	Size Requested:	6–24sf
Quantity Allowed:	2	Quantity Requested:	8

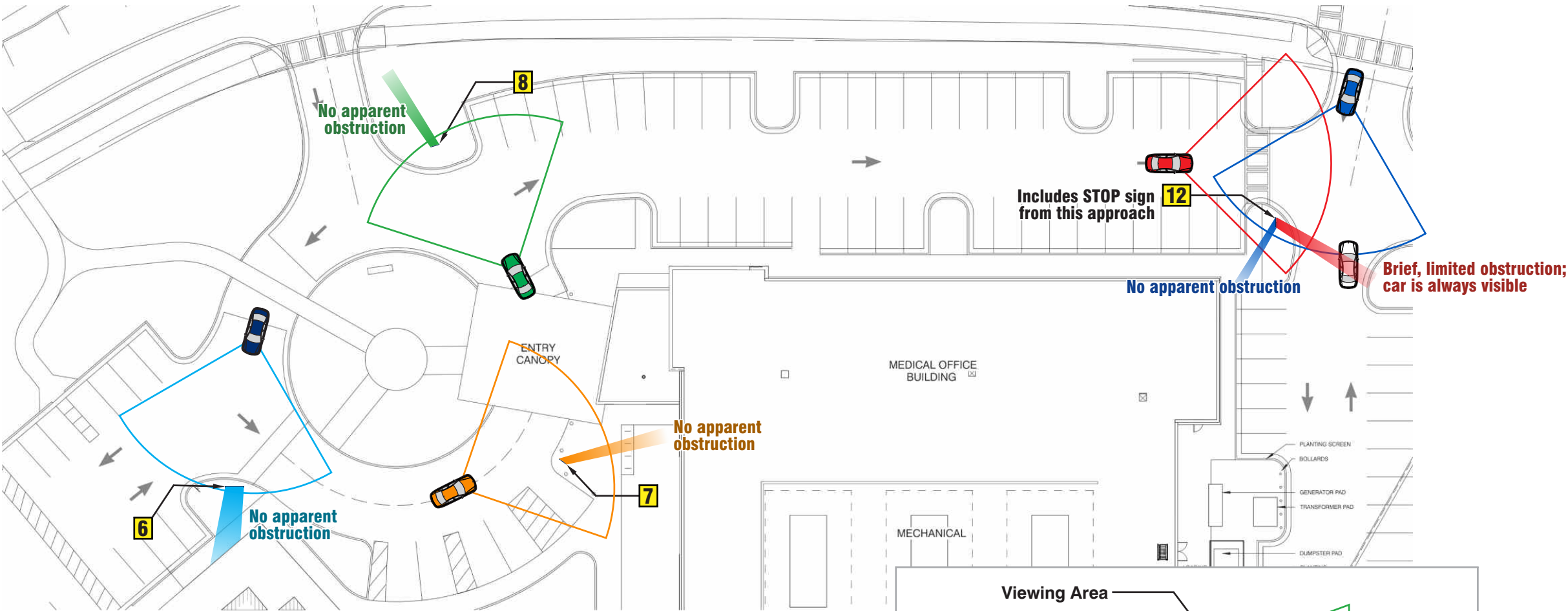
5" letters recommended for viewing distance of 50'



Wayfinding Sight Analysis - Parking Lot Interior Signs - #6, 7, 8, &12

The American Association of State Highway and Transportation Officials (AASHTO) publication A Policy on Geometric Design of Highways and Streets, 2018 7th Edition (The Green Book) provides comprehensive insight into the effect of specific geometric design elements of roads and streets for all transportation modes. Road design, intersection sight distance, and sight obstructions are addressed in The Green Book with travel speed calculations beginning at 15mph. As such, sight line conditions shown on the drawing above for the parking lot wayfinding signs are based on general information provided in The Green Book.

Of the four (4) wayfinding signs illustrated below, only one sign, #12, is located at an intersection. Per AASHTO guidelines, approach sight triangle studies “are not needed for intersection approaches controlled by stop signs”, which sign #12 includes.



**Scale: 1" = 40'-0"** All signs/cars shown to scale

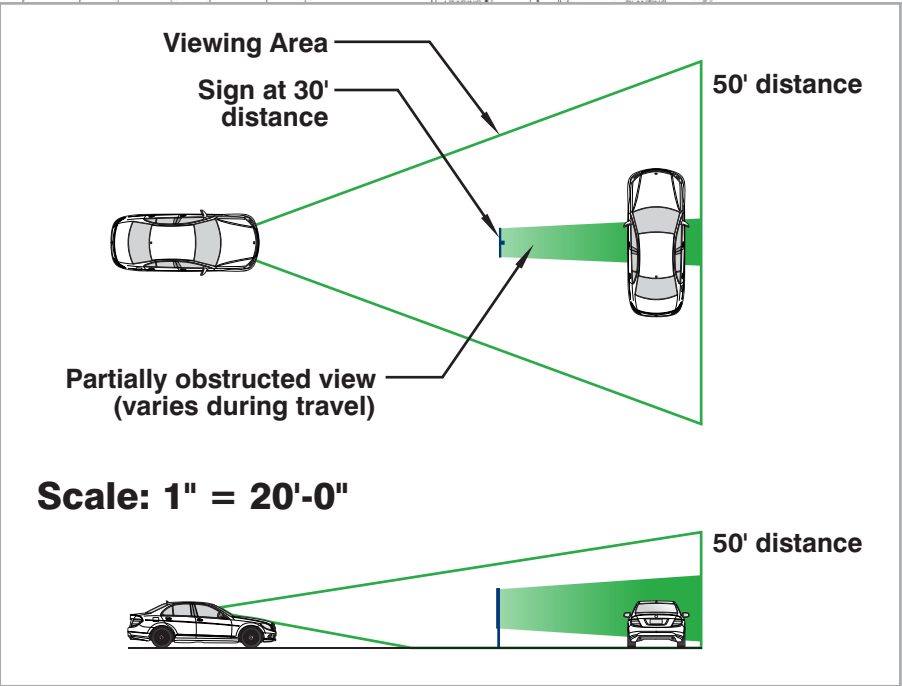
**LEGEND**

Sign to scale

Car to scale  
Mid-sized sedan

50' leg sight line for 10mph speed

Partially obstructed view



PROJECT:

**DUNWOODY MOB**  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338

CLIENT:

**EMORY CLINIC**

PREPARED BY:

**MILLER EG DESIGN**

315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
Office 678-369-4877  
Fax 678-559-0660

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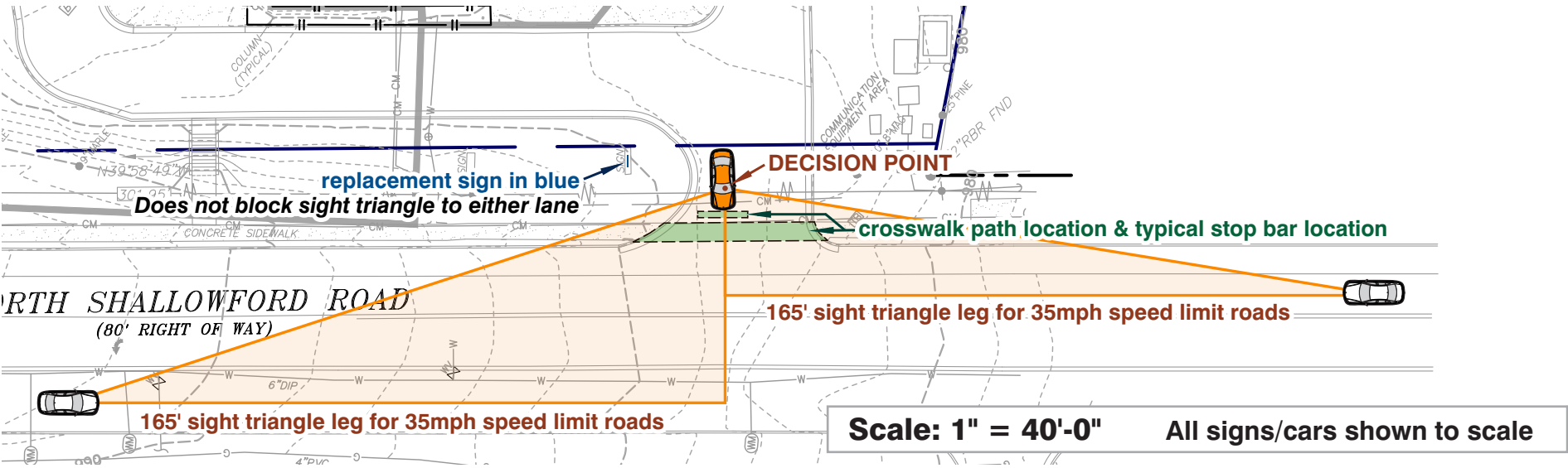
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REVISIONS	
DRAWN	DATE

PROJECT ACRONYM AND NUMBER:								
EC-AS1022.02DMOB								
DRAWN	MD	PM	JB	EM	TM			
PM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03	<input type="checkbox"/>	04	<input type="checkbox"/>
EM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03	<input type="checkbox"/>	04	<input type="checkbox"/>
DATE	01/05/2024							
SCALE	as shown							
FILEPATH	M:\CUSTOMER-AS\22\DMOB							
DRAWING TITLE:								
WAYFINDING SIGHT ANALYSIS								
DRAWING #:			SECTION					
G2.07a			ELEVATION					
Packet page:...								





Departure Site Triangles for Viewing Traffic Approaching a 35 mph Road from Left or Right  
(ref. AASHTO Green Book Chapter 9.5.2.2)



**Conclusion:**  
Replacement sign does not interfere with departure sight triangles.

PROJECT:  
**DUNWOODY MOB**  
4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338

CLIENT:  
 **EMORY CLINIC**

PREPARED BY:  
  
315 Northpoint Pkwy SE, Suite F  
Acworth, GA 30102  
Office 678-369-4877  
Fax 678-559-0660

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REVISIONS	
DRAWN	DATE

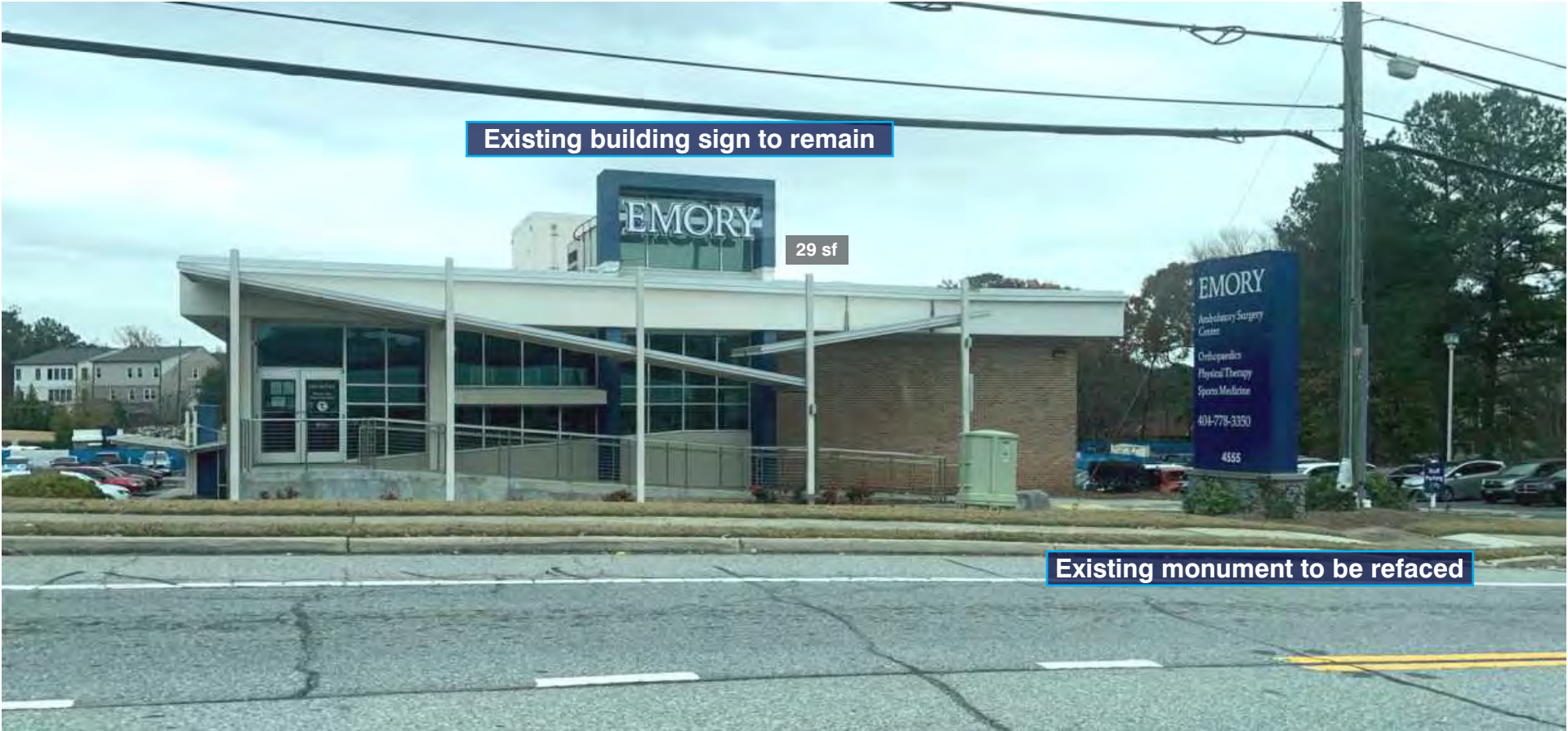
PROJECT ACRONYM AND NUMBER:					
EC-AS1022.02DMOB					
DRAWN	MD	PM	JB	EM	TM
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EM PHASE REVIEW	01	02	03	04	
DATE	01/05/2024				
SCALE	as shown				
FILEPATH	M:\CUST\EC-AS\22\DMOB				

DRAWING TITLE:	
<b>WAYFINDING SIGHT ANALYSIS - SIGN #11</b>	
DRAWING #:	SECTION
G2.07b	ELEVATION
Packet page:...	



Existing Signage at 4555 North Shallowford Road

Existing building western fascia area = 1373.4 sf  
Wall Sign area allowed per code = 120.0 sf  
Existing Wall Sign area = 28.9 sf



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4553 N. SHALLOWFORD RD  
DUNWOODY, GA 30338



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REVISIONS	
DRAWN	DATE

PROJECT ACRONYM AND NUMBER:  
EC-AS1022.02DMOB

DRAWN	MD	PM	JB	EM	TM
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EM PHASE REVIEW	01	<input type="checkbox"/>	02	<input type="checkbox"/>	03 <input type="checkbox"/> 04 <input type="checkbox"/>
DATE	11/27/2023				
SCALE	as shown				
FILEPATH	M:\CUST\EC-AS\22\DMOB\03\Sign Plan				

DRAWING TITLE:  
EXISTING SIGNAGE  
4555 N SHALLOWFORD RD

DRAWING #:	SECTION
G2.08	ELEVATION

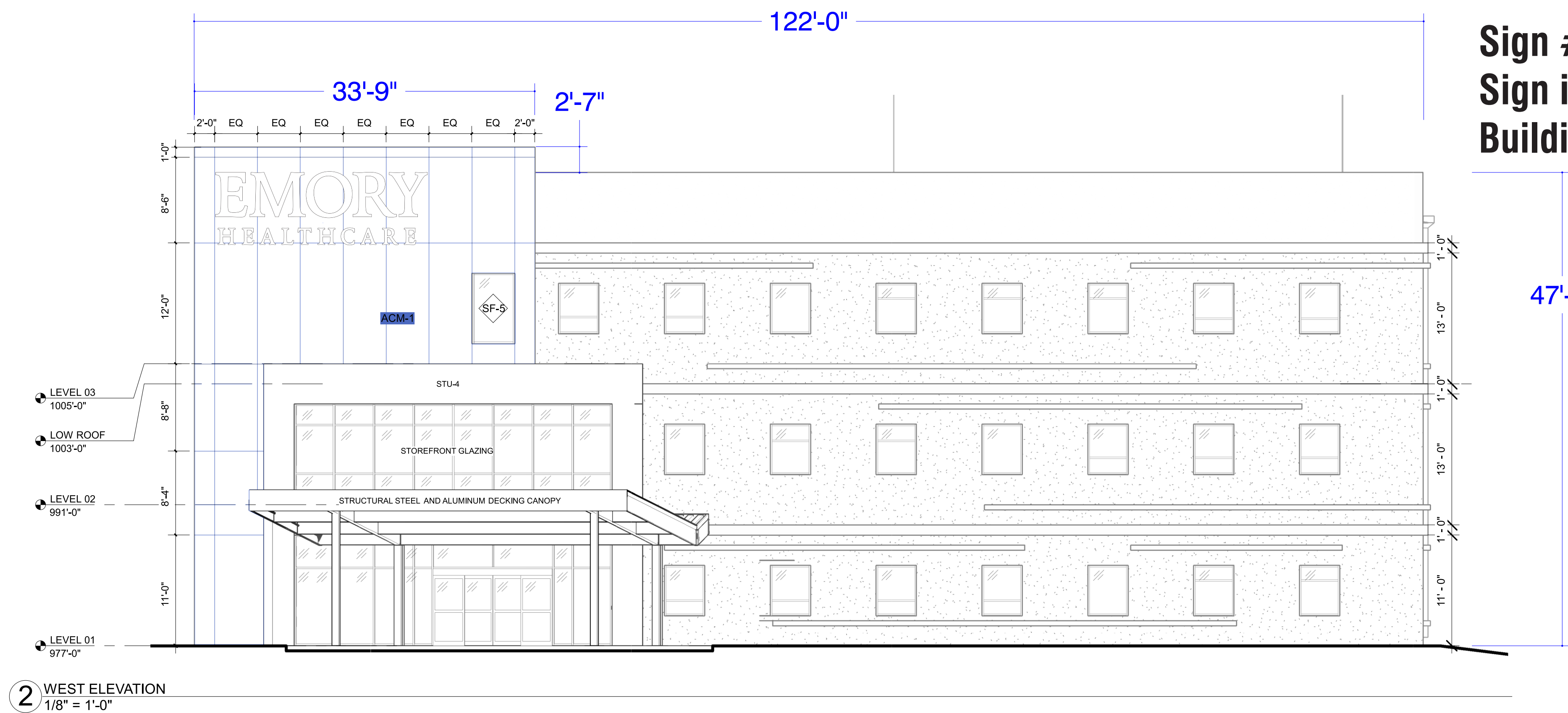
# Building Elevations and Area Information

## 2021 Pernoshal Ct.

**ALLOWABLE HEIGHTS & AREAS**

**PRIMARY - INTERNATIONAL BUILDING CODE**

	ALLOWABLE	ACTUAL
HEIGHT	75'	50'
STORIES	4 STORIES	3 STORIES
AREA (LEVEL 1)	69,000 SF	19,750 SF
AREA (LEVEL 2)	69,000 SF	19,100 SF
AREA (LEVEL 3)	69,000 SF	18,995 SF
AREA (TOTAL)	207,000 SF	57,845 SF



**Sign #2 Elevation**  
**Sign is 152.9 sf**  
**Building elevation is. 5,821.19 sf**



**Sign #3 Elevation**  
**Sign is 92.6 sf**  
**Building elevation is 8,448.25 sf**